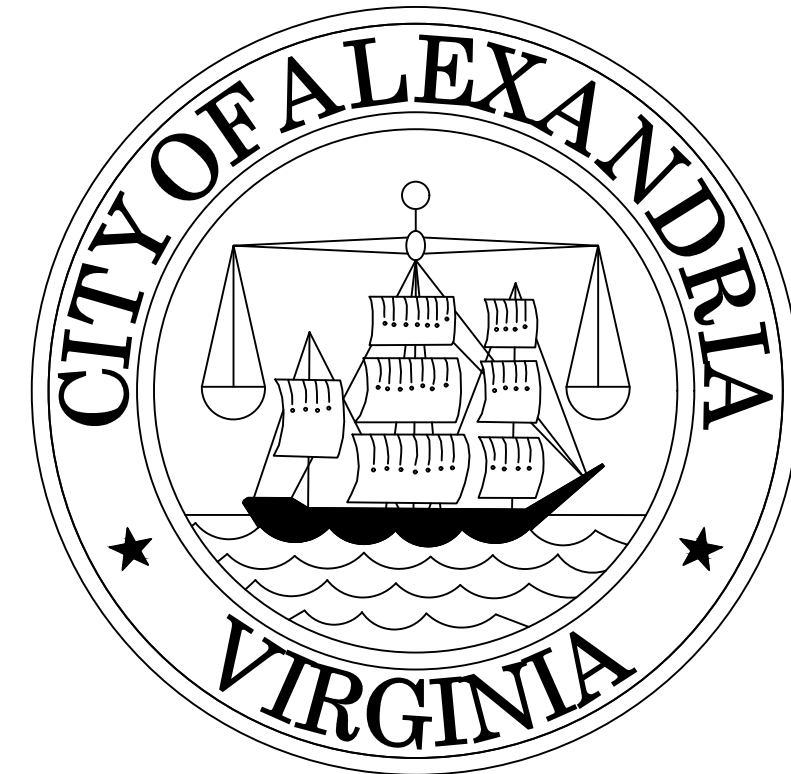
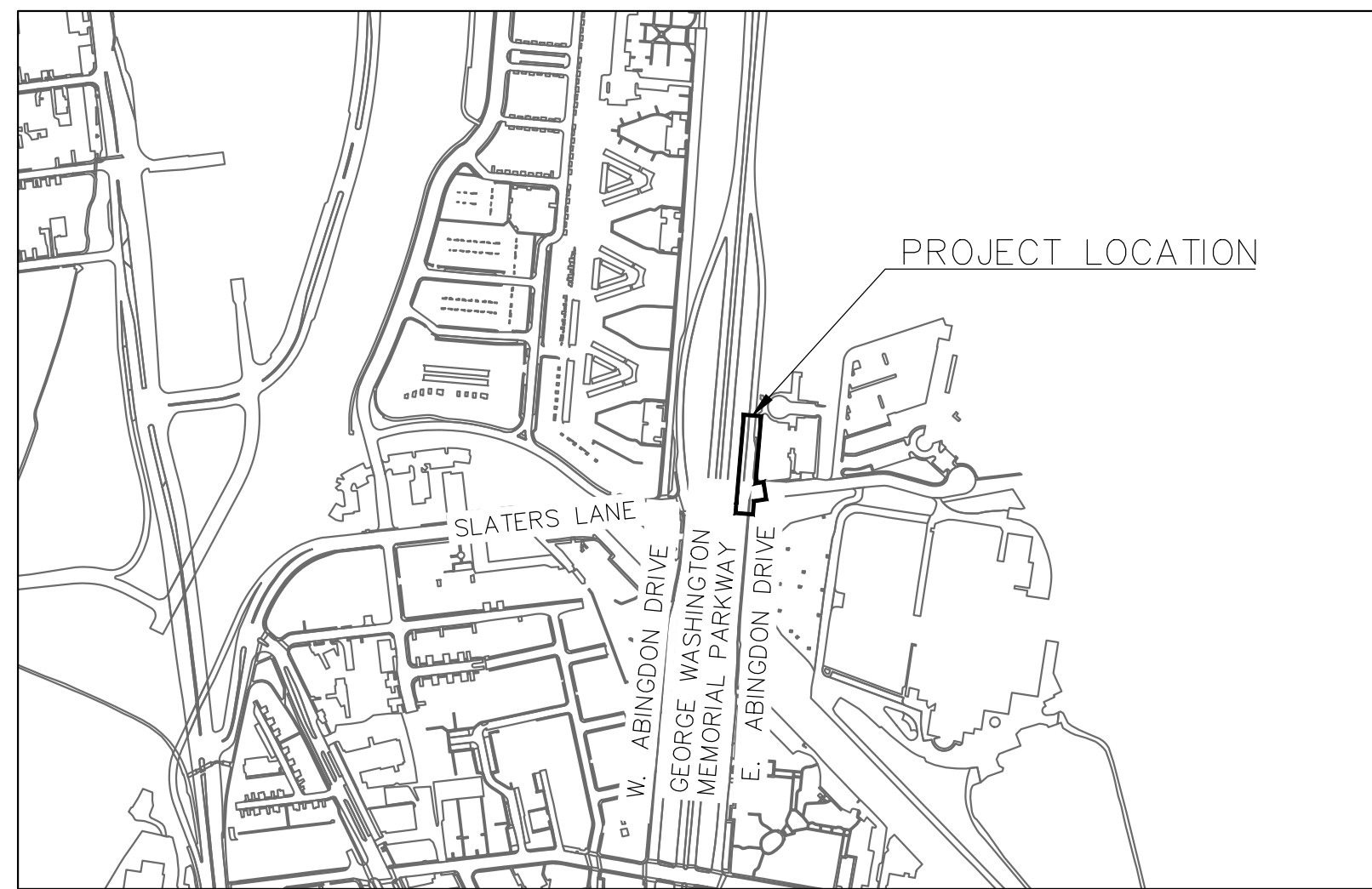
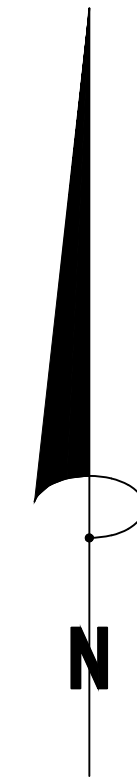


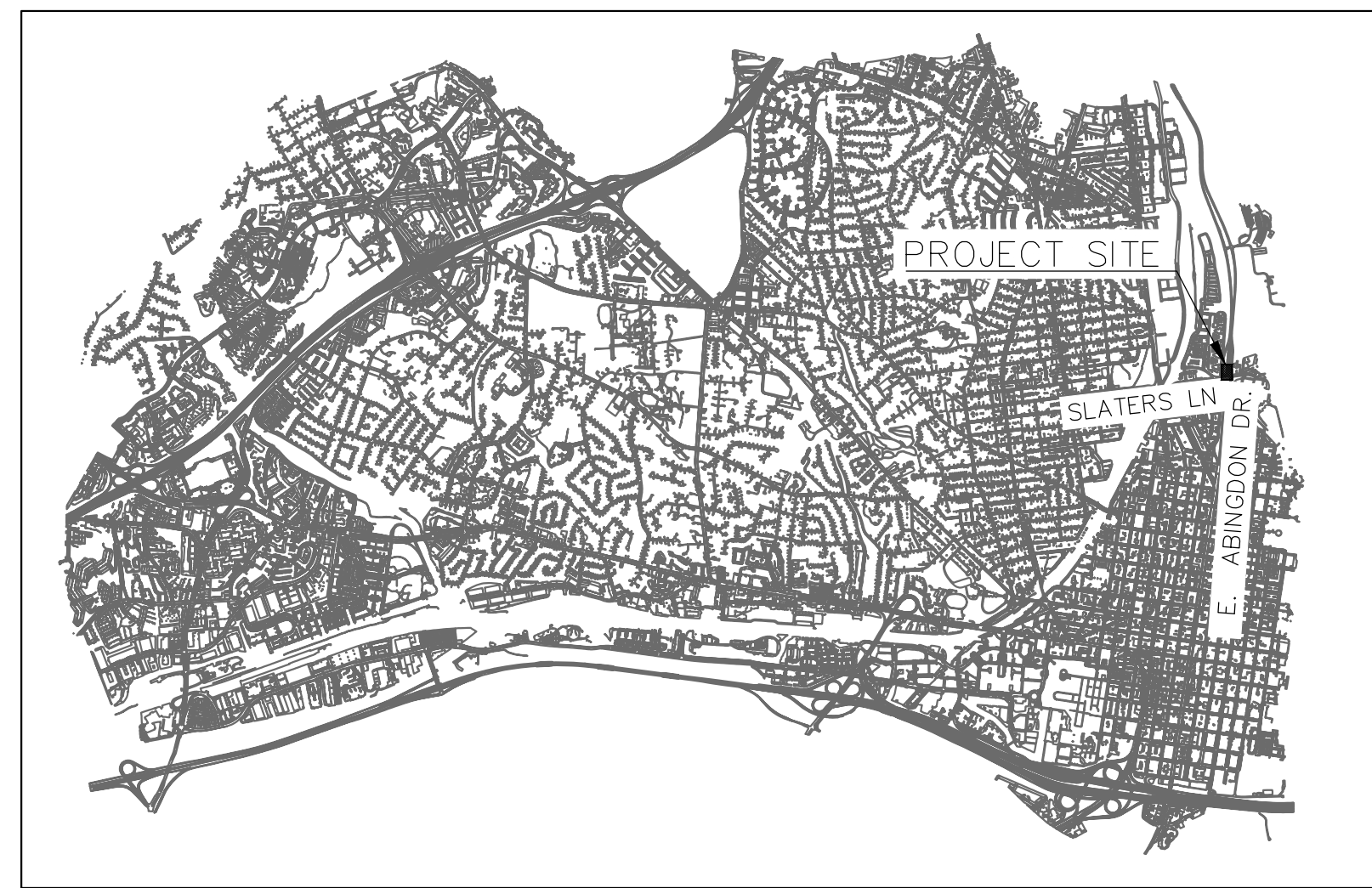
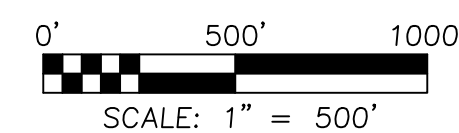
# CITY OF ALEXANDRIA, VIRGINIA



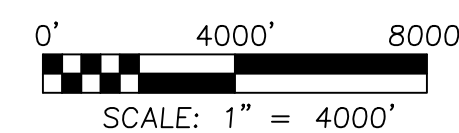
## MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH



**PROJECT AREA MAP**  
SCALE 1" = 500'



**VICINITY MAP**  
SCALE 1" = 4000'



SHEET INDEX	
SHEET NO.	SHEET NAME
1	COVER SHEET
2	GENERAL NOTES
3	SYMBOLS LEGEND AND ABBREVIATIONS
4	EXISTING CONDITIONS
5	SURVEY CONTROL
6	GEOMETRIC LAYOUT
7	DEMOLITION PLAN
8	GRADING / SITE PLAN
9	GRADING ENLARGEMENT PLAN 1
10	GRADING ENLARGEMENT PLAN 2
11	EROSION & SEDIMENT CONTROL PLAN
12	EROSION & SEDIMENT CONTROL NOTES
13	STORMWATER MANAGEMENT PLAN
14	NUTRIENT CREDIT LETTER
15	NUTRIENT CREDIT & WQIF LETTERS
16	SIGNING & PAVEMENT MARKING PLAN
17	SIGN SCHEDULE
18	MAINTENANCE OF TRAFFIC
19	LANDSCAPE PLAN
20	LANDSCAPE NOTES AND DETAILS
21	TYPICAL SECTIONS AND CROSS SECTIONS
22	CONSTRUCTION DETAILS SHEET 1
23	CONSTRUCTION DETAILS SHEET 2
24	CONSTRUCTION DETAILS SHEET 3

**BAR CASE #**  
**CIP #**

**PROJECT DESCRIPTION:**

THE PRIMARY FOCUS OF THE DESIGN IMPROVEMENTS FOR THE MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH PROJECT IS TO PROVIDE A TRAIL CONNECTION TO THE MOUNT VERNON TRAIL ALONG E. ABINGDON DRIVE FOR BICYCLISTS, PEDESTRIANS, PERSONS WITH DISABILITIES, AND OTHER PATH USERS. THESE PLANS SHOW TRAIL IMPROVEMENTS TO THE INTERSECTION OF SLATERS LANE AND 150 FEET NORTH ALONG E. ABINGDON DRIVE.

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES.

APPROVED

X \_\_\_\_\_ DATE: \_\_\_\_\_

DIRECTOR

RECOMMENDED FOR APPROVAL

X \_\_\_\_\_ DATE: \_\_\_\_\_

DEPUTY DIRECTOR OF OPERATIONS

RECOMMENDED FOR APPROVAL

X \_\_\_\_\_ DATE: \_\_\_\_\_

DEPUTY DIRECTOR OF INFRASTRUCTURE & ENVIRONMENTAL QUALITY

RECOMMENDED FOR APPROVAL

X \_\_\_\_\_ DATE: \_\_\_\_\_

DEPUTY DIRECTOR OF RIGHT-OF-WAY & DEVELOPMENT SERVICES

RECOMMENDED FOR APPROVAL

X \_\_\_\_\_ DATE: \_\_\_\_\_

DEPUTY DIRECTOR OF TRANSPORTATION

DEPARTMENT OF PROJECT IMPLEMENTATION

APPROVED

X \_\_\_\_\_ DATE: \_\_\_\_\_

DIRECTOR

RECOMMENDED FOR APPROVAL

X \_\_\_\_\_ DATE: \_\_\_\_\_

DIVISION CHIEF

**CONTACTS**

**OWNER:**  
CITY OF ALEXANDRIA  
TRANSPORTATION AND ENVIRONMENTAL SERVICES  
CITY HALL  
301 KING STREET  
ALEXANDRIA, VA 22314  
TEL: (703) 746-4631  
FAX: (703) 212-8405  
CONTACT: REGINALD M. ARNO, P.E.

**CIVIL ENGINEER:**  
TOOLE DESIGN GROUP, LLC  
8484 GEORGIA AVENUE  
SUITE 800  
SILVER SPRING, MARYLAND 20910  
TEL: (301) 927-1900  
FAX: (301) 927-2800  
CONTACT:

	PROPERTY OWNER (NPS)	PROPERTY OWNER (CITY OF ALEXANDRIA)	PROPERTY OWNER (SALVATION ARMY)	PROPERTY OWNER (PEPCO)
*ESTIMATED DISTURBANCE	2805 SF	271 SF	1143 SF	18 SF
* ESTIMATED DISTURBANCE BASED ON LIMIT OF DISTURBANCE (LD), CITY OF ALEXANDRIA GIS PROPERTY LAYER & NATIONAL PARK SERVICE (NPS) GIS PROPERTY LAYER				



KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.  
DIAL 811 IN VIRGINIA OR  
1-800-552-7001

NOT FOR CONSTRUCTION

60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	BY

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

COVER SHEET

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1900  
FAX: 301.927.2800  
www.tooledesign.com

**TOOLE**  
DESIGN

SHEET  
01 of 24  
SCALE NO SCALE

H:\60000\6260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CE\Plans\90% Design\G-001-COVR.dwg  
10/4/2022



**PROJECT NARRATIVE**

SEE COVER SHEET.

**EXISTING CONDITIONS SURVEY NOTES**

- HORIZONTAL DATUM: NAD 1983  
VERTICAL DATUM: NAVD 1988
- UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED BY RINKER DESIGN ASSOCIATES (RDA), DATED JANUARY, 2018; AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-257-7777, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.
- LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION.

**CITY STANDARD GENERAL NOTES**

- "CITY" MEANS THE CITY OF ALEXANDRIA, A MUNICIPAL CORPORATION OF VIRGINIA AND ITS AUTHORIZED REPRESENTATIVES AND EMPLOYEES.
- TOTAL LIMIT OF WORK: 4,240 SQUARE FEET OR 0.10 ACRES OF WHICH 3,600 SQUARE FEET OR 0.08 ACRES WILL BE DISTURBED (FULL DEPTH) WITH THIS PROJECT.
- THE NATURAL SOILS AT THE SITE CONSIST OF 100% URBAN LAND.
- THE SITE IS LOCATED IN THE POTOMAC RIVER WATERSHED.
- NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A CITY OF ALEXANDRIA RESOURCE PROTECTION AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION.
- ALL NEW CONSTRUCTION WILL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS TO THE CITY RIGHT-OF-WAY SUCH AS CURB, GUTTER, SIDEWALK, AND DRIVEWAY APRONS, ETC., SHALL BE CONSTRUCTED PER THE PROJECT TECHNICAL SPECIFICATIONS, PROJECT DETAILS AND THE CITY OF ALEXANDRIA STANDARDS MANUAL.
- ALL STREET CUT AND PATCH WORK LOCATED IN PUBLIC RIGHT-OF-WAYS, REQUIRED FOR ANY UTILITY INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS AND TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES).
- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PLACED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
- ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE A SEPARATE PERMIT FROM THE CITY.
- THE CONTRACTOR MUST SUBMIT FOR HAULING PERMIT APPLICATION TO THE CITY VIA THE PROJECT ENGINEER.
- COMPACTION OF BACKFILL IN UTILITY TRENCHES SHALL BE IN ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
- ALL STORM SEWERS SHALL BE CONSTRUCTED TO THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
- ALL WATER FACILITY CONSTRUCTION SHALL CONFORM TO VIRGINIA AMERICAN WATER COMPANY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONTACT VIRGINIA AMERICAN WATER COMPANY AT (703) 549-7080 TO COORDINATE CONSTRUCTION AND INSPECTION OF WATER FACILITIES.
- ELECTRIC POWER IS PROVIDED BY DOMINION VIRGINIA POWER.
- THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROJECT.
- THE CONTRACTOR MUST SUBMIT A SPECIAL USE PERMIT TO THE NATIONAL PARK SERVICE-GEORGE WASHINGTON MEMORIAL PARKWAY FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING ON SITE OR PLACEMENT OF SIGNAGE WITHIN NPS PROPERTY.
- SHOULD UTILITY CONSTRUCTION BE PERFORMED AFTER COMPLETING EARTHWORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING 98 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1551) COMPACTION IN ALL TRENCH BACKFILL.
- FOR PROJECTS WITH DISTURBED AREAS GREATER THAN 2500 SF, THE CONTRACTOR MUST PROVIDE THE NAME OF THE RESPONSIBLE LAND DISTURBER (RLD) AND A CURRENT CERTIFICATION FOR THE SAME INDIVIDUAL PRIOR TO THE PRE-CONSTRUCTION MEETING. THE CERTIFICATION MUST BE IN EFFECT FOR THE DURATION OF THE PROJECT.
- GAS SERVICE IS PROVIDED BY WASHINGTON GAS.
- TEMPORARY BUS STOP LOCATION MUST MEET WMATA AND ADA REQUIREMENTS PRIOR TO CLOSING EXISTING BUS STOP.

**ARCHAEOLOGY NOTES**

- CALL ALEXANDRIA ARCHAEOLOGY (703-838-4399) TWO WEEKS PRIOR TO THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
- CALL ALEXANDRIA ARCHAEOLOGY DEPARTMENT (703-838-4399) IMMEDIATELY IF ANY STONE OR POTTERY, INDIAN ARTIFACTS OR HISTORICAL STRUCTURAL REMAINS, WALL FOUNDATIONS, PRIVES, CISTERNS, ICE WELLS, ETC OR CONCENTRATION OF ARTIFACTS ARE FOUND DURING CONSTRUCTION WORK. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE TO RECORD THE FINDS.
- THE APPLICANT MUST NOT ALLOW METAL DETECTION TO BE CONDUCTED ON THE PROPERTY UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.
- IF DURING DEMOLITION THE CONTRACTOR DISCOVERS A NEED TO DIG INTO THE UNDERLYING GROUND SURFACE BEYOND SUCH DESCRIBED IN THE PLANS, THE APPLICANT SHALL CALL ALEXANDRIA ARCHAEOLOGY TO MONITOR GROUND DISTURBANCE.

**CODE**

C-1 ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

**RODENT ABATEMENT NOTE**

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION THAT WILL OUTLINE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION DEPARTMENT AT (703) 838-4644 OR (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.

**ENVIRONMENTAL SITE ASSESSMENT NOTES**

- THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIABLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THE SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
  - MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND
  - SATURDAYS FROM 9 AM TO 6 PM.
  - NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.
  - PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS: MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND SATURDAYS FROM 10 AM TO 4 PM.

**UTILITY WORKS NOTES**

- NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME. ALL EXCAVATED MATERIAL TO BE REPLACED INTO TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF THE TRENCH. IF ANY TRENCH WORK WILL REMAIN OPENED AFTER THE END OF THE WORKDAY, ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION, AND AS DETERMINED BY THE CITY OF ALEXANDRIA.
- STATE LAW MANDATES THE NOTIFICATION OF UTILITY OWNERS 48 HOURS IN ADVANCE OF EXCAVATION. FOR LOCATION OF UTILITIES CALL:

UTILITY OWNERS	TELEPHONE
DOMINION VIRGINIA POWER	703-838-2478
VERIZON COMMUNICATIONS	703-212-5261
COMCAST	703-926-0534
WASHINGTON GAS	703-750-4256
PEPCO	202-833-7500
VIRGINIA AMERICAN WATER	703-706-3889
SANITARY SEWER - CITY OF ALEX.	703-746-4014

- CONTRACTOR SHALL CONFORM TO THE OVERHEAD HIGH VOLTAGE ACT (EFFECTIVE JULY 1, 2003) AND SHALL CONTACT THE NECESSARY AUTHORITIES PRIOR TO START OF CONSTRUCTION.

**CONSTRUCTION NOTES**

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE CITY AND TAKE NECESSARY ACTION AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUATION OF SERVICE.
- THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED, IF REQUIRED.
- THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OF OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY.
- ALL OVER HEAD POLE LINES SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
- EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONTRACTOR.
- EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO THE ADJACENT CURB, GUTTER, AND RIGHT-OF-WAY, IF DAMAGED DURING CONSTRUCTION ACTIVITY AS DETERMINED BY THE CITY.
- TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. ADJUSTMENTS TO STRUCTURE TOPS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
- CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA. CUT SHEETS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTION.
- SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE AND/OR THE PONDING OF WATER ON THE ROADWAY.
- ALL PAVEMENT MARKING TO MEET THE REQUIREMENTS OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL EROSION CONTROLS SHALL CONFORM TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND MUST BE SUBMITTED AND APPROVED BY THE CITY.

**CONSTRUCTION NOTES (CONTINUED)**

- THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE OCCURS ON SITE TO PREVENT PONDING OR DRAINAGE PROBLEMS ON ADJACENT PROPERTIES.
- CONTRACTOR MUST ENSURE THAT THERE IS NO DISTURBANCE ON ADJACENT PROPERTIES, UNLESS OTHERWISE NOTED ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.
- ANY CHANGES OR DEVIATIONS FROM DESIGN DOCUMENTS, DRAWINGS, SPECIFICATIONS, OR SHOP DRAWINGS REQUIRE APPROVAL OF THE CITY PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING THE DEVELOPMENT OF TRAFFIC CONTROL PLANS. ALL TRAFFIC CONTROL COSTS FOR ALL STAGES SHALL BE INCLUDED IN THE BID PRICE FOR "MAINTENANCE OF TRAFFIC (LSJM)." NO LANES SHALL BE CLOSED DURING CONSTRUCTION. IF LANES NEED TO BE CLOSED TO FACILITATE THE CONSTRUCTION THEN THE CONTRACTOR SHALL PROVIDE A LANE CLOSURE PLAN TO THE SATISFACTION OF THE CITY. TEMPORARY PAVEMENT MARKING AND REMOVAL MAY BE REQUIRED AND SHALL BE INCLUDED IN THE BID PRICE FOR "MAINTENANCE OF TRAFFIC (LSJM)." NO SIDE AND/OR CROSS WALK SHALL BE CLOSED DURING CONSTRUCTION. IF SIDE AND/OR CROSS WALKS NEED TO BE CLOSED TO FACILITATE THE CONSTRUCTION THEN THE CONTRACTOR SHALL PROVIDE A SIDE AND/OR CROSS WALK CLOSURE PLAN TO THE SATISFACTION OF THE CITY.

**SIGNING AND PAVEMENT MARKING NOTES**

SEE SIGNING & PAVEMENT MARKING SIGN SCHEDULE SHEET

**PLANTINGS NOTES**

SEE LANDSCAPE NOTES AND DETAILS SHEET

NOT FOR CONSTRUCTION



60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.:	20180
DATE OF PLAN ISSUANCE:	4/22/22
CONSULTANT PROJECT ID.:	5260-23
DESIGNED BY:	MJ DATE: 4/22/22
DRAWN BY:	TT DATE: 4/22/22
CHECKED BY:	EG DATE: 4/18/22
APPROVED BY:	EG DATE: 4/22/22

**GENERAL NOTES**

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1800  
FAX: 301.927.2800  
www.tooledesign.com

**TOOLE**  
DESIGN

SHEET  
2 of 24  
SCALE NO SCALE

H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIE\Plans\90% Design\G-002-NOTE.dwg 10/4/2022



**LEGEND**

	EXISTING	PROPOSED
UNDERGROUND GAS LINE		N/A
UNDERGROUND TELEPHONE LINE		N/A
UNDERGROUND ELECTRIC LINE		N/A
STORM DRAIN LINE		N/A
OVERHEAD ELECTRIC LINE		N/A
SANITARY SEWER LINE		N/A
ELECTRIC MANHOLE		N/A
WATER LETER		N/A
WATER VALVE		N/A
SANITARY MANHOLE		N/A
TRAFFIC BOX		N/A
SIGNAL BOX		N/A
TRAFFIC SIGNAL POLE		N/A
UTILITY POLE		N/A
STREETLIGHT POLE		N/A
GUY WIRE		N/A
TRAFFIC SIGN		
FIRE HYDRANT		N/A
TELEPHONE PEDESTAL		N/A
STORM INLET		N/A
CURB		
CURB AND GUTTER		
EVERGREEN TREE LINE		N/A
CHAIN LINK FENCE		N/A
BENCHMARK		N/A
CURB RAMP	N/A	
TREE		
EDGE OF PAVEMENT (GIS)		N/A
GIS PROPERTY LINE (FROM NPS)		N/A
GIS PROPERTY LINE (FROM CITY)		N/A
LIMITS OF DISTURBANCE	N/A	
SILT FENCE	N/A	
CATCH BASIN PROTECTION	N/A	
REMOVE CONCRETE CURB	N/A	
REMOVE CURB & GUTTER	N/A	
REMOVE CONCRETE SIDEWALK	N/A	
REMOVE BITUMINOUS PAVEMENT	N/A	

	EXISTING	PROPOSED
SIGN POST		
BICYCLE MOVEMENT SYMBOL	N/A	
4" SOLID WHITE LANE LINE		
6" SOLID WHITE LANE LINE	N/A	
4" BROKEN WHITE LANE LINE (10' STRIPE, 30' SKIP)		
8" SOLID WHITE LINE (GORE STRIPING)	N/A	
4" DASHED WHITE LANE LINE (2' STRIPE, 4' SKIP)		
4" DOUBLE SOLID YELLOW CENTERLINE		
4" DOUBLE DASHED YELLOW CENTERLINE	N/A	
12"/24" SOLID WHITE LINE (STOP LINE)		
24" SOLID WHITE LINE (CROSSWALK)		
WHITE PAVEMENT ARROW	N/A (NOT COLLECTED IN SURVEY)	
COLORIZED COATING	N/A	
YIELD MARKING	N/A	
TURFGRASS SOD	N/A	
GRASSES AND HERBACEOUS PLANTS	N/A	
WOODY SHRUBS AND GROUNDCOVERS	N/A	
TREE ROOT PRUNING LIMITS	N/A	

**ABBREVIATIONS**

ADA	-	AMERICAN DISABILITIES ACT
BL/B	-	BASELINE
BLDG	-	BUILDING
BWL	-	BROKEN WHITE LINE
C/CL	-	CENTERLINE
CONC	-	CONCRETE
CW	-	CROSSWALK
DSYCL	-	DOUBLE SOLID YELLOW CENTERLINE
DWL	-	DASHED WHITE LINE
DYL	-	DASHED YELLOW LINE
EL	-	ELEVATION
EOP	-	EDGE OF PAVEMENT
EX	-	EXISTING
G	-	GAS
GIS	-	GEOGRAPHIC INFORMATION SYSTEM
INV	-	INVERT
MH	-	MANHOLE
MOT	-	MAINTENANCE OF TRAFFIC
MUTCD	-	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
NTS	-	NOT TO SCALE
OFF	-	OFFSET
PCC	-	PORTLAND CEMENT CONCRETE
PROP	-	PROPOSED
RCP	-	REINFORCED CONCRETE PIPE
ROW	-	RIGHT OF WAY
SAN	-	SANITARY SEWER
STA	-	STATION
STD	-	STANDARD
SS	-	STORM SEWER
SW	-	SIDEWALK
SWL	-	SOLID WHITE LINE
TRAF	-	TRAFFIC
TELE	-	TELECOMMUNICATIONS
UP	-	UTILITY POLE
W	-	WATERLINE



CITY OF ALEXANDRIA, VIRGINIA  
 DEPARTMENT OF PROJECT IMPLEMENTATION  
 301 KING STREET  
 ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

SYMBOLS LEGEND AND ABBREVIATIONS

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**TOOLE**  
DESIGN

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SHEET  
 3 of 24  
 SCALE NO SCALE

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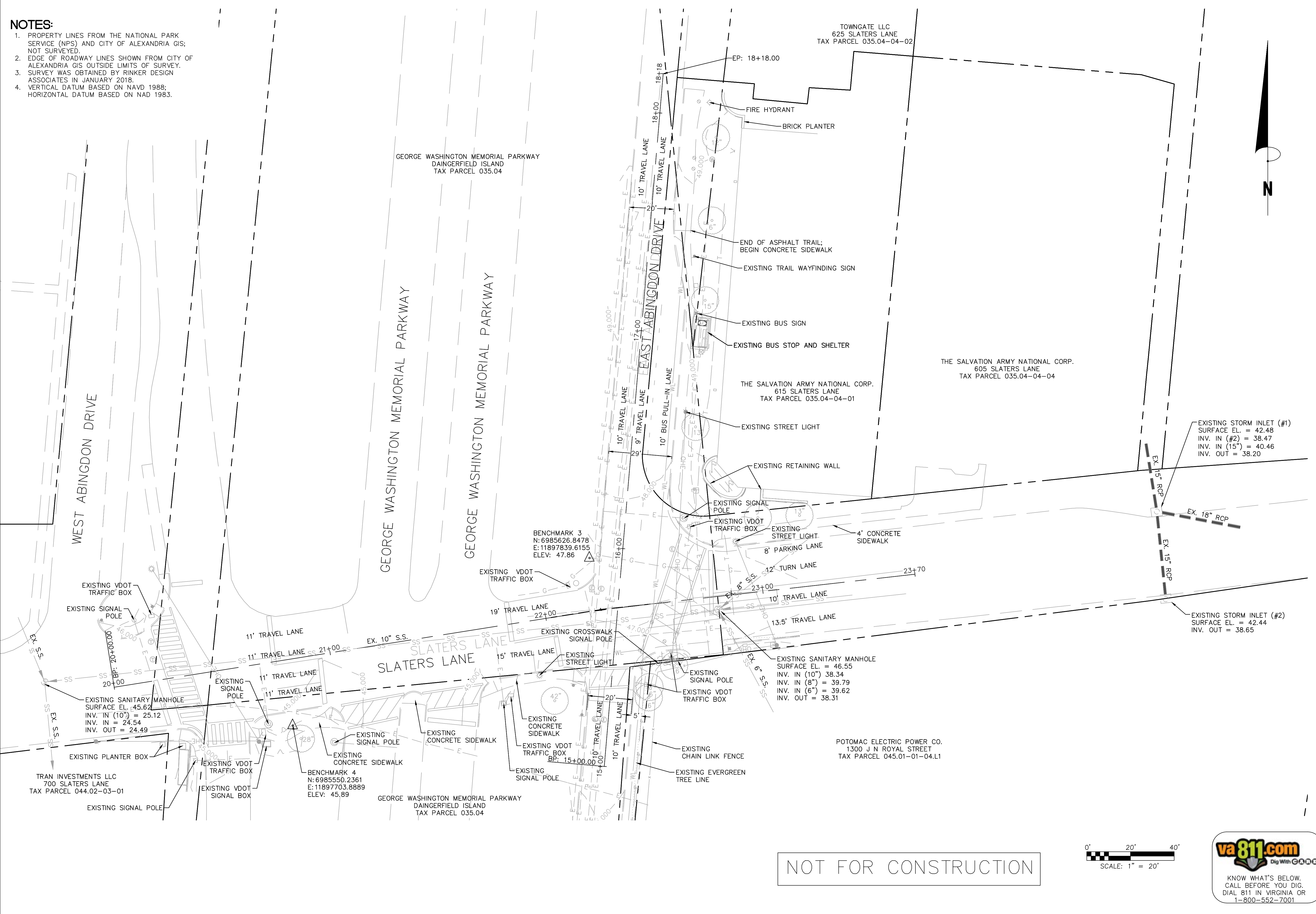
MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH 60% VDOT DESIGN SUBMITTAL

H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CCE\Plans\90% Design\G-002-NOTE.dwg 10/4/2022

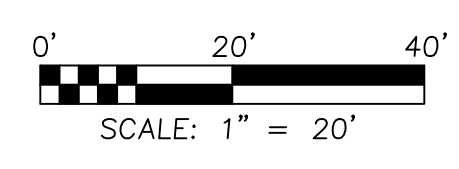


**NOTES:**

1. PROPERTY LINES FROM THE NATIONAL PARK SERVICE (NPS) AND CITY OF ALEXANDRIA GIS; NOT SURVEYED.
2. EDGE OF ROADWAY LINES SHOWN FROM CITY OF ALEXANDRIA GIS OUTSIDE LIMITS OF SURVEY.
3. SURVEY WAS OBTAINED BY RINKER DESIGN ASSOCIATES IN JANUARY 2018.
4. VERTICAL DATUM BASED ON NAVD 1988; HORIZONTAL DATUM BASED ON NAD 1983.



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MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH 60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

**EXISTING CONDITIONS**

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1300  
FAX: 301.927.2800  
www.tooledesign.com

**TOOLE DESIGN**

SHEET  
4 of 24  
SCALE 1" = 20'

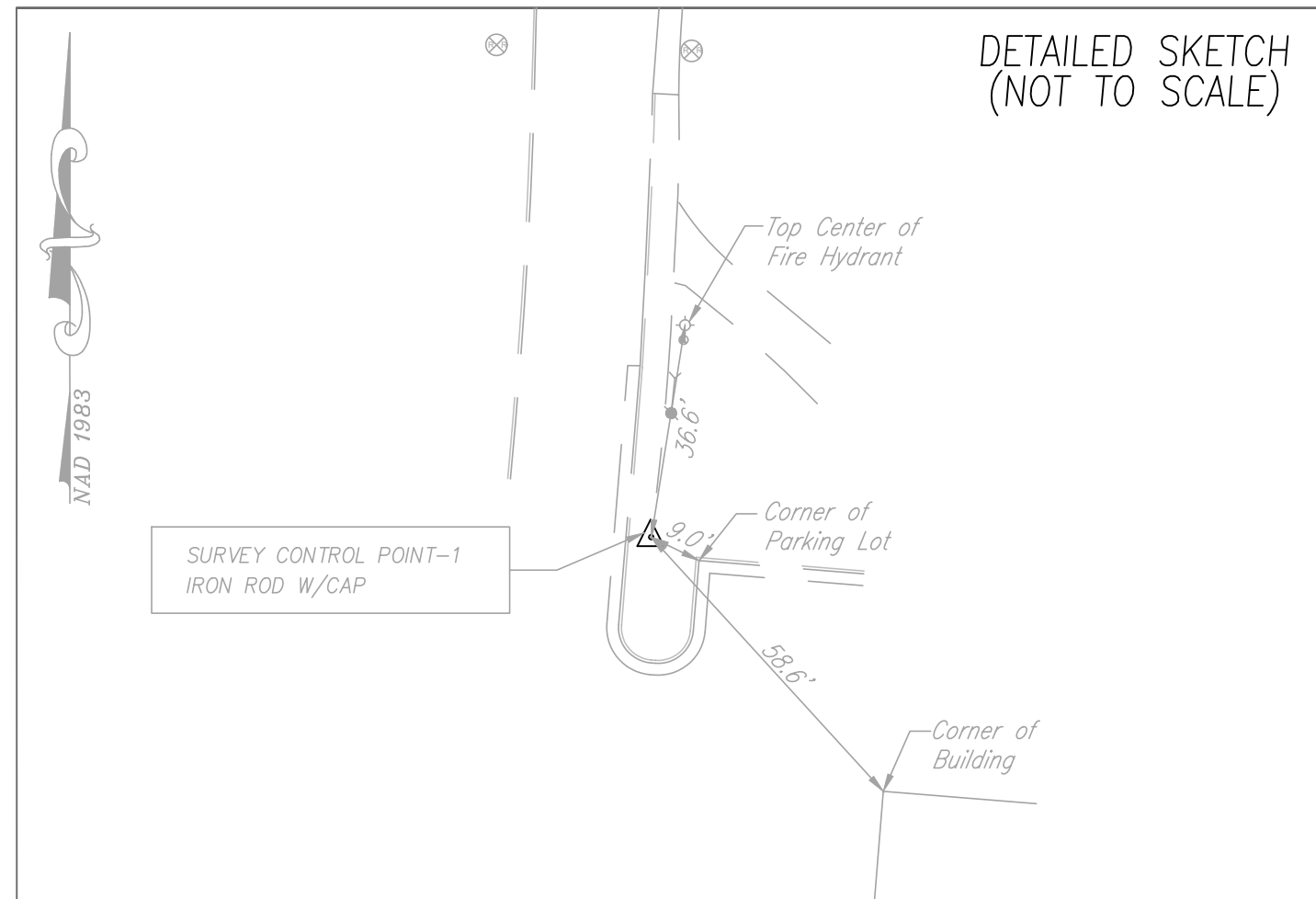


Rinker Design Associates, P.C. Horizontal Control Card

SLATERS LANE – EAST ABINGDON DRIVE  
 Control Station I. D.: 1  
 ALEXANDRIA, VIRGINIA  
 Established By: RINKER DESIGN ASSOCIATES, P.C.  
 Vertical Datum Based On: **NAVD 1988**  
 Horizontal Datum Based On: **NAD 1983**  
 Survey By: ROB GRIM  
 Field Operator: BILL MATHEWS

Control Data—Project Coordinates  
 East (X): 11,897,826.1490  
 North (Y): 6,985,026.5150  
 East (Z): 41.38'

\*\* See Below for detailed sketch location

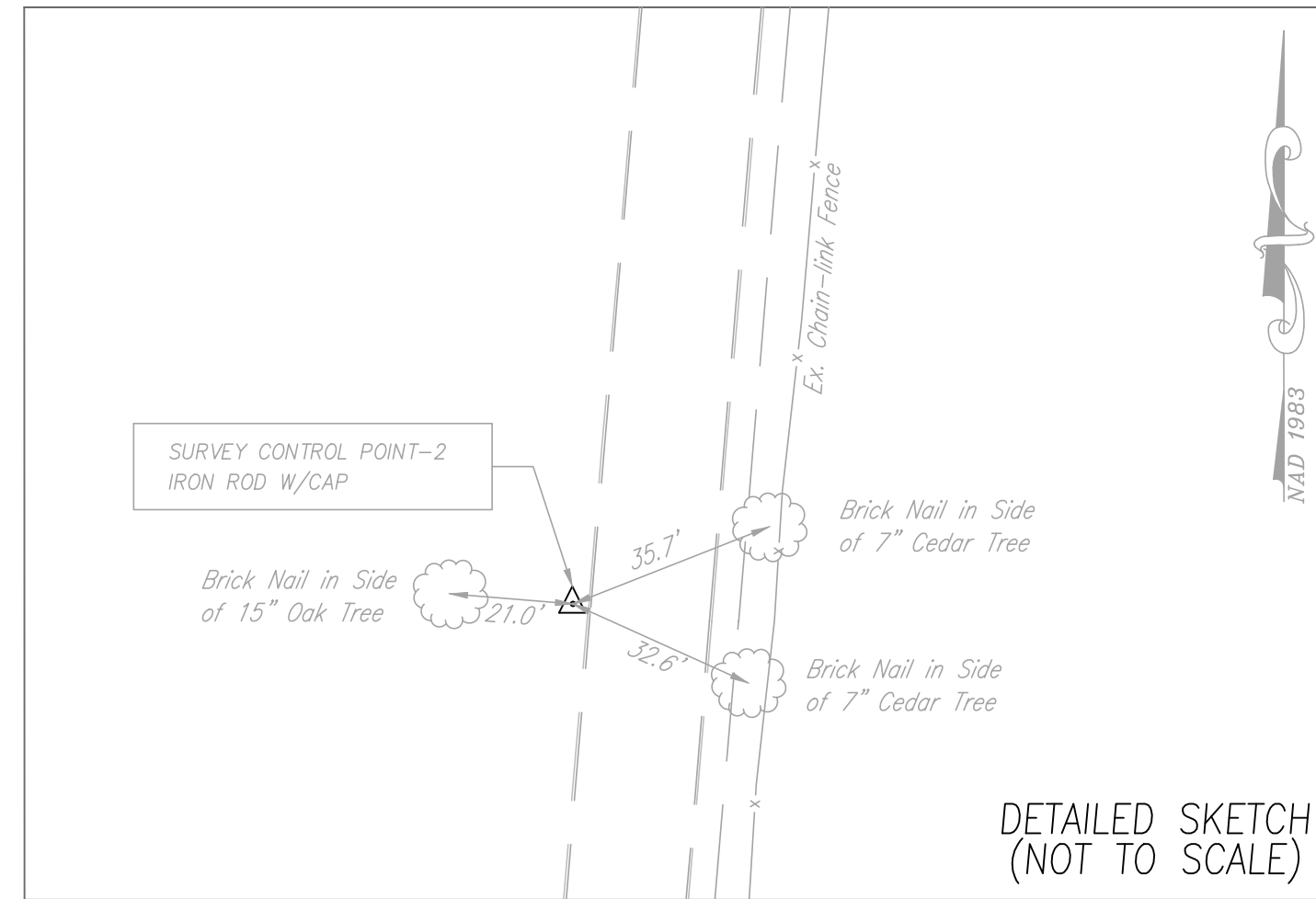


Rinker Design Associates, P.C. Horizontal Control Card

SLATERS LANE – EAST ABINGDON DRIVE  
 Control Station I. D.: 2  
 ALEXANDRIA, VIRGINIA  
 Established By: RINKER DESIGN ASSOCIATES, P.C.  
 Vertical Datum Based On: **NAVD 1988**  
 Horizontal Datum Based On: **NAD 1983**  
 Survey By: ROB GRIM  
 Field Operator: BILL MATHEWS

Control Data—Project Coordinates  
 East (X): 11,897,816.1980  
 North (Y): 6,985,333.6049  
 East (Z): 43.82'

\*\* See Below for detailed sketch location

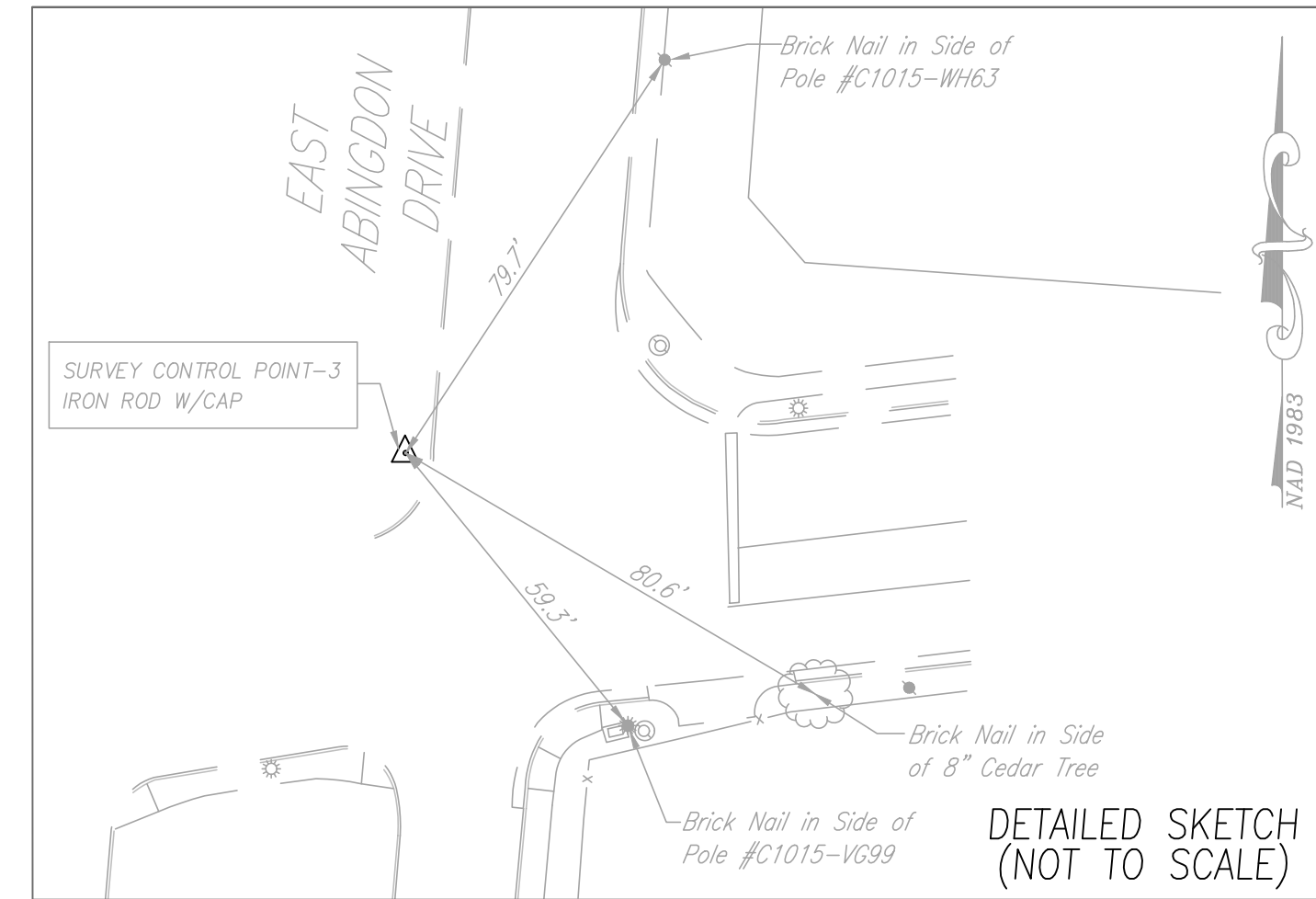


Rinker Design Associates, P.C. Horizontal Control Card

SLATERS LANE – EAST ABINGDON DRIVE  
 Control Station I. D.: 3  
 ALEXANDRIA, VIRGINIA  
 Established By: RINKER DESIGN ASSOCIATES, P.C.  
 Vertical Datum Based On: **NAVD 1988**  
 Horizontal Datum Based On: **NAD 1983**  
 Survey By: ROB GRIM  
 Field Operator: BILL MATHEWS

Control Data—Project Coordinates  
 East (X): 11,897,839.6155  
 North (Y): 6,985,626.8478  
 East (Z): 47.86'

\*\* See Below for detailed sketch location

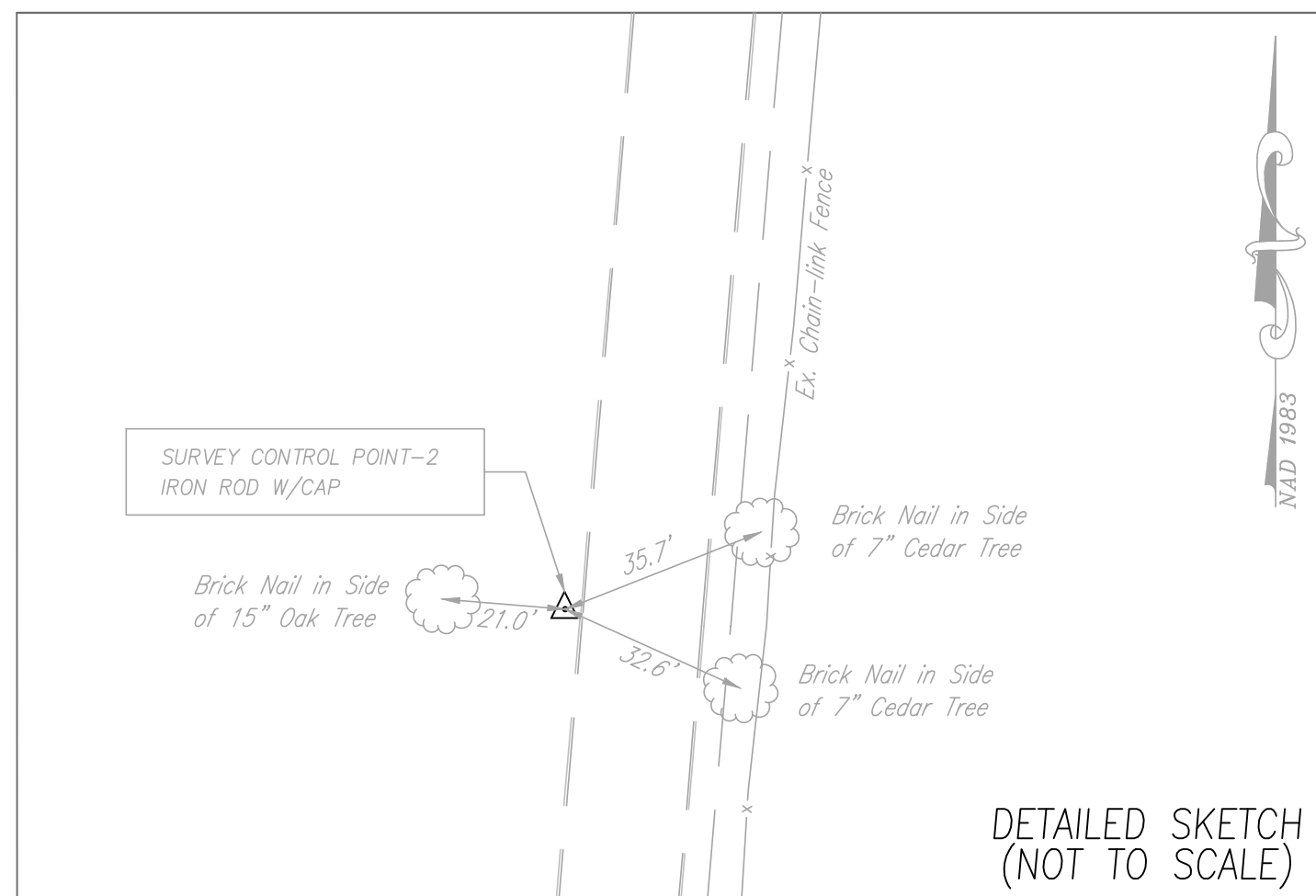


Rinker Design Associates, P.C. Horizontal Control Card

SLATERS LANE – EAST ABINGDON DRIVE  
 Control Station I. D.: 2  
 ALEXANDRIA, VIRGINIA  
 Established By: RINKER DESIGN ASSOCIATES, P.C.  
 Vertical Datum Based On: **NAVD 1988**  
 Horizontal Datum Based On: **NAD 1983**  
 Survey By: ROB GRIM  
 Field Operator: BILL MATHEWS

Control Data—Project Coordinates  
 East (X): 11,897,816.1980  
 North (Y): 6,985,333.6049  
 East (Z): 43.82'

\*\* See Below for detailed sketch location



NOT FOR CONSTRUCTION



60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
 DEPARTMENT OF PROJECT IMPLEMENTATION  
 301 KING STREET  
 ALEXANDRIA, VIRGINIA 22313

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

REVISIONS	DESCRIPTION
DATE	BY

ALEXANDRIA PROJECT NO.: 20180  
 DATE OF PLAN ISSUANCE: 4/22/22  
 CONSULTANT PROJECT ID: 5260-23  
 DESIGNED BY: MJ DATE: 4/22/22  
 DRAWN BY: TT DATE: 4/22/22  
 CHECKED BY: EG DATE: 4/18/22  
 APPROVED BY: EG DATE: 4/22/22

**SURVEY CONTROL**

8484 GEORGIA AVENUE, SUITE 800  
 SILVER SPRING, MD 20910  
 PHONE: 301.927.1900  
 FAX: 301.927.2800  
 www.tooledesign.com

**TOOLE**  
**DESIGN**

SHEET  
 5 of 24  
 SCALE NONE

H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIE\Plans\90% Design\C-100-ALGN.dwg 10/4/2022

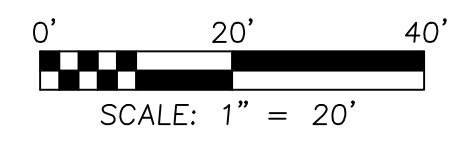
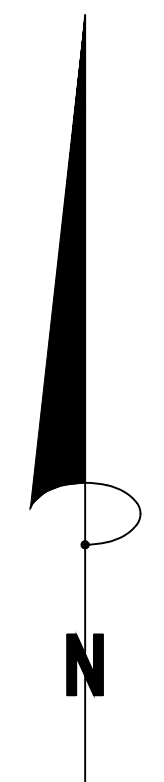
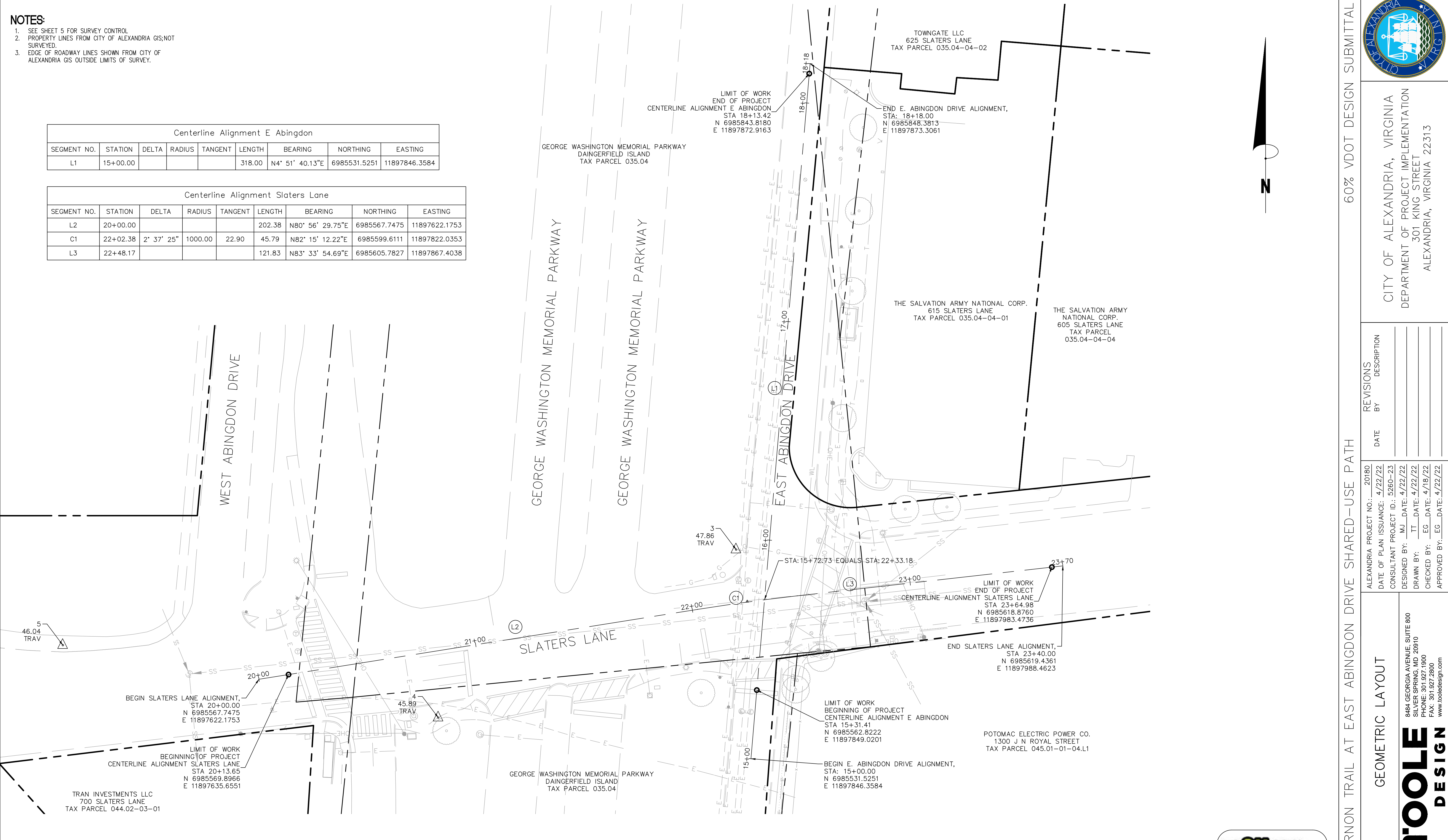


**NOTES:**

1. SEE SHEET 5 FOR SURVEY CONTROL.
2. PROPERTY LINES FROM CITY OF ALEXANDRIA GIS; NOT SURVEYED.
3. EDGE OF ROADWAY LINES SHOWN FROM CITY OF ALEXANDRIA GIS OUTSIDE LIMITS OF SURVEY.

Centerline Alignment E Abingdon								
SEGMENT NO.	STATION	DELTA	RADIUS	TANGENT	LENGTH	BEARING	NORTHING	EASTING
L1	15+00.00				318.00	N4° 51' 40.13"E	6985531.5251	11897846.3584

Centerline Alignment Slaters Lane								
SEGMENT NO.	STATION	DELTA	RADIUS	TANGENT	LENGTH	BEARING	NORTHING	EASTING
L2	20+00.00				202.38	N80° 56' 29.75"E	6985567.7475	11897622.1753
C1	22+02.38	2' 37" 25"	1000.00	22.90	45.79	N82° 15' 12.22"E	6985599.6111	11897822.0353
L3	22+48.17				121.83	N83° 33' 54.69"E	6985605.7827	11897867.4038



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MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.: 20180  
DATE OF PLAN ISSUANCE: 4/22/22  
CONSULTANT PROJECT ID: 5260-23  
DESIGNED BY: MJ DATE: 4/22/22  
DRAWN BY: TT DATE: 4/22/22  
CHECKED BY: EG DATE: 4/18/22  
APPROVED BY: EG DATE: 4/22/22

GEOMETRIC LAYOUT

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1900  
FAX: 301.927.2800  
www.tooledesign.com

**TOOLE**  
DESIGN

SHEET  
6 of 24  
SCALE 1" = 20'

H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIP\Plans\90% Design\C-100-ALGN.dwg  
10/4/2022

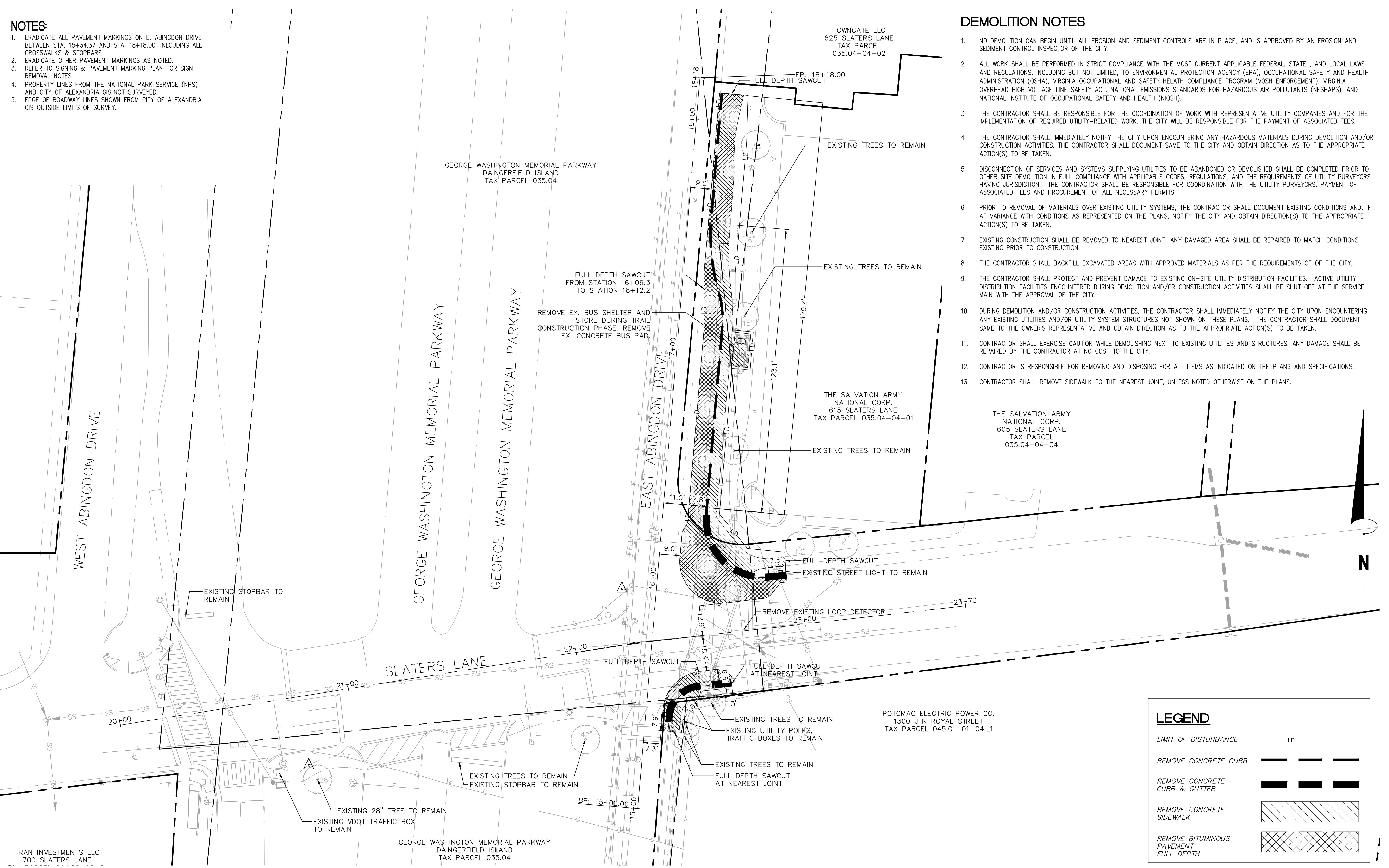


**NOTES:**

1. ERADICATE ALL PAVEMENT MARKINGS ON E. ABINGDON DRIVE BETWEEN STA. 15+34.37 AND STA. 18+18.00, INCLUDING ALL CROSSWALKS & STOPBARS
2. ERADICATE OTHER PAVEMENT MARKINGS AS NOTED.
3. REFER TO SIGNING & PAVEMENT MARKING PLAN FOR SIGN REMOVAL NOTES.
4. PROPERTY LINES FROM THE NATIONAL PARK SERVICE (NPS) AND CITY OF ALEXANDRIA GIS; NOT SURVEYED.
5. EDGE OF ROADWAY LINES SHOWN FROM CITY OF ALEXANDRIA GIS OUTSIDE LIMITS OF SURVEY.

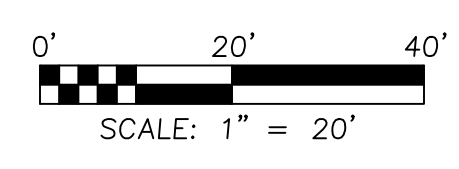
**DEMOLITION NOTES**

1. NO DEMOLITION CAN BEGIN UNTIL ALL EROSION AND SEDIMENT CONTROLS ARE IN PLACE, AND IS APPROVED BY AN EROSION AND SEDIMENT CONTROL INSPECTOR OF THE CITY.
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK. THE CITY WILL BE RESPONSIBLE FOR THE PAYMENT OF ASSOCIATED FEES.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE CITY AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
5. DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
6. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE CITY AND OBTAIN DIRECTION(S) TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
7. EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS AS PER THE REQUIREMENTS OF THE CITY.
9. THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE CITY.
10. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
11. CONTRACTOR SHALL EXERCISE CAUTION WHILE DEMOLISHING NEXT TO EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CITY.
12. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING FOR ALL ITEMS AS INDICATED ON THE PLANS AND SPECIFICATIONS.
13. CONTRACTOR SHALL REMOVE SIDEWALK TO THE NEAREST JOINT, UNLESS NOTED OTHERWISE ON THE PLANS.



**LEGEND**

- LIMIT OF DISTURBANCE — LD —
- REMOVE CONCRETE CURB —
- REMOVE CONCRETE CURB & GUTTER —
- REMOVE CONCRETE SIDEWALK —
- REMOVE BITUMINOUS PAVEMENT FULL DEPTH —



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DAINGERFIELD ISLAND  
TAX PARCEL 035.04

POTOMAC ELECTRIC POWER CO.  
1300 J N ROYAL STREET  
TAX PARCEL 045.01-01-04.L1

THE SALVATION ARMY  
NATIONAL CORP.  
615 SLATERS LANE  
TAX PARCEL 035.04-04-01

THE SALVATION ARMY  
NATIONAL CORP.  
605 SLATERS LANE  
TAX PARCEL 035.04-04-04

GEORGE WASHINGTON MEMORIAL PARKWAY  
DAINGERFIELD ISLAND  
TAX PARCEL 035.04

TOWNGATE LLC  
625 SLATERS LANE  
TAX PARCEL 035.04-04-02

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH



60% VDOT DESIGN SUBMITTAL

CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.: 20180  
DATE OF PLAN ISSUANCE: 4/22/22  
CONSULTANT PROJECT ID: 5260-23  
DESIGNED BY: MJ DATE: 4/22/22  
DRAWN BY: TT DATE: 4/22/22  
CHECKED BY: EG DATE: 4/18/22  
APPROVED BY: EG DATE: 4/22/22

DEMOLITION PLAN

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1900  
FAX: 301.927.2800  
www.tooledesign.com

**TOOLE**  
DESIGN

SHEET  
7 of 24  
SCALE 1" = 20'

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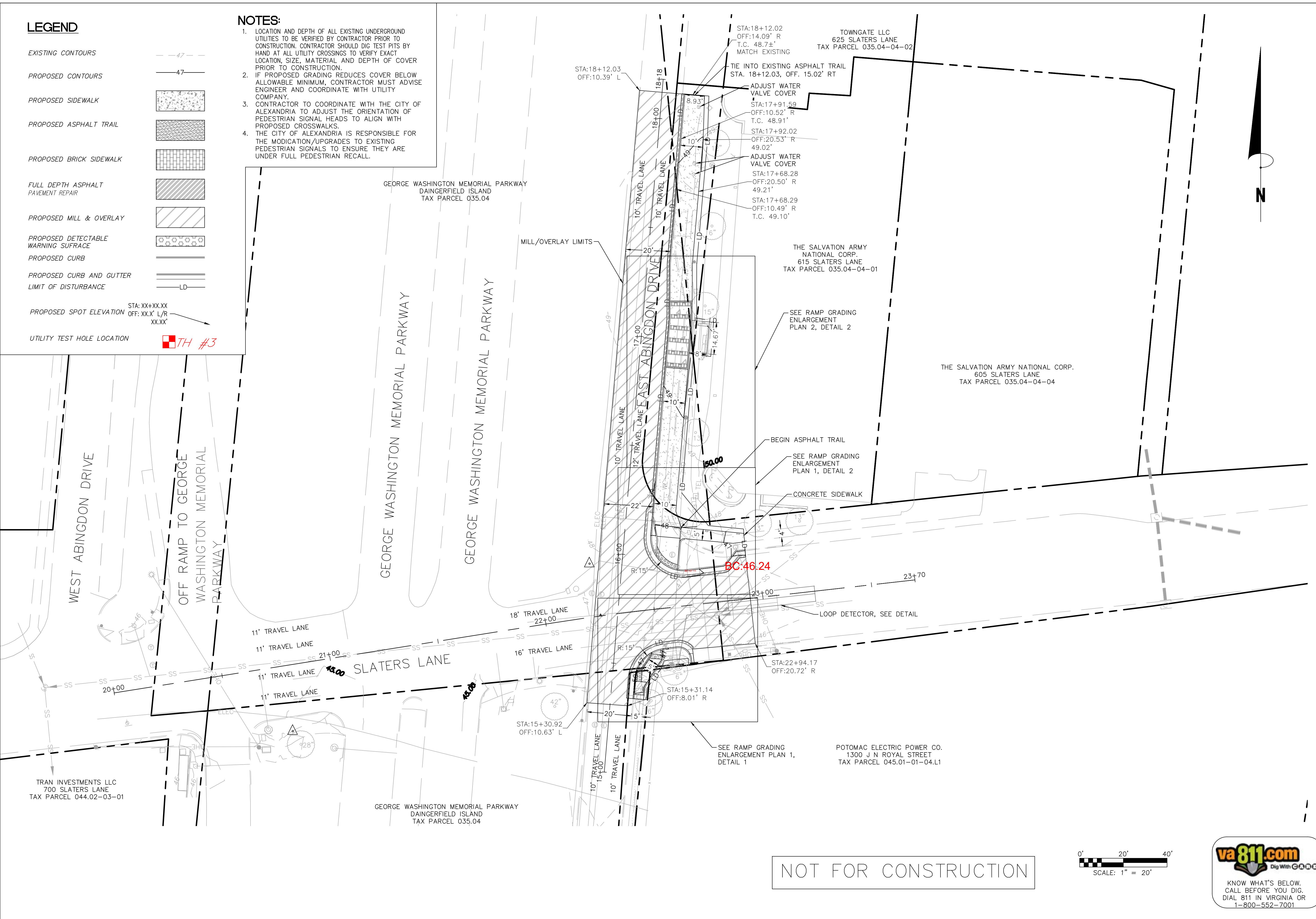
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10/4/2022

**LEGEND**

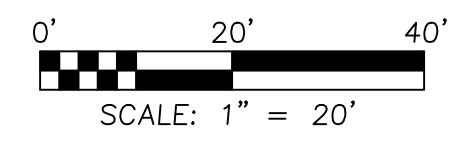
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SIDEWALK
- PROPOSED ASPHALT TRAIL
- PROPOSED BRICK SIDEWALK
- FULL DEPTH ASPHALT PAVEMENT REPAIR
- PROPOSED MILL & OVERLAY
- PROPOSED DETECTABLE WARNING SURFACE
- PROPOSED CURB
- PROPOSED CURB AND GUTTER
- LIMIT OF DISTURBANCE
- PROPOSED SPOT ELEVATION STA: XX+XX.XX  
OFF: XX.X' L/R  
XX.XX'
- UTILITY TEST HOLE LOCATION TH #3

**NOTES:**

1. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION, SIZE, MATERIAL AND DEPTH OF COVER PRIOR TO CONSTRUCTION.
2. IF PROPOSED GRADING REDUCES COVER BELOW ALLOWABLE MINIMUM, CONTRACTOR MUST ADVISE ENGINEER AND COORDINATE WITH UTILITY COMPANY.
3. CONTRACTOR TO COORDINATE WITH THE CITY OF ALEXANDRIA TO ADJUST THE ORIENTATION OF PEDESTRIAN SIGNAL HEADS TO ALIGN WITH PROPOSED CROSSWALKS.
4. THE CITY OF ALEXANDRIA IS RESPONSIBLE FOR THE MODIFICATION/UPGRADES TO EXISTING PEDESTRIAN SIGNALS TO ENSURE THEY ARE UNDER FULL PEDESTRIAN RECALL.



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MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.: 20180  
DATE OF PLAN ISSUANCE: 4/22/22  
CONSULTANT PROJECT ID: 5260-23  
DESIGNED BY: MJ DATE: 4/22/22  
DRAWN BY: TT DATE: 4/22/22  
CHECKED BY: EG DATE: 4/18/22  
APPROVED BY: EG DATE: 4/22/22

GRADING / SITE PLAN

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1900  
FAX: 301.927.2800  
www.tooledesign.com


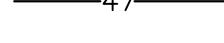
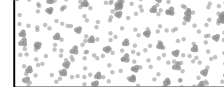
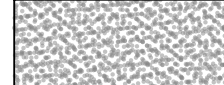
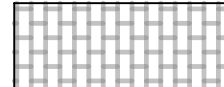


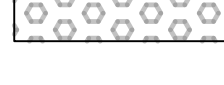
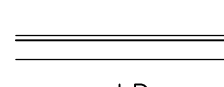

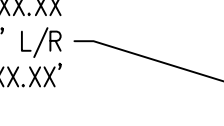

**TOOLE**  
DESIGN

SHEET  
8 of 24  
SCALE 1" = 20'

60% VDOT DESIGN SUBMITTAL



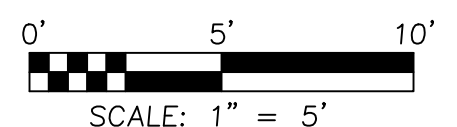
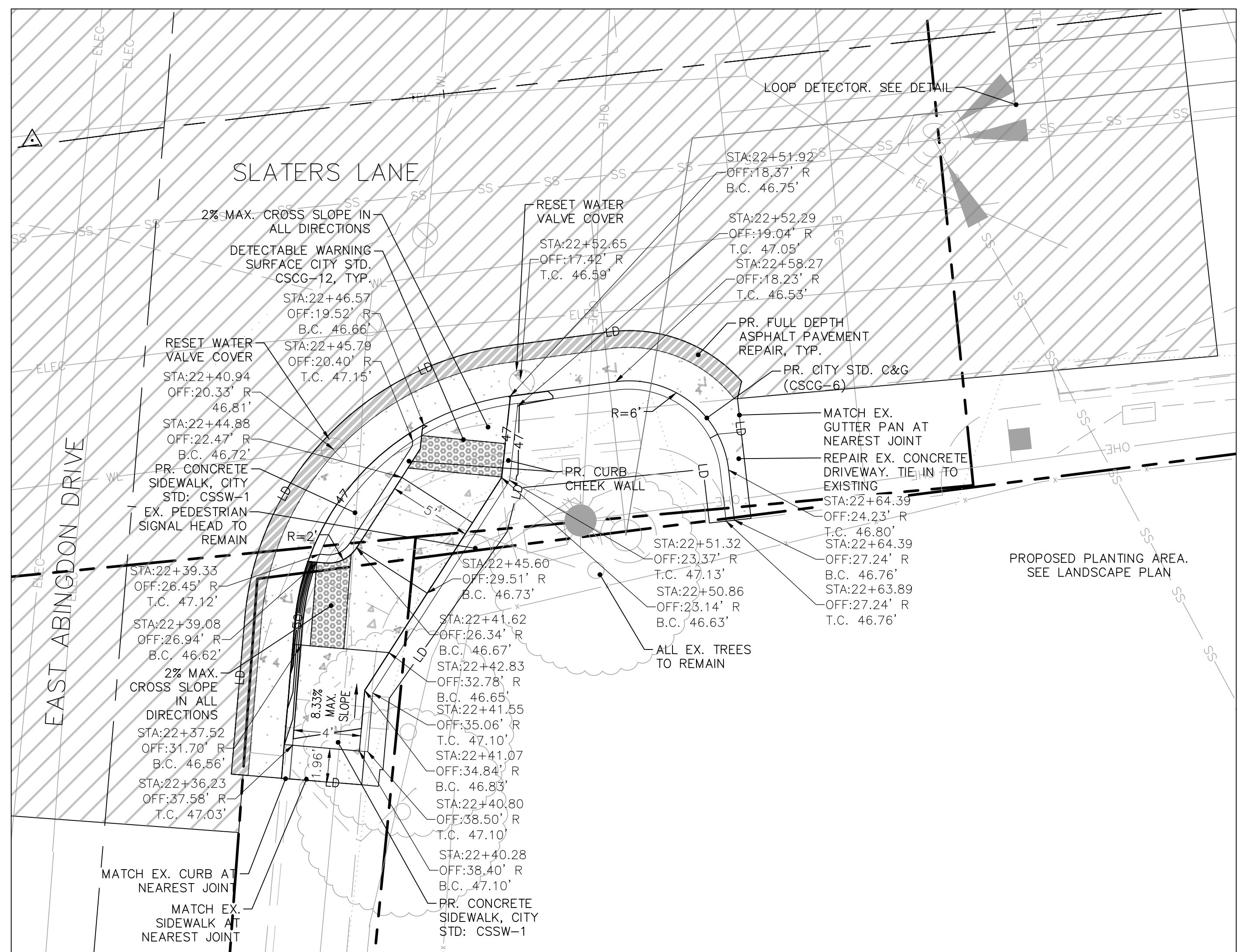
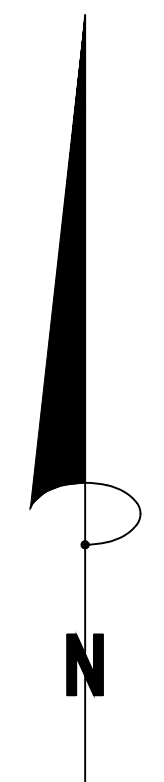
**LEGEND**

- EXISTING CONTOURS 
- PROPOSED CONTOURS 
- PROPOSED SIDEWALK 
- PROPOSED ASPHALT TRAIL 
- PROPOSED BRICK SIDEWALK 
- FULL DEPTH ASPHALT PAVEMENT REPAIR 
- PROPOSED MILL & OVERLAY 
- PROPOSED DETECTABLE WARNING SURFACE 
- PROPOSED CURB 
- PROPOSED CURB AND GUTTER LIMIT OF DISTURBANCE 
- PROPOSED SPOT ELEVATION 
- UTILITY TEST HOLE LOCATION 

**NOTES:**

1. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION, SIZE, MATERIAL AND DEPTH OF COVER PRIOR TO CONSTRUCTION.
2. IF PROPOSED GRADING REDUCES COVER BELOW ALLOWABLE MINIMUM, CONTRACTOR MUST ADVISE ENGINEER AND COORDINATE WITH UTILITY COMPANY.
3. CONTRACTOR TO COORDINATE WITH THE CITY OF ALEXANDRIA AND ADJUST THE ORIENTATION OF PEDESTRIAN SIGNAL HEADS TO ALIGN WITH PROPOSED CROSSWALKS.
4. THE CITY OF ALEXANDRIA IS RESPONSIBLE FOR THE MODIFICATION/UPGRADES TO EXISTING PEDESTRIAN SIGNALS TO ENSURE THEY ARE UNDER FULL PEDESTRIAN RECALL.

\*PROPOSED BOTTOM OF CURB ELEVATION ADJACENT TO TEST HOLE DATED: FEB. 18, 2020 × BC:47.11



NOT FOR CONSTRUCTION

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH 60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISONS	DESCRIPTION

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CONSULTANT PROJECT ID: 5260-23  
DESIGNED BY: MJ DATE: 4/22/22  
DRAWN BY: TT DATE: 4/22/22  
CHECKED BY: EG DATE: 4/18/22  
APPROVED BY: EG DATE: 4/22/22

GRADING ENLARGEMENT  
PLAN 1

**TOOLE**  
DESIGN


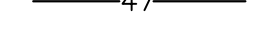
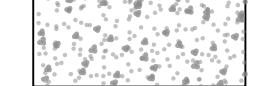
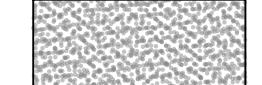
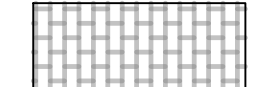


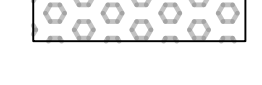
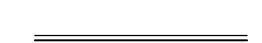
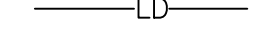
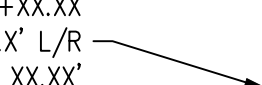

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SHEET  
9 of 24  
SCALE 1" = 5'

H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIE\Plans\90% Design\C-104-GRAD.dwg 10/4/2022



**LEGEND**

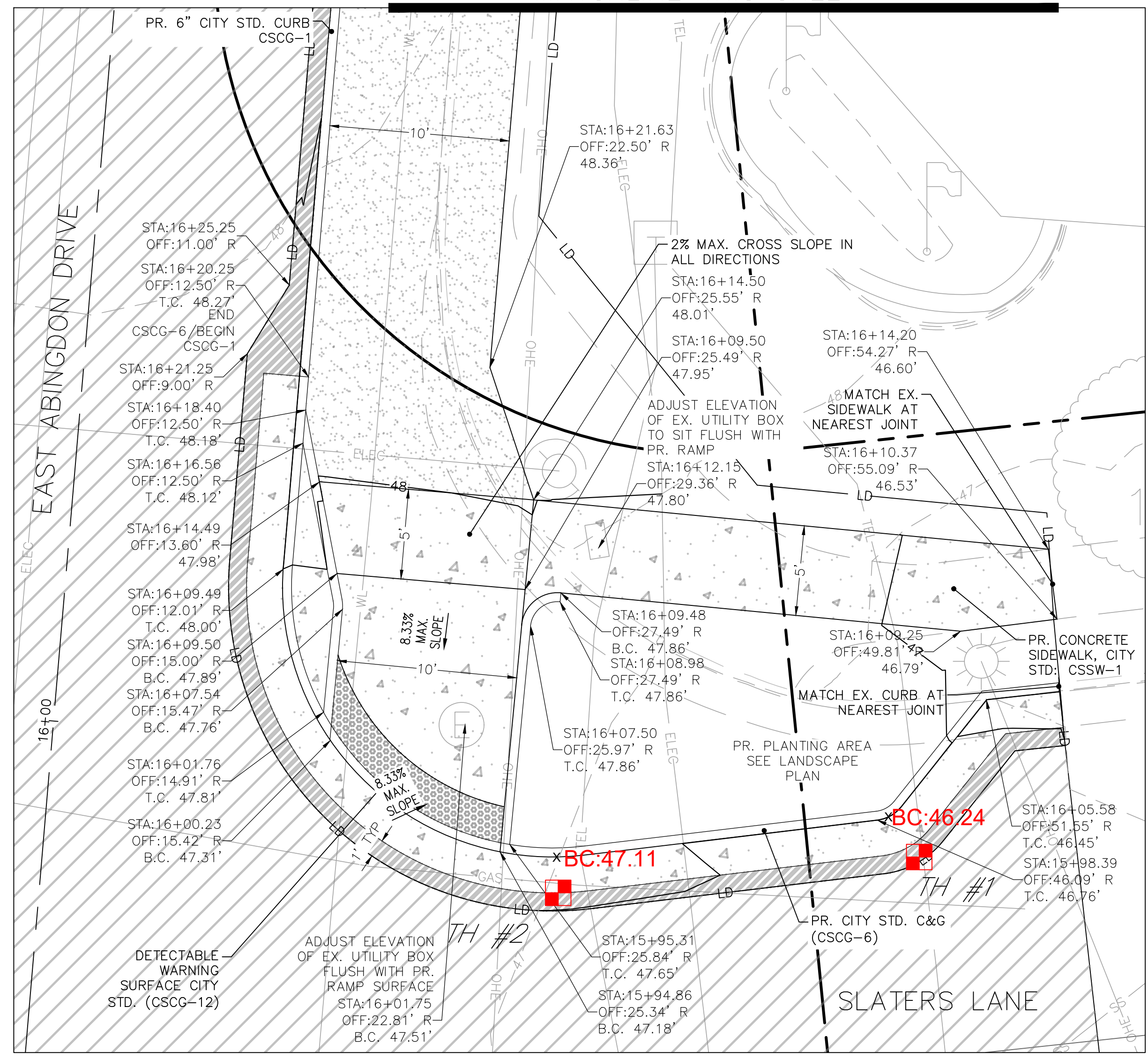
- EXISTING CONTOURS 
- PROPOSED CONTOURS 
- PROPOSED SIDEWALK 
- PROPOSED ASPHALT TRAIL 
- PROPOSED BRICK SIDEWALK 
- FULL DEPTH ASPHALT PAVEMENT REPAIR 
- PROPOSED MILL & OVERLAY 
- PROPOSED DETECTABLE WARNING SURFACE 
- PROPOSED CURB 
- PROPOSED CURB AND GUTTER LIMIT OF DISTURBANCE 
- PROPOSED SPOT ELEVATION STA: XX+XX.XX OFF: XX.X' L/R XX.XX' 
- UTILITY TEST HOLE LOCATION 

**NOTES:**

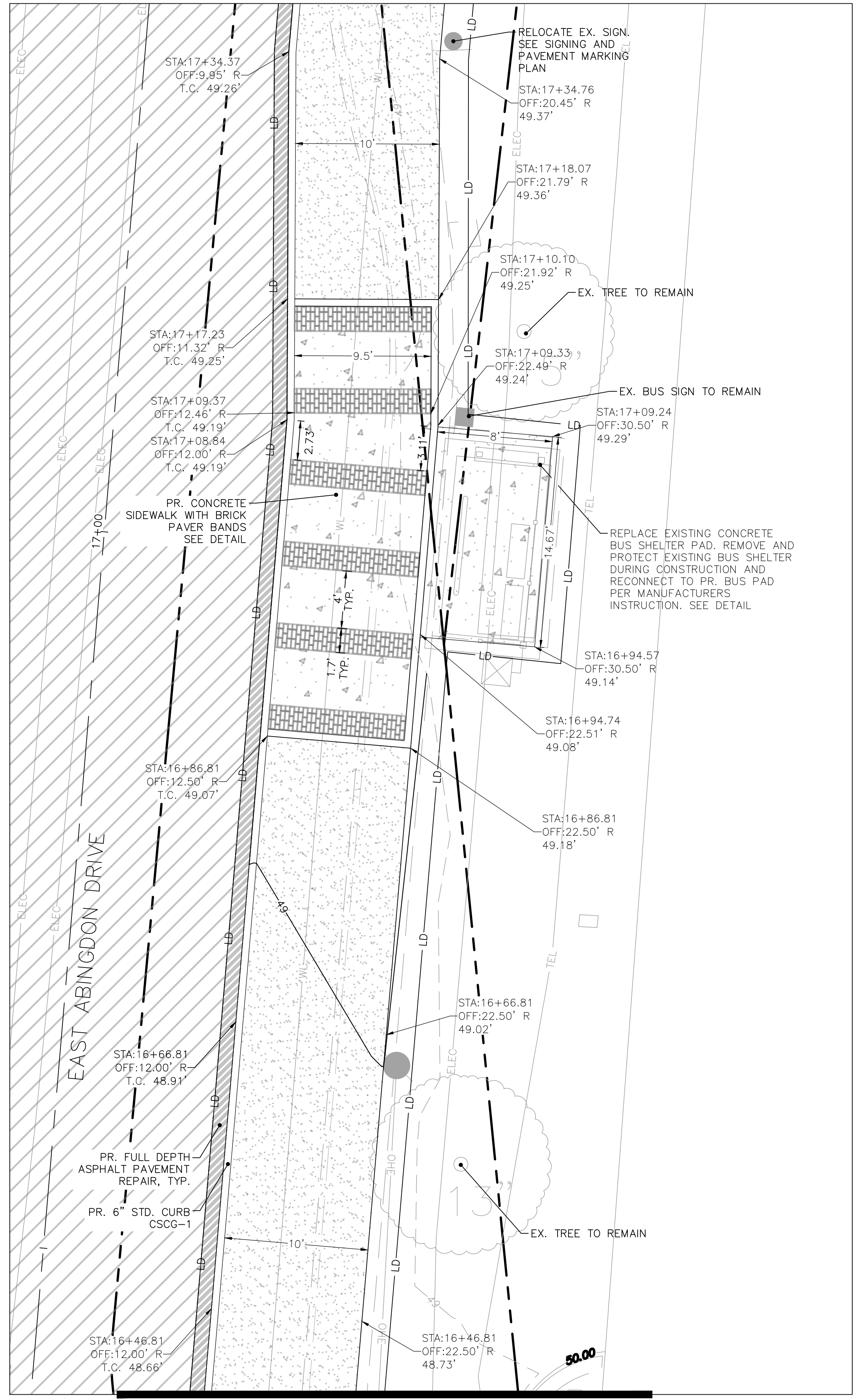
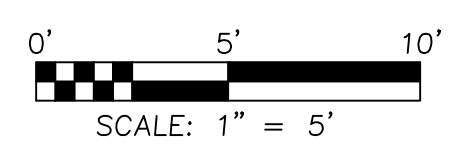
1. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION, SIZE, MATERIAL AND DEPTH OF COVER PRIOR TO CONSTRUCTION.
2. IF PROPOSED GRADING REDUCES COVER BELOW ALLOWABLE MINIMUM, CONTRACTOR MUST ADVISE ENGINEER AND COORDINATE WITH UTILITY COMPANY.
3. CONTRACTOR TO COORDINATE WITH THE CITY OF ALEXANDRIA AND ADJUST THE ORIENTATION OF PEDESTRIAN SIGNAL HEADS TO ALIGN WITH PROPOSED CROSSWALKS.
4. THE CITY OF ALEXANDRIA IS RESPONSIBLE FOR THE MODIFICATION/UPGRADES TO EXISTING PEDESTRIAN SIGNALS TO ENSURE THEY ARE UNDER FULL PEDESTRIAN RECALL.

\*PROPOSED BOTTOM OF CURB ELEVATION ADJACENT TO TEST HOLE DATED: FEB. 18, 2020 × BC:47.11

MATCHLINE THIS SHEET

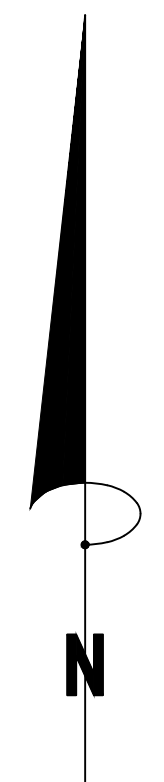
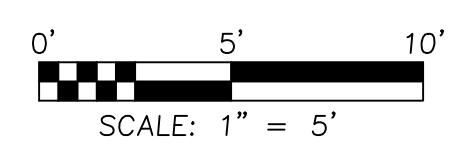


DETAIL 1



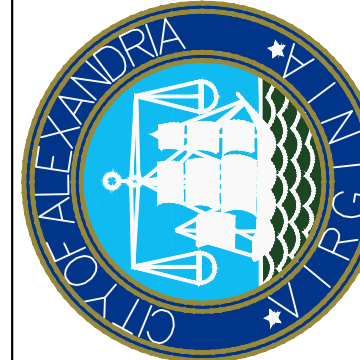
MATCHLINE THIS SHEET

DETAIL 2



NOT FOR  
CONSTRUCTION

60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

ALEXANDRIA PROJECT NO.: 20180  
DATE OF PLAN ISSUANCE: 4/22/22  
CONSULTANT PROJECT ID: 5260-23  
DESIGNED BY: MJ DATE: 4/22/22  
DRAWN BY: JT DATE: 4/22/22  
CHECKED BY: EG DATE: 4/18/22  
APPROVED BY: EG DATE: 4/22/22

GRADING ENLARGEMENT  
PLAN 2

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SHEET  
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SCALE 1" = 5'

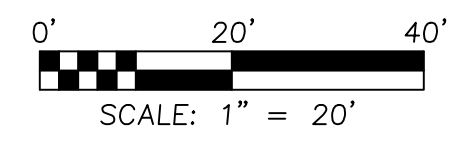
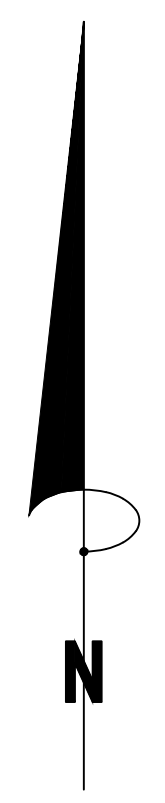
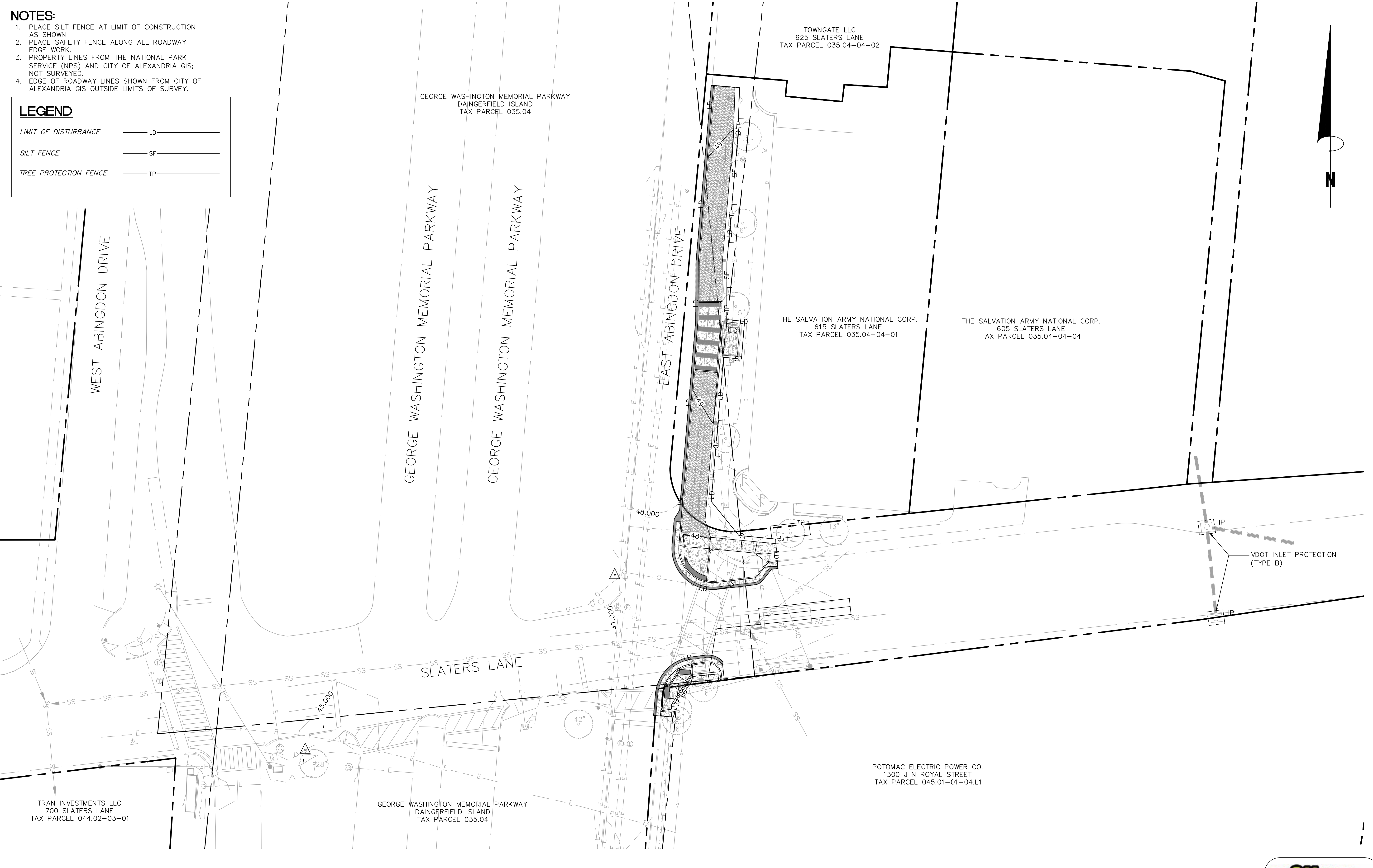
H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIP\Plans\90% Design\C-104-GRAD.dwg 10/4/2022



- NOTES:**
1. PLACE SILT FENCE AT LIMIT OF CONSTRUCTION AS SHOWN
  2. PLACE SAFETY FENCE ALONG ALL ROADWAY EDGE WORK.
  3. PROPERTY LINES FROM THE NATIONAL PARK SERVICE (NPS) AND CITY OF ALEXANDRIA GIS; NOT SURVEYED.
  4. EDGE OF ROADWAY LINES SHOWN FROM CITY OF ALEXANDRIA GIS OUTSIDE LIMITS OF SURVEY.

**LEGEND**

LIMIT OF DISTURBANCE	LD
SILT FENCE	SF
TREE PROTECTION FENCE	TP



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NOT FOR CONSTRUCTION

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

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CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

**EROSION & SEDIMENT CONTROL PLAN**

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**TOOLE DESIGN**

SHEET  
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SCALE 1" = 20'

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10/4/2022



**PRESERVATION OF EXISTING TREES AND VEGETATION**

- VEGETATION TO BE REMOVED SHALL BE APPROVED BY THE CITY ARBORIST.
- PROVIDE, IMPLEMENT AND FOLLOW A TREE CONSERVATION AND PROTECTION PROGRAM THAT IS DEVELOPED AND INSTALLED TO THE SATISFACTION OF THE CITY ARBORIST. TREE PROTECTION ZONE(S) INDICATED ON THE SITE PLAN.
- PROVIDE PROTECTION OF EXISTING VEGETATION IN COMPLIANCE WITH LANDSCAPE GUIDELINES OF THE CITY OF ALEXANDRIA.
- LOCATION AND METHOD FOR PROTECTION AND PRESERVATION OF EXISTING TREES SHALL BE APPROVED IN-FIELD BY THE CITY ARBORIST OR LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF GROUND DISTURBING ACTIVITY.
- TREE PROTECTION SHALL BE PROVIDED WHERE SILT FENCE IS NOT ADEQUATE. PROTECTION SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE DRIP LINE OF THE TREES TO BE SAVED OR AS OTHERWISE INDICATED ON THE EROSION AND SEDIMENTATION CONTROL PLAN AND/OR TREE PRESERVATION PLAN. THE CONTRACTOR WILL CONSULT THE SITE INSPECTOR BEFORE THE CONSTRUCTION STARTS. TREE PROTECTION FENCING MUST BE ESTABLISHED AND APPROVED BY THE CITY ARBORIST BEFORE ANY CLEARING OR CONSTRUCTION CAN BE STARTED.
- PRESERVE AND PROTECT GROUPS OF TREES, PLANTING, OR OTHER FEATURES IDENTIFIED IN THE EXISTING CONDITIONS PLAN AND INDICATED TO REMAIN AND ANY ADJACENT TREES LOCATED OUTSIDE OF THE LIMITS OF DISTURBANCE AND AT RISK OF DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
- PROTECT TREE(S) TO BE RETAINED (INCLUDING TREES OUTSIDE LIMITS OF DISTURBANCE) USING THE FOLLOWING METHODS:
  - FENCE: ERECT TEMPORARY 4 FT HIGH CHAIN LINK FENCE, WITH POSTS 8 FT (MAX) APART AROUND THE SELECTED FEATURES. PLACE FENCE AS INDICATED ON THE TREE PRESERVATION PLANS AND AS DIRECTED BY THE CITY. INCLUDE ONE GATE PER ENCLOSURE, MIN. OTHER FENCING MAY BE USED WITH PRIOR WRITTEN APPROVAL BY THE CITY.
  - SIGNS: POST SIGNS IDENTIFYING TREE PROTECTION AREA(S) FOR SELECTED FEATURES ON FENCE A MAXIMUM OF 15 FT APART. PRINT "TREE PROTECTION ZONE - ENTRY PROHIBITED" OR SIMILAR WARNING IN BOTH ENGLISH AND SPANISH ON THE SIGNS.
  - NO CONSTRUCTION ACTIVITIES, INCLUDING UTILITY TRENCHING OR MATERIAL STORAGE, SHALL BE ALLOWED IN THE TREE PRESERVATION AREA(S). ALSO PROHIBITED ARE ANY STORED OR PARKED VEHICLES, OR OTHER USES THAT WILL COMPACT THE GROUND AND/OR OTHERWISE DAMAGE ROOTS. THE CONTRACTOR SHALL ERECT TREE PROTECTION FENCE, MAINTAIN TREES DURING CONSTRUCTION, POLICE THE TREE PROTECTION AREAS, REMOVE FENCES AT CONCLUSION OF CONTRACT AND LANDSCAPE OR OTHERWISE REPAIR THE PROTECTED AREA AS PER LANDSCAPE PLANTING PLANS (OR EXISTING CONDITIONS, AS DIRECTED).
  - ANY PLANTS LOCATED WITHIN THE TREE PRESERVATION AREA(S) THAT ARE DAMAGED, REMOVED, OR ALTERED IN ANY WAY SHALL BE REPLACED WITH THREE TREES OF SIMILAR SPECIES AND SIZE AT THE DIRECTION OF THE CITY PER THE CITY OF ALEXANDRIA LANDSCAPE STANDARDS.
  - SHALLOW ROOTS:
    - CONTRACTOR SHALL NOTIFY THE CITY OF ANY SHALLOW ROOTS WHICH SHALL BE IMPACTED OR OTHERWISE REMOVED DURING CONSTRUCTION.
    - CONTRACTOR SHALL PROTECT AND PRESERVE ROOTS, AS DIRECTED BY THE CITY.
    - WHERE ROOT REMOVAL IS REQUIRED AND APPROVED BY THE CITY, OR WHERE DAMAGE TO UNDOCUMENTED ROOTS OCCUR, ROOT PRUNING SHALL BE REQUIRED IN ACCORDANCE WITH THE FOLLOWING:
      - AS DIRECTED, MAKE A VERTICAL CUT WITHIN TWO (2) FEET OF THE LIMIT OF GRADING USING A ROCK SAW, CHAIN TRENCHER, OR SIMILAR TRENCHING DEVICE.
      - AFTER COMPLETION OF THE CUT, MAKE CLEAN CUTS WITH A LOPPER, SAW, OR PRUNER TO REMOVE ALL TORN ENDS ON THE TREE SIDE OF THE EXCAVATION AND BACKFILL TRENCH IMMEDIATELY WITH EXISTING SOIL, FILLING ALL VOIDS.
      - REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REFERENCE STANDARDS.
- CONTRACTOR MUST PROVIDE DOCUMENTATION OF COMMUNICATION WITH THE ADJACENT PROPERTY OWNER(S) VERIFYING NOTIFICATION OF CONSTRUCTION IMPACT, POTENTIAL FOR LOSS, AND AGREED UPON REMEDIAL MEASURES PERTAINING TO THE EXISTING TREE(S) ON ADJACENT PROPERTIES THAT WILL BE EFFECTED BY PROJECT WORK.

**POLLUTION PREVENTION NOTES**

- ALL SAW CUTTING AND DEMOLITION MUST INCLUDE WATER FOR DUST SUPPRESSION. INLETS MUST BE PROTECTED AND SLURRY MUST NOT ENTER THE STORM INLET. WASTE MATERIALS MUST BE COLLECTED USING DRY TECHNIQUES (SHOVEL, BROOM, ETC.) AND NOT WASHED DOWN THE INLETS.
- ENSURE THE STAGING/STORAGE/APPLICATION/CLEAN-UP OF GAS, CHEMICALS, AND OILS (INCLUDING FORM RELEASE OIL) IS SUCH AS TO PREVENT BEING WASHED DOWN THE INLETS.
- ENSURE DISCHARGE OF SOAPS, SOLVENTS, DETERGENTS, WASH WATER AND CONSTRUCTION MATERIALS, INCLUDING THE CLEAN-UP OF STUCCO, VEHICLE AND EQUIPMENT WASH WATER, PAINT, FORM RELEASE OILS AND CURING COMPOUNDS (COVER, PLASTIC SHEETING OR TEMPORARY ROOFS) AND PROVIDE COLLECTION AND PROPER DISPOSAL TO PREVENT CONTACT WITH STORMWATER.
- CONTRACTOR SHALL EXERCISE EFFORT TO PREVENT THE DISCHARGE OF FUELS, OILS AND OTHER PETROLEUM PRODUCTS, HAZARDOUS OR TOXIC WASTES, SANITARY WASTES, SPILLED AND LEAKED FUELS/CHEMICALS FROM VEHICLES AND EQUIPMENT (I.E. SPILL KITS, SPILL CONTAINMENT, ETC.).
- CONTRACTOR TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM STORAGE, HANDLING AND DISPOSAL OF CONSTRUCTION PRODUCTS; BUILDING PRODUCTS; PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS AND LANDSCAPE MATERIAL; AND DOMESTIC WASTES.
- CONTRACTOR TO PROVIDE PROPOSED LOCATION OF CONCRETE MIXING TO BE APPROVED BY THE CITY.
- CONTRACTOR TO DIRECT CONCRETE WASH WATER INTO A LEAK-PROOF CONTAINER OR LEAK-PROOF SETTLING BASIN, WITH HARDENED CONCRETE WASTES AND LIQUID CONCRETE WASTES PROPERLY DISPOSED OF AS CONSTRUCTION WASTES.
- TO REPORT LEAKS, SPILLS AND OTHER RELEASES, CONTACT:

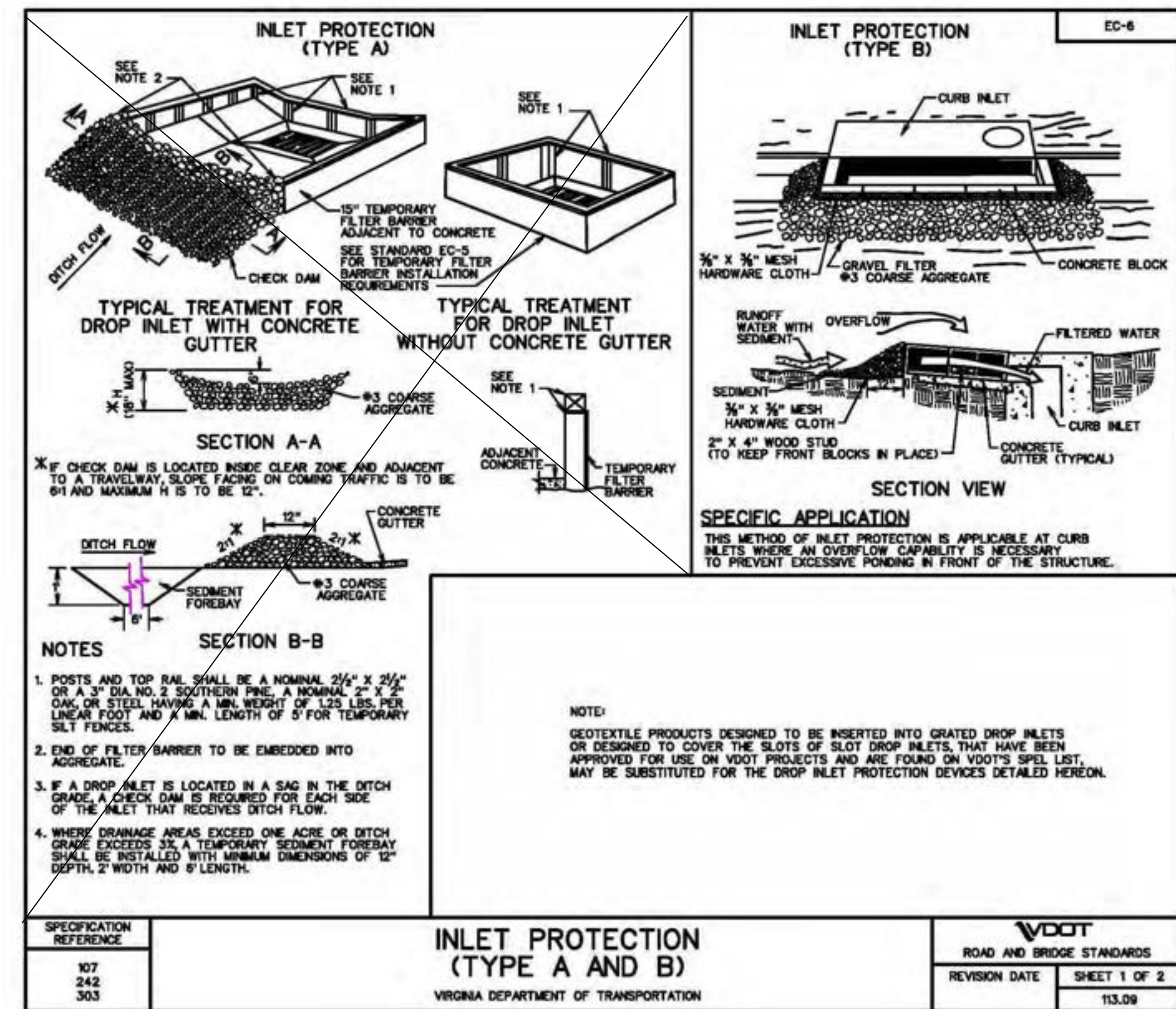
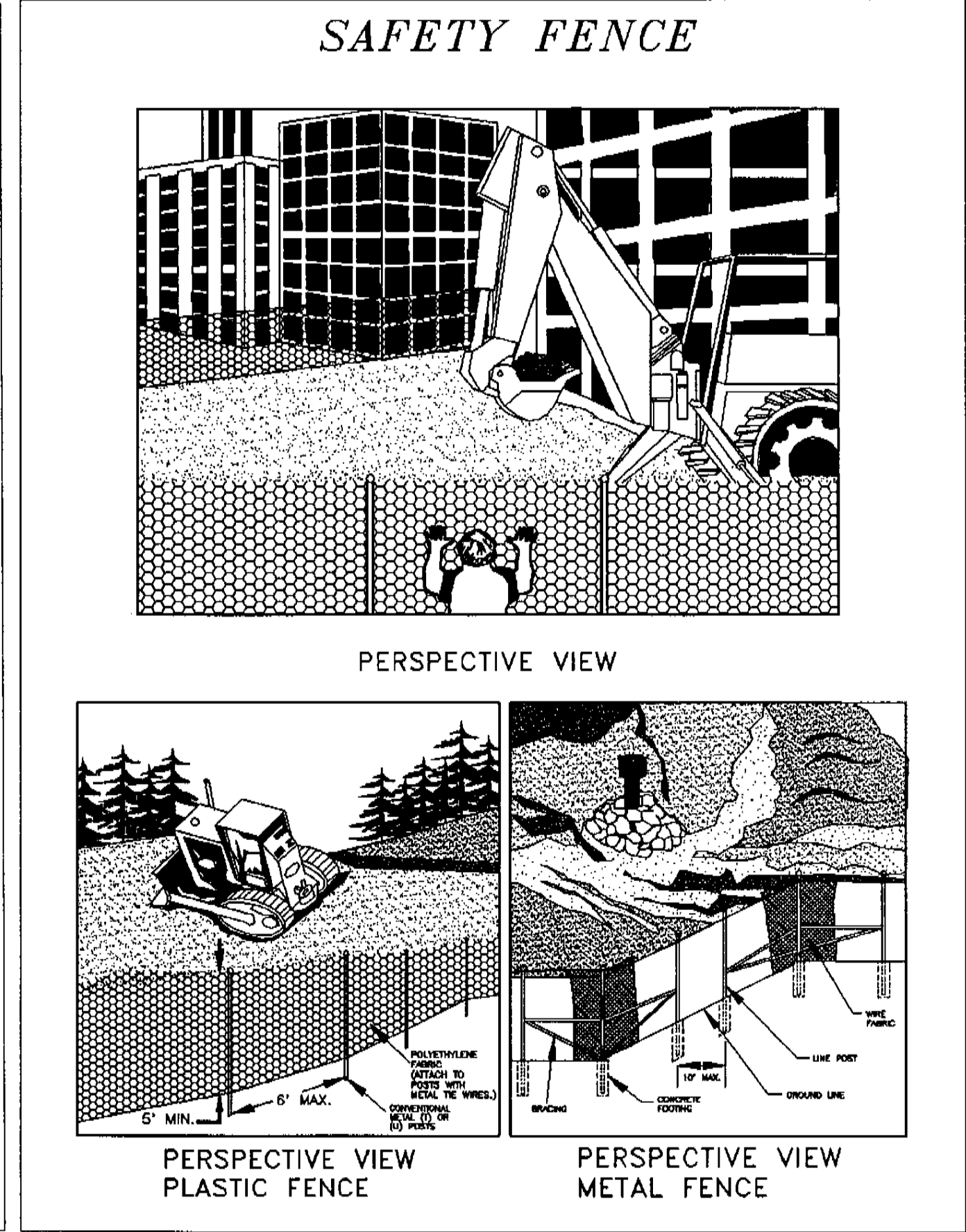
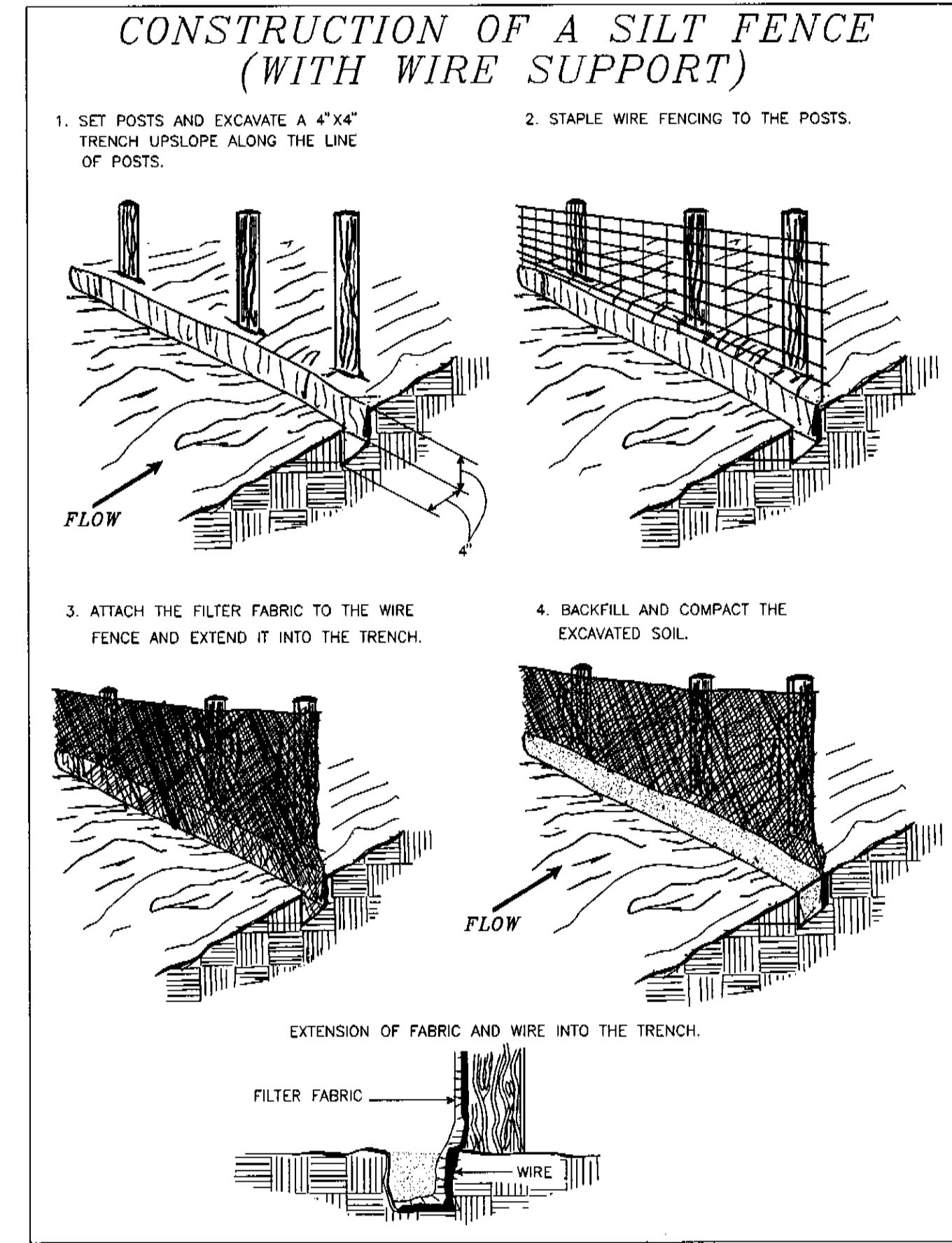
FIRE DEPARTMENT T&ES	703-838-4660	FOR HAZARDOUS DISCHARGES
	703-746-4065	FOR DISCHARGES TO STORM SEWER
DEQ NORTHERN VIRGINIA REGIONAL OFFICE	703-583-3870	FOR PETROLEUM THAT REACHES SURFACE WATER DURING NORMAL HOURS
VIRGINIA DEPARTMENT OF EMERGENCY MANAGEMENT	1-800-468-8892	FOR PETROLEUM THAT REACHES SURFACE WATER 24 HOUR

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- AN EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES PRIOR TO ANY LAND DISTURBING ACTIVITY GREATER THAN 2,500 SQUARE FEET.
- THE CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH THESE FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
- T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER (CRLD) IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.
- ALL EROSION AND SEDIMENT CONTROL MEASURE ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.
- ALL DISTURBED AREAS OF THE SITE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.
- ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- DURING DEWATERING OPERATION, WATER WILL BE PUMPED THROUGH AND APPROVED FILTERING DEVICE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- ANY STOCKPILED MATERIAL WHICH WILL REMAIN IN PLACE LONGER THAN 10 DAYS IS TO BE SEEDED FOR TEMPORARY VEGETATION AND MULCHED WITH STRAW MULCH OR OTHERWISE STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF ALEXANDRIA.
- ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 2500 SQUARE FEET SHALL BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL. AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED PERMANENTLY AND ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED.
- CONTRACTOR TO INSTALL ALL NECESSARY EROSION AND SEDIMENT CONTROL MEASURES.
- SEE POLLUTION PREVENTION NOTES FOR ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.

**SEQUENCE OF CONSTRUCTION**

- INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS.
- CONDUCT DEMOLITION AND CONSTRUCTION ACTIVITIES ACCORDING TO THE APPLICABLE PLANS. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL PRACTICES AS NECESSARY AND AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
- AS CONTRIBUTORY DRAINAGE AREAS ARE STABILIZED AND WITH THE PERMISSION OF THE EROSION AND SEDIMENT CONTROL INSPECTOR, REMOVE INDIVIDUAL EROSION AND SEDIMENT CONTROL PRACTICES. UPON COMPLETION OF DEMOLITION, CONSTRUCTION AND LAND DISTURBING ACTIVITIES AND WITH THE APPROVAL OF THE EROSION AND SEDIMENT CONTROL INSPECTOR; REMOVE ALL REMAINING EROSION AND SEDIMENT CONTROL PRACTICES AND PROVIDE PERMANENT STABILIZATION ACCORDING TO APPROVED METHODS.
- CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.



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MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.: 20180  
DATE OF PLAN ISSUANCE: 4/22/22  
CONSULTANT PROJECT ID: 5260-23

DESIGNED BY: MJ DATE: 4/22/22  
DRAWN BY: TT DATE: 4/22/22  
CHECKED BY: EG DATE: 4/18/22  
APPROVED BY: EG DATE: 4/22/22

EROSION & SEDIMENT CONTROL NOTES & DETAILS

**TOOLE** DESIGN

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SHEET 12 of 24

SCALE NONE



DEQ Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 3.0

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Project Name: **Mount Vernon Trail at E. Abingdon Shared Use Path**  
 Date: **8/17/2018**

Linear Development Project? **Yes**

**CLEAR ALL** (Ctrl+Shift+R)

data input cells  
 constant values  
 calculation cells  
 final results

**Site Information**

**Post-Development Project (Treatment Volume and Loads)**

Enter Total Disturbed Area (acres) → **0.14**

Check:  
 BMP Design Specifications List: 2013 Draft Stds & Specs  
 Linear project? **Yes**  
 Land cover areas entered correctly? **✓**  
 Total disturbed area entered? **✓** Total disturbed area > Post-Development area!

Pre-ReDevelopment Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be	0.00	0.00	0.00	0.02	0.02
Impervious Cover (acres)	0.00	0.00	0.00	0.11	0.11
					0.13

Post-Development Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be	0.00	0.00	0.00	0.03	0.03
Impervious Cover (acres)	0.00	0.00	0.00	0.10	0.10
Area Check	OK.	OK.	OK.	OK.	0.13

**Constants**

Annual Rainfall (inches)	4.3
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

**Runoff Coefficients (Rv)**

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

**LAND COVER SUMMARY -- PRE-REDEVELOPMENT**

Pre-ReDevelopment	Listed	Adjusted <sup>1</sup>
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.02	0.02
Weighted Rv(turf)	0.25	0.25
% Managed Turf	15%	15%
Impervious Cover (acres)	0.11	0.11
Rv(impervious)	0.95	0.95
% Impervious	85%	85%
<b>Total Site Area (acres)</b>	<b>0.13</b>	<b>0.13</b>
<b>Site Rv</b>	<b>0.84</b>	<b>0.84</b>

**LAND COVER SUMMARY -- POST DEVELOPMENT**

Land Cover Summary-Post (Final)	Land Cover Summary-Post Post-ReDevelopment	Land Cover Summary-Post Post-Development New Impervious
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.03	0.03
Weighted Rv (turf)	0.25	0.25
% Managed Turf	23%	23%
Impervious Cover (acres)	0.10	0.00
Rv(impervious)	0.95	--
% Impervious	77%	--
<b>Final Site Area (acres)</b>	<b>0.13</b>	
<b>Final Post Dev Site Rv</b>	<b>0.79</b>	

**Treatment Volume and Nutrient Load**

Pre-ReDevelopment	Final Post-Development
Pre-ReDevelopment Treatment Volume (acre-ft)	0.0091
Pre-ReDevelopment Treatment Volume (cubic feet)	397
Pre-ReDevelopment TP Load (lb/yr)	0.25
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.92
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)	0.05

**Treatment Volume and Nutrient Load**

Post-ReDevelopment	Post-Development
Post-ReDevelopment Treatment Volume (acre-ft)	0.0085
Post-ReDevelopment Treatment Volume (cubic feet)	372
Post-ReDevelopment TP Load (lb/yr)	0.23
Post-ReDevelopment TP Load per acre (lb/acre/yr)	1.80
Max. Reduction Required (Below Pre-ReDevelopment Load)	20%
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.03
TP Load Reduction Required for New Impervious Area (lb/yr)	0

<sup>1</sup> Adjusted Land Cover Summary:  
 Pre-ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.  
 Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).  
 Column 1 shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/yr).

**Post-Development Requirement for Site Area**

TP Load Reduction Required (lb/yr)	0.03
Linear Project TP Load Reduction Required (lb/yr):	0.03

**Nitrogen Loads (Informational Purposes Only)**

Pre-ReDevelopment TN Load (lb/yr)	1.79
Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	1.67



PRE-DEVELOPMENT IMPERVIOUS AREA MAP

SCALE: 1"=50"



POST-DEVELOPMENT IMPERVIOUS AREA MAP

SCALE: 1"=50"



**STORMWATER MANAGEMENT NARRATIVE:**

THE MOUNT VERNON TRAIL AT E. ABINGDON SHARED USE PATH PROJECT IS A 220 LF TRAIL CONNECTION PROJECT IN ALEXANDRIA, VA. THE PROJECT INCLUDES ROADWAY PAVEMENT REMOVAL, TRAIL WIDENING, ADA IMPROVEMENTS AND PAVEMENT MARKINGS. THE PROJECT IS LOCATED WITHIN THE MIDDLE POTOMAC-ANACOSTIA-OCOCOAN WATERSHED (USGS CATALOGING UNIT: 02070010), BUT IS OUTSIDE THE POTOMAC RIVER FLOODPLAIN. IT IS CONSIDERED AN AREA OF MINIMAL FLOOD HAZARD ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) AND THE PROJECT IS NOT WITHIN VIRGINIA'S RESOURCE PROTECTION AREAS (RPAS).

ALONG WITH IMPORTANT PEDESTRIAN AND TRAIL IMPROVEMENTS, THE PROJECT DECREASES THE LOCALIZED IMPERVIOUS AREA. THE PROPOSED LIMITS OF DISTURBANCE (LD) IS 5,990 SF (0.14 AC). THE IMPERVIOUS AREA WILL BE DECREASED BY 332 SF COMPARED TO PRE-DEVELOPMENT CONDITIONS AND THERE WILL BE NO IMPACT TO THE POTOMAC RIVER FLOODPLAIN OR VIRGINIA RPA. THIS DECREASE IN IMPERVIOUS AREA IMPROVES THE EXISTING STORMWATER WATER QUANTITY AND QUALITY BY REDUCING RUNOFF AND ALLOWING MORE WATER TO INFILTRATE NATURALLY.

THE PROJECT IS DESIGNED WITHIN THE PUBLIC RIGHT OF WAY (PROW) AND SPACE AND OPPORTUNITIES FOR STORMWATER TREATMENT ARE LIMITED. TYPICAL ONSITE WATER QUALITY TREATMENT OPTIONS WERE CONSIDERED, SUCH AS BIORETENTION OR PERVIOUS PAVEMENT. THE MAIN CONSTRAINT PREVENTING THESE TREATMENTS WAS THE PRESENCE OF CRITICAL UTILITY LINES BELOW. A UTILITY SURVEY WAS DONE FOR THE PROJECT AND UTILITIES UNDER THE CONCEPTUAL PERMEABLE PAVEMENT AND BIORETENTION WERE DETERMINED TO BE HIGH PROFILE. ADDITIONALLY, BOTH FACILITIES WOULD REQUIRE UNDERDRAINS AND THE NEAREST STORM DRAIN CONNECTION IS OVER 200 LF AWAY WHICH WOULD ADD SIGNIFICANT DISTURBANCE TO A SMALL SCALE PROJECT.

GIVEN THE ABOVE SITE CONSTRAINTS, THE PROJECT REQUIRES THE PURCHASE OF OFFSITE NUTRIENT CREDITS TO OFFSET THE ENVIRONMENTAL IMPACT OF DEVELOPMENT. USING THE VIRGINIA STORMWATER MANAGEMENT PROGRAM'S (VSMP) VIRGINIA RUNOFF REDUCTION METHOD (VRRM), THE AMOUNT OF TOTAL PHOSPHORUS (TP) LOAD REDUCTION REQUIRED IS DETERMINED TO BE 0.03 LBS/YEAR.

**COMPLIANCE NARRATIVE:**

SINCE THE WATER QUALITY REQUIREMENT CANNOT BE MET, A CONTRIBUTION WILL BE MADE, DIRECTLY BY THE CITY, TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND (WQIF). THE BASELINE CONTRIBUTION IS BASED ON \$2.00 PER SQUARE FOOT OF IMPERVIOUS SURFACE NOT TO BE TREATED (4,570 SF), WHICH EQUATES TO A CONTRIBUTION OF \$9,140


IMPERVIOUS AREA	
LIMIT OF DISTURBANCE	5,990 SF 0.14 AC
IMPERVIOUS AREA PERVIOUS AREA	
PRE-REDEVELOPMENT	4,902 SF 0.11 AC 1,088 SF 0.02 AC
POST-DEVELOPMENT	4,570 SF 0.10 AC 1,420 SF 0.03 AC

NOT FOR CONSTRUCTION



60% VDOT DESIGN SUBMITTAL

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH



CITY OF ALEXANDRIA, VIRGINIA  
 DEPARTMENT OF PROJECT IMPLEMENTATION  
 301 KING STREET  
 ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
BY	
DATE	

ALEXANDRIA PROJECT NO.: 20180  
 DATE OF PLAN ISSUANCE: 4/22/22  
 CONSULTANT PROJECT ID: 5260-23  
 DESIGNED BY: MJ DATE: 4/22/22  
 DRAWN BY: TT DATE: 4/22/22  
 CHECKED BY: EG DATE: 4/18/22  
 APPROVED BY: EG DATE: 4/22/22

STORMWATER MANAGEMENT PLAN

8484 GEORGIA AVENUE, SUITE 800  
 SILVER SPRING, MD 20910  
 PHONE: 301.927.1800  
 FAX: 301.927.2800  
 www.tooledesign.com

**TOOLE DESIGN**

SHEET 13 of 24  
 SCALE AS SHOWN



**AGREEMENT FOR PURCHASE AND SALE  
OF NUTRIENT OFFSET CREDITS**

THIS AGREEMENT FOR PURCHASE AND SALE OF NUTRIENT OFFSET CREDITS (this "Agreement") is dated this 18th day of June, 2018, by and between RLP Investments, LC, a Virginia limited liability company ("Seller") and City of Alexandria, VA, ("Purchaser").

**RECITALS**

A. Seller has established the Kinsale Nutrient Bank, (the "Bank") on approximately 76.15 acres located in Westmoreland County, Virginia in accordance with applicable statutes and regulations of the Virginia Department of Environmental Quality ("DEQ") and the Virginia Department of Conservation and Recreation ("DCR").

B. The Bank has obtained all necessary permits and taken all necessary actions to create nutrient reductions such that the Bank has nutrient offsets transferable to those entities requiring offsets in accordance with the Chesapeake Bay Watershed Nutrient Credit Exchange Program, DCR's Stormwater Offset Program, and the Virginia Soil and Water Conservation Board's Guidance Document and Stormwater Nonpoint Nutrient Offsets approved on July 23, 2009, to those regulated entities qualifying for nutrient offsets.

C. Purchaser desires to purchase from Seller and Seller desires to sell to Purchaser nutrient offsets measured in pounds of nitrogen or phosphorus (one pound of nitrogen or phosphorus equals one nitrogen or phosphorus nutrient offset credit, as the case may be), pursuant to the terms and conditions set forth herein.

-1-

(d) To the best of Seller's knowledge, there is no pending or threatened action or proceeding affecting Seller before any court, governmental agency or arbitrator that would adversely affect Seller's ability to comply with its obligations hereunder.

(e) Seller shall be solely responsible, at its sole cost and expense, for compliance with the requirements of with all federal, state and local statutes, regulations and other requirements applicable to the operation, management and maintenance of the Bank (collectively the Bank Regulatory Requirements").

(f) That the execution and delivery of this Agreement on behalf of Seller has been duly authorized and such execution and delivery shall constitute the valid and binding agreement with Seller and is enforceable in accordance with its terms.

All of Seller's representations, warranties and covenants herein shall survive the sale of Credits under this Agreement and the delivery of the Bill of Sale pursuant to this Agreement for a period of 10 years.

**5. Miscellaneous**

(a) Notices. Any notice, demand or request which is required or permitted hereunder shall be deemed effective when hand delivered, sent by a receipted overnight delivery service, or mailed, via certified mail, return receipt requested to the following addresses:

-4-

**AGREEMENT**

In consideration of the purchase price paid by Purchaser to Seller, and other good and valuable consideration, the receipt and sufficient of which are hereby acknowledged, the parties agree as follows:

1. Agreement to Sell and Purchase. Seller shall sell to Purchaser or its assigns, and Purchaser or its assignees shall purchase from Seller 0.04 phosphorus nutrient offset credits (the "Credits"). Seller acknowledges and agrees that, notwithstanding the payment of the Purchase Price (as defined below) contemporaneously with the execution and delivery of this Agreement, Purchaser may be purchasing the Credits for use on future projects, and the Credits purchased herein shall be conveyed by Bill of Sale to Purchaser, its successors or assigns in accordance with Section 3 herein, when and as Purchaser directs from time to time in writing to Seller.

Upon payment of the Purchase Price, Purchaser shall have such rights as permitted by law to re-convey all or a portion of its interest in the Credits to its successors in interest or assignees for use on future projects, and Seller consents to such re-conveyances and agrees to cooperate with and assist Purchaser in the documentation of such re-conveyances, including delivery of notices of such re-conveyances to the DEQ, DCR and any other governing agency with jurisdiction over the transfer of nutrient offsets.

2. Purchase Price. The purchase price for the Credits shall be \$16,000.00 per lb. [of nitrogen and/or phosphorus] for each Credit for a total Purchase Price of \$640.00 for the Credits. The Purchase Price shall be paid in collected funds on the date of execution of this Agreement by both parties. Upon payment of the Purchase Price in full, neither Purchaser, nor its successors, nor assigns shall be liable for the payment of any other consideration or fee to Seller in connection with the conveyance or assignment and/or re-conveyance of the Credits.

-2-

Seller: RLP Investments, LC  
c/o Ronald Pemberton  
P.O. Box 559  
Amelia Courthouse, VA 23002

Purchaser: City of Alexandria  
301 King Street, Room 3200  
Alexandria, VA 22314  
Attn: Reginald M. Arno, P.E.

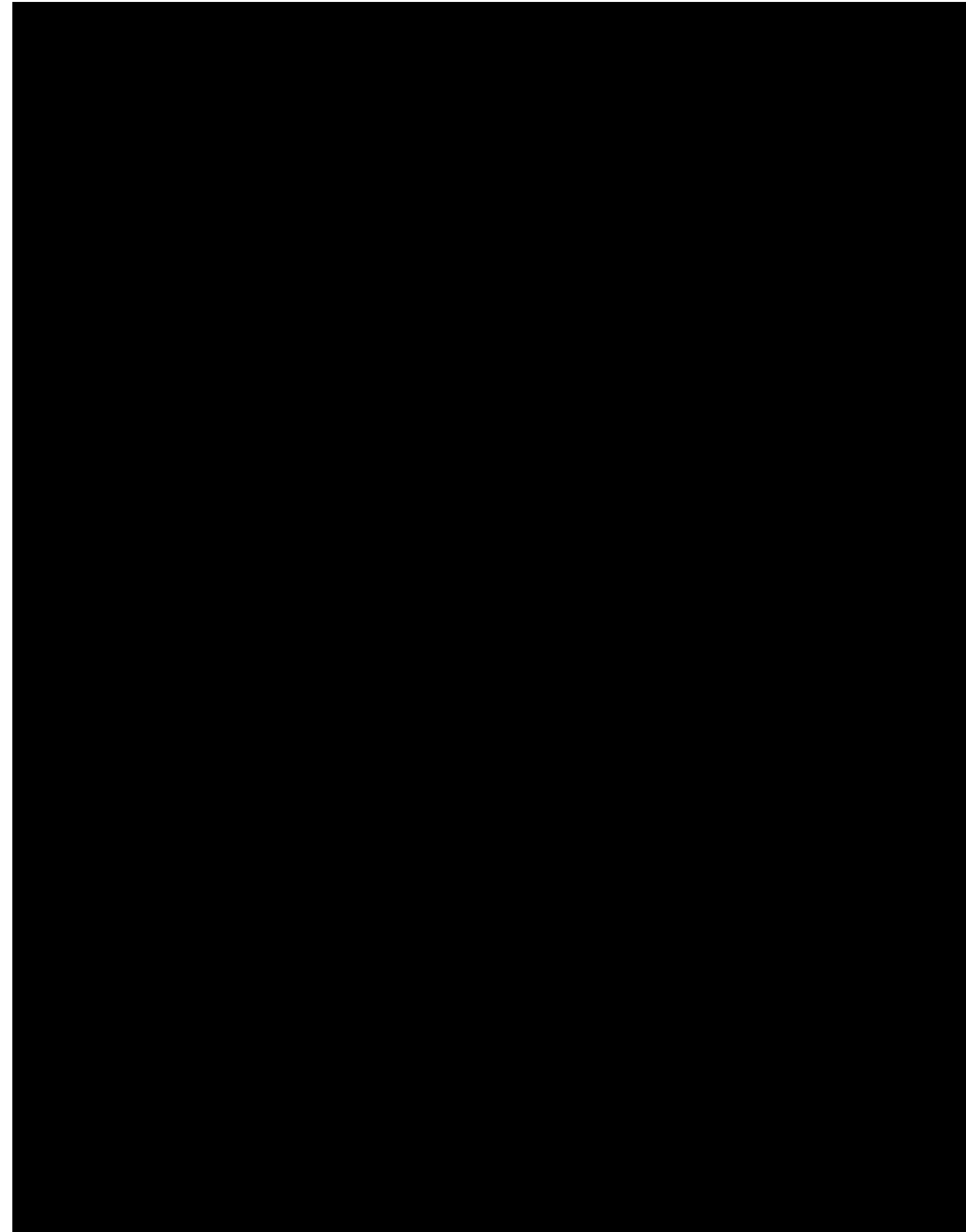
The parties may change the address for notices by delivery of a change of address to the other party in accordance with the requirements set forth above.

(b) Brokerage Commission. Seller warrants to Purchaser that Seller shall pay a 5% brokerage fee to RRG, LC, ("Broker"); and also a 6% water quality enhancement fee to the Virginia Department of Environmental Quality ("DEQ") in connection with this transaction.

(c) Entire Agreement, Modification. There are no other agreements or understandings, written or oral, between the parties with regard to the subject matter of this Agreement. This Agreement shall not be modified or amended except by a written document executed by both parties.

(d) Governing Law. The validity, interpretation and enforcement of this Agreement shall be governed and construed in accordance with the laws of the Commonwealth of Virginia, except to the extent that any applicable Federal Law or regulation shall supersede Virginia law in relation to the matter set forth in the Agreement, in which case Federal Law shall apply. Jurisdiction and venue for any litigation brought pursuant to this Agreement shall lie exclusively in the state courts of Amelia County, Virginia or the United States District Court for the Eastern District of Virginia to the express exclusion of any other jurisdiction or venue.

-5-



NOT FOR CONSTRUCTION



60% VDOT DESIGN SUBMITTAL

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

REVISIONS	DATE	DESCRIPTION
BY		

ALEXANDRIA PROJECT NO.: 20180  
DATE OF PLAN ISSUANCE: 4/22/22  
CONSULTANT PROJECT ID: 5260-23  
DESIGNED BY: MJ DATE: 4/22/22  
DRAWN BY: TT DATE: 4/22/22  
CHECKED BY: EG DATE: 4/18/22  
APPROVED BY: EG DATE: 4/22/22

CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313



NUTRIENT CREDIT LETTER

**TOOLE**  
DESIGN

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1300  
FAX: 301.927.2800  
www.tooledesign.com

SHEET  
14 of 24  
SCALE AS SHOWN

H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIE\Plans\90% Design\C-203-SWM.dwg  
10/4/2022



WITNESS the following authorized signatures:

SELLER: RLP Investments, LC  
a Virginia limited liability company

By: [Signature]  
Its: Managing Member

PURCHASER: City of Alexandria

By: [Signature]  
Its: Mark B. Jinks, City Manager

[Signature]  
Deputy City Attorney  
Approved as to Form

IN WITNESS WHEREOF, I have duly executed this Affidavit as of the 13 day of July, 2018.

RLP Investments, LC,  
a Virginia limited liability company

By: [Signature]  
Name: Ronald Pemberton  
Title: Manager

COMMONWEALTH OF VIRGINIA,

City/County of Amelia, to-wit:

Sworn to and subscribed before me this 13 day of July, 2018, the undersigned Notary Public for and in the jurisdiction aforesaid, by Ronald Pemberton, the Manager of RLP Investments, LC, a Virginia limited liability company.

[Signature]  
Notary Public



My commission expires: 03/31/2020  
Registration No.: 291162

Acquirer: City of Alexandria, VA

Name of Project: Mt. Vernon Trail at East Abingdon Drive (VDOT UPC: 80434-NV & 100422-MOP)

HUC Code: 02070010

Phosphorus offsets: 0.04

Nitrogen offsets: 0.63

EXHIBIT B  
BILL OF SALE

THIS BILL OF SALE is made as of the 13 day of July, 2018, by RLP Investments, LC, a Virginia limited liability company ("Seller") and City of Alexandria, VA, ("Purchaser").

Seller and Purchaser have entered into that certain Agreement for Purchase and Sale of Nutrient Offset Credits dated June 18, 2018, (the "Purchase Agreement"), the terms of which are incorporated herein by reference and made a part hereof, with respect to the sale by Seller and the purchase by Purchaser of nutrient offset credits generated by Seller's Kinsale Nutrient Bank located in Westmoreland County, Virginia.

In consideration of the payment of the Purchase Price \$640.00 and (as defined in the Purchase Agreement) and other good and valuable consideration, the receipt and sufficiency of which are mutually acknowledged, Seller hereby sells, transfers, assigns, conveys, delivers, and sets over to Purchaser, its successors or assigns the following nutrient offset credits (as defined in the Purchase Agreement):

Phosphorus: 0.04 lbs. and

Nitrogen: 0.63 lbs.

Project: Mt. Vernon Trail at East Abingdon Drive

VSMMP Permit #: \_\_\_\_\_

WITNESS the following authorized signature:

RLP Investments, LC,  
a Virginia limited liability company

By: [Signature]  
Name: Ronald Pemberton  
Title: Manager



Department of Project Implementation  
301 King Street Suite 3200 Phone: 703.746.4045  
Alexandria, Virginia 22314 Fax: 703.838.4299

[www.alexandriava.gov](http://www.alexandriava.gov)

August 20, 2018

Mr. Melanie Mason  
Watershed Management Planner  
Stormwater Management  
Transportation & Environmental Services  
City of Alexandria, VA  
2900 Business Center Drive  
Alexandria, VA 22314

Re: Mount Vernon Trail @ East Abingdon  
DPI Project No.1503003  
Water Quality Improvement Fund (WQIF)

Dear Ms. Mason:

This letter is to request approval for the above referenced project to provide a monetary contribution to the Water Quality Improvement Fund (WQIF) in lieu of providing onsite stormwater management treatment facilities (BMPs).

The project is located near the intersection of Slater's Lane and East Abingdon Drive. Onsite BMPs were considered, but were precluded due to site constraints. Additionally, the soils in the project are urban and would require an underdrain with any infiltration facility. The nearest connection to the existing storm drain system is over 200 LF from the project and would add significant disturbance to this small scale project.

Per Memorandum To Industry 04-08, the rate of the fee is \$2.00/SF of impervious area not treated by a BMP. The impervious area is 4,570 SF. This results in a WQIF fee of Nine Thousand One Hundred Forty Dollars (\$9,140.00) for the Mt. Vernon Trail at East Abingdon Project.

If you have any questions, I can be reached on 703.746.4631.

Sincerely,

[Signature]  
Reginald M. Armo, P.E.  
Civil Engineer IV,

cc: Mitchell Bernstein, P.E., Director, City of Alexandria, DPI  
Daphne Kott, P.E., CCM, Design Division Chief, City of Alexandria, DPI  
Jesse Maines, MPA, Division Chief, City of Alexandria, T&ES Stormwater Management

60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

ALEXANDRIA PROJECT NO.: 20180  
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NUTRIENT CREDIT & WQIF LETTERS

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1300  
FAX: 301.927.2800  
www.tooledesign.com

**TOOLE**  
DESIGN

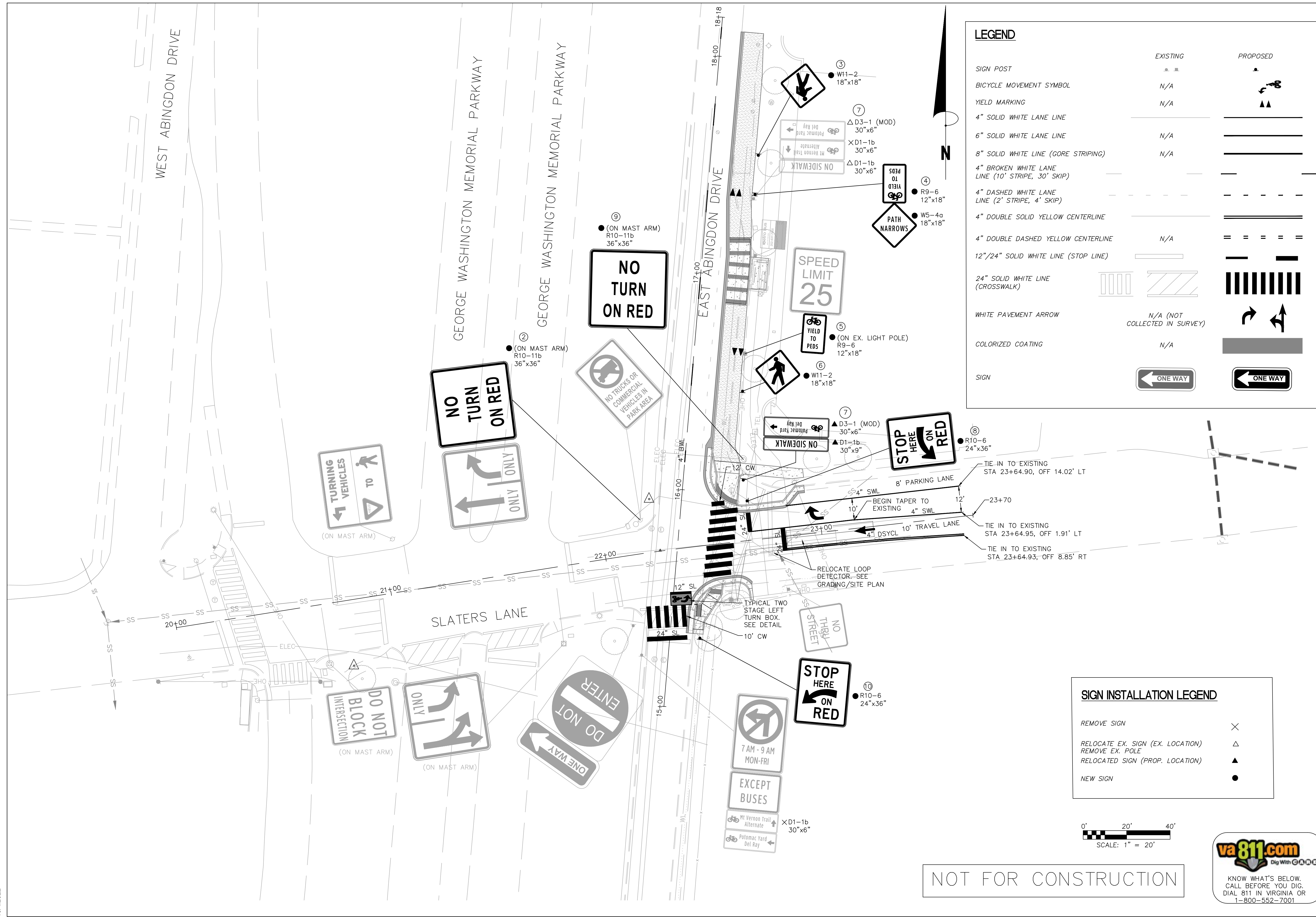
SHEET  
15 of 24  
SCALE AS SHOWN

NOT FOR CONSTRUCTION





H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CE\Plans\90% Design\C-108-SPM.dwg  
10/4/2022

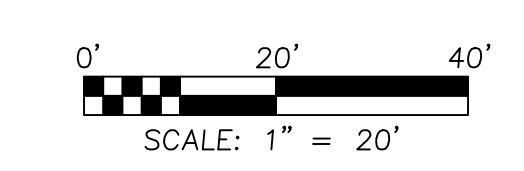


**LEGEND**

	EXISTING	PROPOSED
SIGN POST		
BICYCLE MOVEMENT SYMBOL	N/A	
YIELD MARKING	N/A	
4" SOLID WHITE LANE LINE		
6" SOLID WHITE LANE LINE	N/A	
8" SOLID WHITE LINE (GORE STRIPING)	N/A	
4" BROKEN WHITE LANE LINE (10' STRIPE, 30' SKIP)	N/A	
4" DASHED WHITE LANE LINE (2' STRIPE, 4' SKIP)	N/A	
4" DOUBLE SOLID YELLOW CENTERLINE	N/A	
4" DOUBLE DASHED YELLOW CENTERLINE	N/A	
12"/24" SOLID WHITE LINE (STOP LINE)		
24" SOLID WHITE LINE (CROSSWALK)		
WHITE PAVEMENT ARROW	N/A (NOT COLLECTED IN SURVEY)	
COLORIZED COATING	N/A	
SIGN		

**SIGN INSTALLATION LEGEND**


REMOVE SIGN	
RELOCATE EX. SIGN (EX. LOCATION)	
RELOCATE EX. POLE	
RELOCATED SIGN (PROP. LOCATION)	
NEW SIGN	



NOT FOR CONSTRUCTION

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

60% VDOT DESIGN SUBMITTAL




CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
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SIGNING AND PAVEMENT MARKING PLAN



8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1900  
FAX: 301.927.2800  
www.tooledesign.com

SHEET  
16 of 24  
SCALE 1" = 20'



H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIE\Plans\90% Design\C-108-SPM.dwg  
10/4/2022

SIGN ASSEMBLY #	EXISTING SIGN MUTCD CODE NOT USED	PROPOSED SIGN MUTCD CODE	PROPOSED SIGN ORIENTATION	SIGN LEGEND	REMARKS	PANEL SIZE (IN. X IN.)	REMOVE EX. POLE	NEW POLE
2	R3-8(MOD)			THRU, RIGHT	EXISTING SIGN TO REMAIN			
		R10-11b	E	NO TURN ON RED	MOUNT ON MAST ARM, RIGHT OF R3-8(MOD)	36 X 36		
3		W11-2	N	PEDESTRIAN WARNING	MOUNT ON NEW SIGN POST	18 X 18		X
4		R9-6	N	BIKES YIELD TO PEDS	MOUNT ON NEW SIGN POST	12 X 18		X
		W5-4a	S	PATH NARROWS	MOUNT ON SIGN POST	18 X 18		
5	R2-1			SPEED LIMIT 25 MPH	EXISTING SIGN TO REMAIN			
		R9-6	S	BIKES YIELD TO PEDS	MOUNT ON LIGHT POLE BELOW R2-1	12 X 18		
6		W11-2	S	PEDESTRIAN WARNING	MOUNT ON NEW SIGN POST	18 X 18		X
7	D3-1		N	"ON SIDEWALK"	RELOCATE EXISTING SIGN	30 X 6		
					RELOCATE EXISTING SIGN. DISCARD SIGN "MT VERNON TRAIL ALTERNATIVE"	30 X 9	X	X
8	D1-1b	R10-6	E	STOP HERE ON RED	MOUNT ON NEW SIGN POST	24 X 36		X
9		R10-11b	S	NO TURN ON RED	MOUNT ON MAST ARM	36 X 36		
10		R10-6	S	STOP HERE ON RED	MOUNT ON NEW SIGN POST	24 X 36		X

**SIGNING AND PAVEMENT MARKING NOTES:**

- ALL SIGN WORK AND PAVEMENT MARKING SHALL MEET ALL THE LATEST APPLICABLE VDOT, CITY OF ALEXANDRIA STANDARDS, AND MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) REQUIREMENTS.
- ALL PAVEMENT MARKINGS ARE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- ALL EXISTING PAVEMENT MARKINGS MAY NOT BE SHOWN. ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE ERADICATED.
- ALL PROPOSED SIGNS SHALL BE HIGH INTENSITY SHEETING MEETING THE REQUIREMENTS OF AASHTO M268.
- NO PORTION OF PROPOSED SIGN PANEL SHALL OVERHANG ADJACENT ROADWAY PAVEMENT. I.E. SHALL NOT HANG IN FRONT OF FACE OF CURB.
- PROPOSED SIGN POSTS SHALL BE LOCATED A MINIMUM OF 2 FEET BEHIND ANY ADJACENT FACE OF CURB (ADDITIONAL REQUIREMENTS APPLY TO ACCOMMODATE SIGN PANEL LATERAL AND VERTICAL CLEARANCE). IF LOCATED ADJACENT TO SIDEWALKS, A 32" MINIMUM CLEAR AND 48" PREFERRED PASSING SPACE ON EXISTING AND PROPOSED SIDEWALKS SHALL BE MAINTAINED.
- PROPOSED SIGN POSTS SHALL BE INSTALLED IN NEW LOCATIONS SUCH THAT THE EXISTING SIGNS OR SIGNALS ARE NOT BLOCKED.
- FOR NEW POST INSTALLATION, THE CONTRACTOR SHALL VERIFY THERE ARE NO CONFLICTING UNDERGROUND OR OVERHEAD UTILITIES.
- SIGNS MOUNTED TO EXISTING LIGHT, SIGNAL OR UTILITY POLES SHALL BE FASTENED WITH A MANUFACTURED STEEL BANDING SYSTEM. POLES SHALL NOT BE DRILLED DIRECTLY, THE CONTRACTOR SHALL SUBMIT MANUFACTURER INFORMATION ON THE BANDING SYSTEM TO THE CITY FOR APPROVAL PRIOR TO INSTALLATION.

NOT FOR CONSTRUCTION



MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH 60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION
BY		

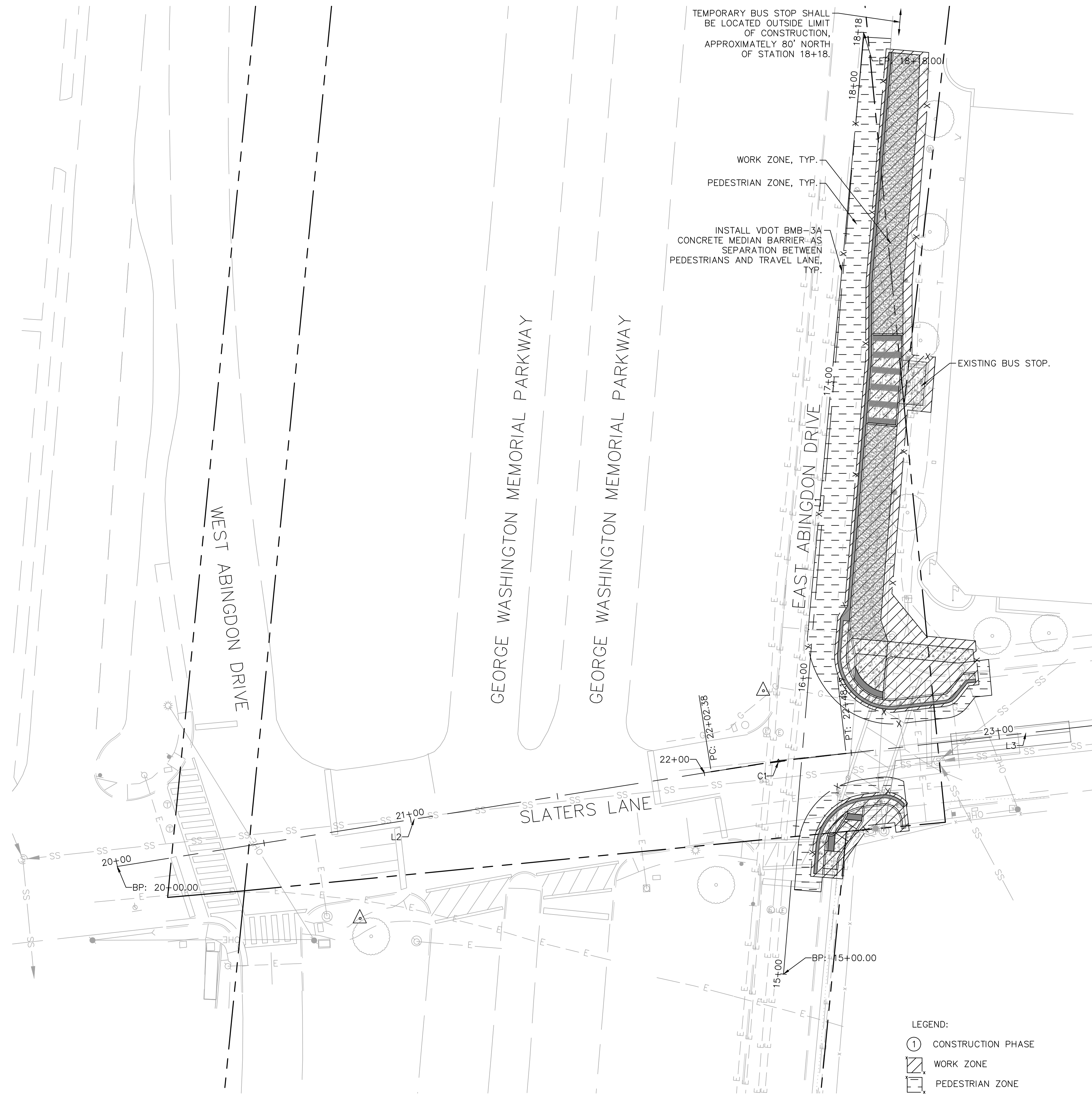
**SIGN SCHEDULE**

8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1900  
FAX: 301.927.2800  
www.tooledesign.com

**TOOLE DESIGN**



H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIE\Plans\90% Design\C-109-MOT.dwg  
10/4/2022



TEMPORARY BUS STOP SHALL BE LOCATED OUTSIDE LIMIT OF CONSTRUCTION, APPROXIMATELY 80' NORTH OF STATION 18+18.

WORK ZONE, TYP.

PEDESTRIAN ZONE, TYP.

INSTALL VDOT BMB-3A CONCRETE MEDIAN BARRIER AS SEPARATION BETWEEN PEDESTRIANS AND TRAVEL LANE, TYP.

EXISTING BUS STOP.

LEGEND:

① CONSTRUCTION PHASE

▨ WORK ZONE

▭ PEDESTRIAN ZONE

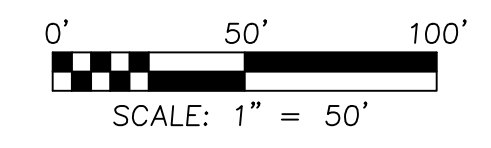
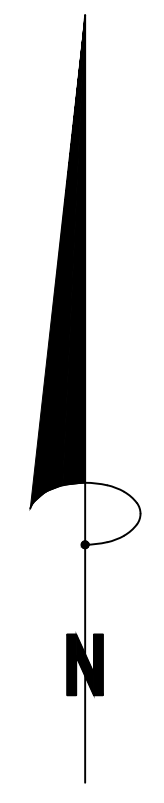
**GENERAL SEQUENCE OF CONSTRUCTION**

1. THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN (TTC) THAT PROVIDES THE NECESSARY TRAFFIC CONTROL MEASURES FOR THE WORK TO BE PERFORMED TO BE APPROVED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORK ACTIVITIES.
2. THE TTC SHALL BE IN ACCORDANCE WITH THE VDOT ROAD AND BRIDGE SPECIFICATIONS, DATED 2016, THE VIRGINIA WORK AREA PROTECTION MANUAL (VWAPM) DATED AUGUST 2011; THE VIRGINIA SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, DATED 2011. ADHERENCE TO APPLICABLE PROVISIONS OF THE MANUALS IS REQUIRED OF THE CONTRACTOR EVEN THOUGH DETAILED REFERENCE TO ALL SUCH PROVISIONS MAY NOT BE CONTAINED IN THE PLANS.
3. THE CONTRACTOR MUST SUBMIT A SPECIAL USE PERMIT TO THE NATIONAL PARK SERVICE - GEORGE WASHINGTON MEMORIAL PARKWAY FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING ON SITE OR PLACEMENT OF SIGNAGE WITHIN NPS PROPERTY.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL PROJECT LIMIT SIGNAGE IN ACCORDANCE WITH VWAPM TTC-53.0. FOR THE DURATION OF THE CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THIS SIGNAGE REMAINS IN COMPLIANCE IF THE PROJECT LIMITS CHANGE.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE FOR THE DURATION OF ALL CONSTRUCTION AND INSTALLING ANY NECESSARY MEASURES TO FACILITATE PROPER DRAINAGE.
6. THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS TO THE BUS STOPS LOCATED WITHIN THE CONSTRUCTION ZONE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE NOTED ON THE PLANS.
7. TEMPORARY BUS STOP LOCATION MUST MEET WMATA AND ADA REQUIREMENTS PRIOR TO CLOSING EXISTING BUS STOP. WMATA REQUIRES APPROXIMATELY FOUR WEEKS TO REVIEW, APPROVE AND POSTING OF RELOCATION PRIOR TO RELOCATING BUS STOP.
8. THE CONTRACTOR SHALL MAINTAIN BICYCLE ACCESS ALONG THE MOUNT VERNON TRAIL WITHIN THE CONSTRUCTION ZONE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE NOTED ON THE PLANS. TERMINATION OF THE BIKE LANE ON SLATERS LANE MUST BE SIGNED ACCORDINGLY IN ADVANCE OF THE WORK ZONE IN ACCORDANCE WITH THE VWAPM.
9. THE CONTRACTOR IS TO MAKE ANY NECESSARY ADJUSTMENTS DURING BOTH WORK AND NON-WORK HOURS TO ENSURE THE PROTECTION AND SAFETY OF THE ADJACENT PROPERTY OWNERS, PEDESTRIANS, VEHICULAR TRAFFIC, AND THE GENERAL PUBLIC FROM ANY CONSTRUCTION-RELATED ACTIVITY, CONSTRUCTION EQUIPMENT, AND THE CONSTRUCTION ITSELF.
10. THE CONTRACTOR SHALL REMOVE ALL TRAFFIC CONTROL DEVICES UPON COMPLETION OF THE PROJECT.
11. FOR LANE CLOSURES FOLLOW THE VWAPM FIGURES, TTC-16.1 AND TTC-17.1.

**SUGGESTED SEQUENCE OF CONSTRUCTION**

- CONSTRUCTION INCLUDES THE SOUTHEAST CORNER OF SLATERS LANE AND EAST ABINGDON DRIVE.
1. CLOSE THE EASTERNMOST LANE OF EAST ABINGDON DRIVE BOTH NORTH AND SOUTH OF SLATERS LANE TO ACCOMMODATE THE WORK AREA FOR CONSTRUCTION. PROVIDE PROTECTED PEDESTRIAN AND BICYCLE ACCESS IN THE EXISTING TRAVEL LANE FROM THE INTERSECTION CORNER TO THE MOUNT VERNON TRAIL CONNECTION.
  2. INSTALL AND MAINTAIN TEMPORARY BUS STOP LOCATION PER WMATA AND ADA REQUIREMENTS.
  3. CLOSE THE EXISTING BUS STOP.
  4. CONSTRUCT THE SIDEWALK, TRAIL, AND CURB RAMPS AS SHOWN ON THE PLANS.
  5. OPEN EXISTING BUS STOP LOCATION AND REMOVE TEMPORARY BUS STOP.

NOT FOR CONSTRUCTION

MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH 60% VDOT DESIGN SUBMITTAL

MAINTENANCE OF TRAFFIC

REVISIONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.: 20180  
DATE OF PLAN ISSUANCE: 4/22/22  
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CHECKED BY: EG DATE: 4/18/22  
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8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1300  
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SHEET  
18 of 24  
SCALE 1" = 20'



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

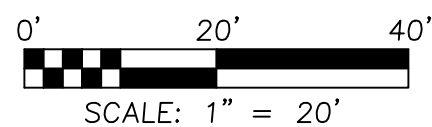
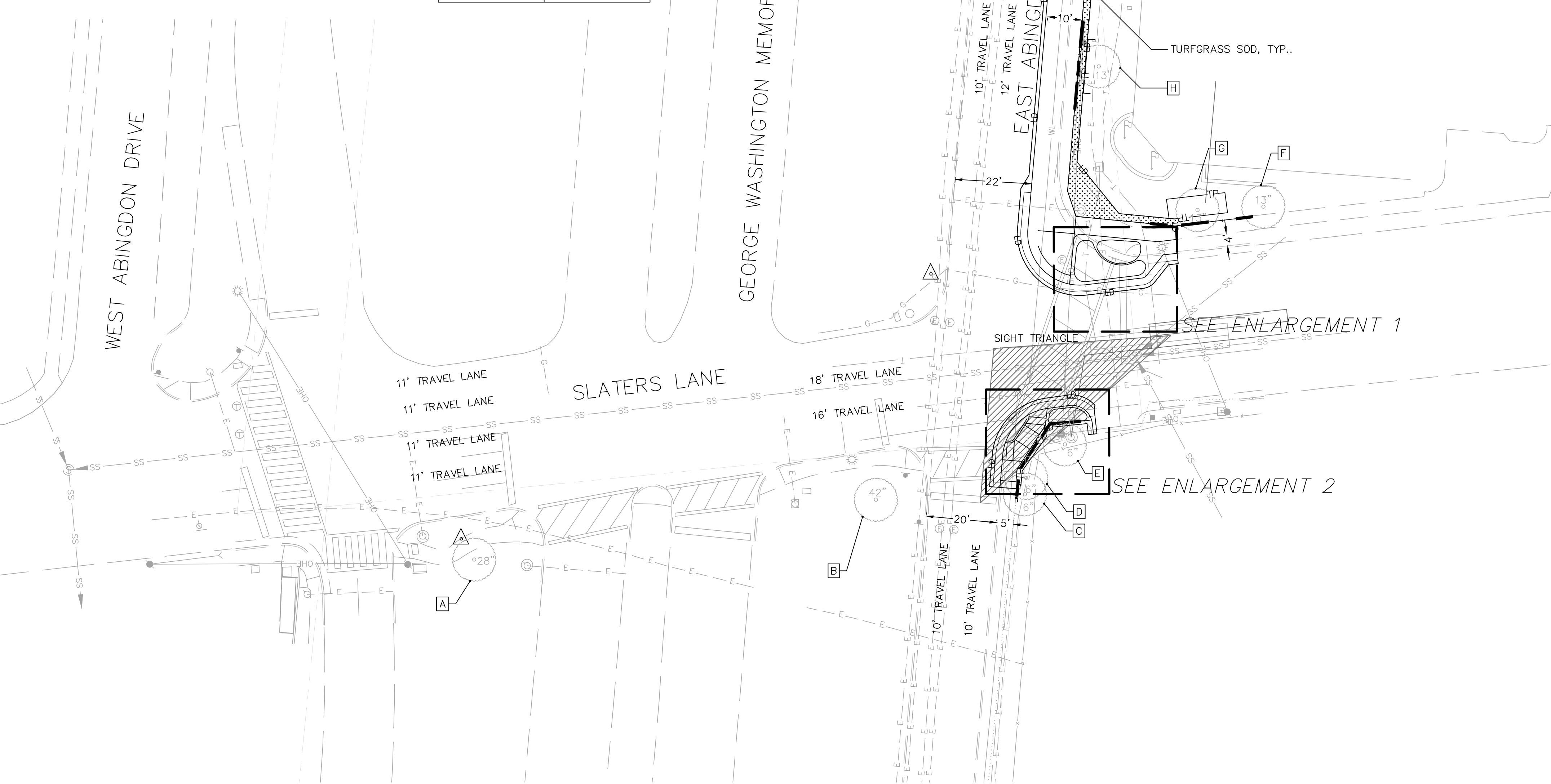


PLANT SCHEDULE

SYMBOL	QUANT.	COMMON NAME	SIZE/TYPE	(O.C.) SPACING	HEIGHT	PROPOSED CROWN COVERAGE
<b>WOODY SHRUBS AND GROUNDCOVERS</b>						
JS	50	JUNIPERUS SQAMATA	PARSONS JUNIPER	5 GAL CONT	2'	N/A
<b>HERBACEOUS AND GRASSES</b>						
PA	36	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	1 GAL CONT	1.5'	N/A
TOTAL						N/A

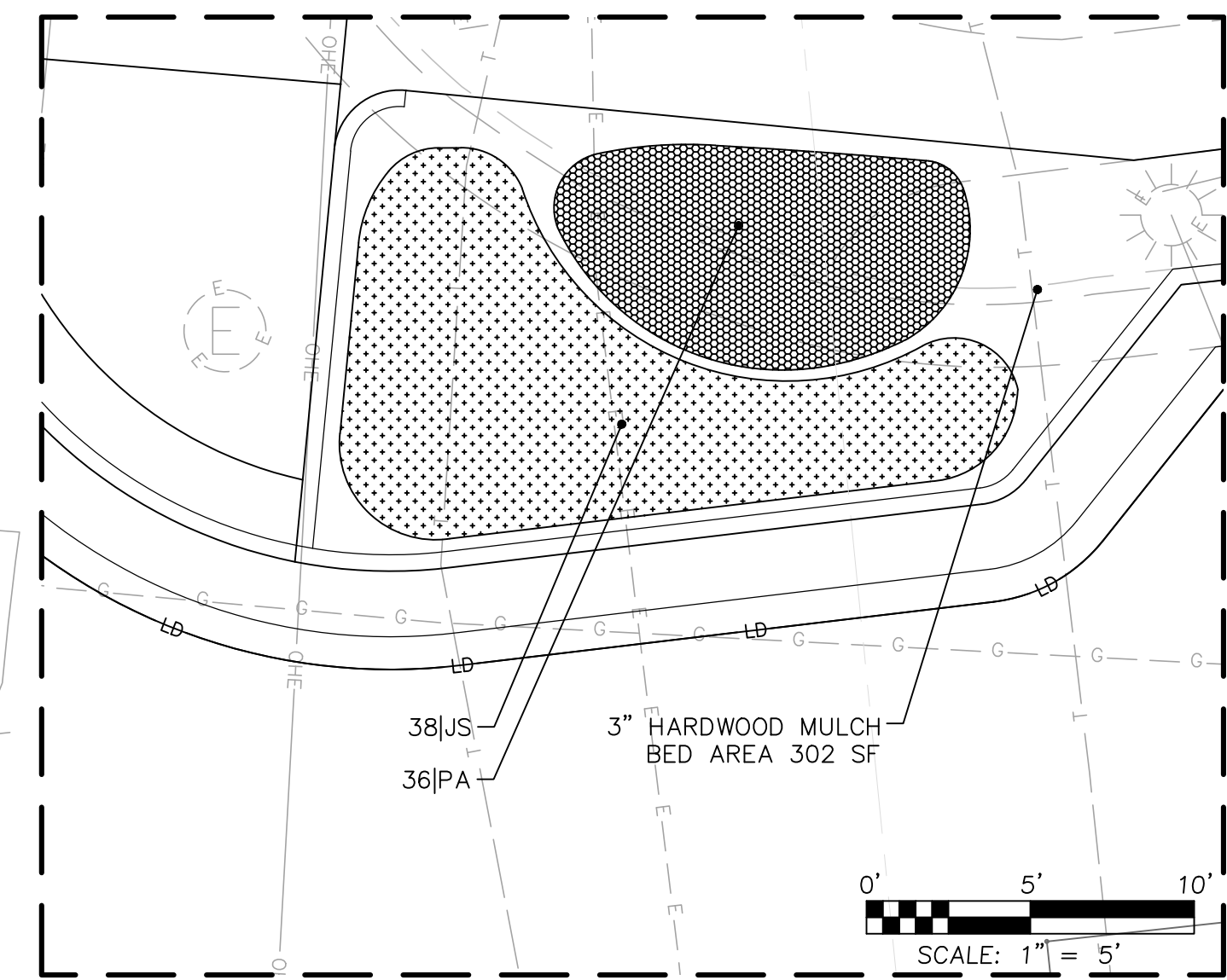
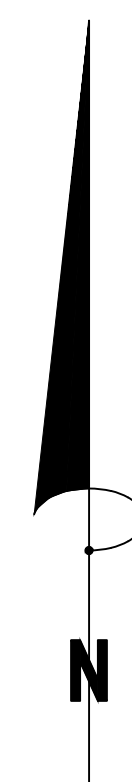
EXISTING TREES

#ID	SIZE	BOTANICAL NAME	COMMON NAME	NOTE	CROWN COVERAGE TO BE REMOVED
A	28"	QUERCUS PALUSTRIS	PIN OAK	TO REMAIN	N/A
B	42"	QUERCUS PHELLOS	WILLOW OAK	TO REMAIN	N/A
C	6"	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	TO REMAIN	N/A
D	6"	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	TO REMAIN	N/A
E	6"	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	TO REMAIN	N/A
F	13"	TILIA AMERICANA	AMERICAN LINDEN	TO REMAIN	N/A
G	13"	TILIA AMERICANA	AMERICAN LINDEN	TO REMAIN	N/A
H	13"	QUERCUS PALUSTRIS	PIN OAK	TO REMAIN	N/A
I	15"	QUERCUS PALUSTRIS	PIN OAK	TO REMAIN	N/A
J	6"	QUERCUS PALUSTRIS	PIN OAK	TO REMAIN	N/A
K	12"	QUERCUS PALUSTRIS	PIN OAK	TO REMAIN	N/A
TOTAL					N/A

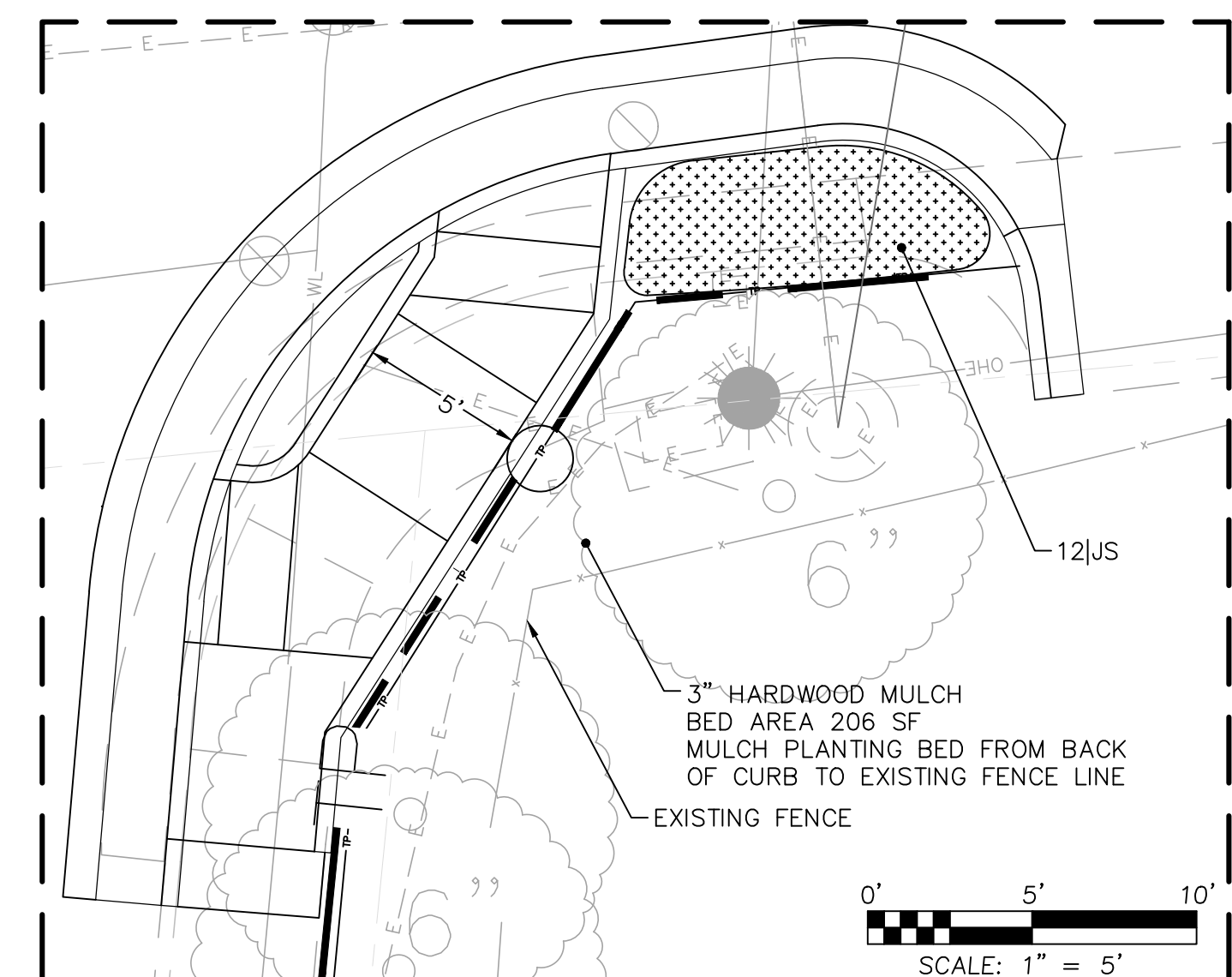
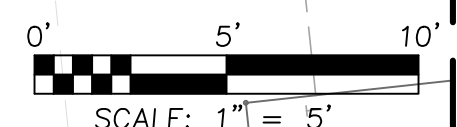


LEGEND

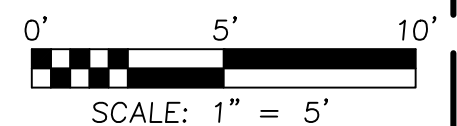
- EXISTING TREE
- TURFGRASS SOD
- GRASSES AND HERBACEOUS PLANTS
- WOODY SHRUBS AND GROUNDCOVERS
- TREE PROTECTION FENCE
- TREE ROOT PRUNING LIMITS
- LIMIT OF DISTURBANCE



ENLARGEMENT 1



ENLARGEMENT 2



NOT FOR CONSTRUCTION

60% VDOT DESIGN SUBMITTAL

CITY OF ALEXANDRIA, VIRGINIA  
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301 KING STREET  
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LANDSCAPE PLAN

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FAX: 301.927.2800  
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19 of 24

SCALE AS SHOWN

H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CE\Plans\90% Design\C-110-LAND.dwg 10/4/2022



**LANDSCAPE PLANTING NOTES:**

- ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION, INCLUDING MAINTENANCE, SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.
- IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, VIRGINIA, DISTRICT OF COLUMBIA AND VIRGINIA.
- ALL TREES AND OTHER PLANT MATERIAL SHALL BE TAGGED AT THE NURSERY OR OTHERWISE APPROVED BY RECREATION, PARKS, AND CULTURAL ACTIVITIES (RPCA) PRIOR TO DELIVERY TO PROJECT SITE AND INSTALLATION.
- PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.
- AS-BUILT DRAWINGS FOR THIS LANDSCAPE WILL BE PROVIDED IN COMPLIANCE WITH THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY, AND SPECIFICATION OF ALL PROJECT ELEMENTS.
- REPRESENTATIVE INSPECTIONS USED BY UTILITY LINE INSTALLATION, PIPELINE CONSTRUCTION, OR OTHER SIMILAR LINEAR CONSTRUCTION ACTIVITIES SHALL INSPECT ALL OUTFALLS. (INCLUDE ONLY IF APPLICABLE).
- FOR PLANTING AREAS WITH COMPACTED SOILS, SUCH AS WITHIN OR IMMEDIATELY ADJACENT TO THE LIMITS OF THE EXISTING PARKING LOT, DECOMPACT SOIL TO A MINIMUM DEPTH OF 12" AND AMEND SOIL WITH ORGANIC COMPOST OR PINE BARK FINES BY TILLING AMENDMENTS INTO THE TOP 6-8" OF EXISTING SOIL.

**TURF SPECIFICATION AND INSTALLATION:**

- GENERAL
  - SPECIES AND MIX SHALL BE OF SUPERIOR SPECIFICATION AND QUALITY AS APPROVED AND CERTIFIED BY THE VIRGINIA DEPARTMENT OF AGRICULTURE, VIRGINIA COOPERATIVE EXTENSION SERVICE, OR UNIVERSITY OF MARYLAND.
  - WHEN INSTALLED IN "TURF-BLOCK" OR "TURF-RING" REINFORCED-TURF, EMERGENCY VEHICLE ACCESS AREAS, OR OTHER SIMILAR APPLICATION, AN AUTOMATED IRRIGATION SYSTEM IS REQUIRED.
- SOD
  - FREE OF NOXIOUS WEEDS, NON-TURFGRASS PLANTS, UNSPECIFIED GROWTH, SOIL BORNE INSECTS AND DISEASE.
  - OF A UNIFORM, NON-VARYING DENSITY AND CONTINUOUS TEXTURE QUALITY CAPABLE OF GROWTH AND DEVELOPMENT IMMEDIATELY UPON INSTALLATION.
- SEED
  - PROCURE FROM NEW OF THE YEAR SEED CROPS, FREE OF FOREIGN MATERIAL OR WEED SEEDS.
  - REPLACEMENT OR OVERSEEDING MIXES SHALL MATCH OR COMPLIMENT ORIGINAL INSTALLATION/EXISTING CONDITIONS SPECIFIED TO REMAIN.
  - PROVIDE CONTINUOUS UNIFORM AND CONSISTENT COVERAGE.
- ALL TREES AND OTHER PLANT MATERIAL SHALL BE TAGGED AT THE NURSERY OR OTHERWISE APPROVED BY RECREATION, PARKS, AND CULTURAL ACTIVITIES (RPCA) PRIOR TO DELIVERY TO PROJECT SITE AND INSTALLATION.
- PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.
- AS-BUILT DRAWINGS FOR THIS LANDSCAPE WILL BE PROVIDED IN COMPLIANCE WITH THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY, AND SPECIFICATION OF ALL PROJECT ELEMENTS.
- REPRESENTATIVE INSPECTIONS USED BY UTILITY LINE INSTALLATION, PIPELINE CONSTRUCTION, OR OTHER SIMILAR LINEAR CONSTRUCTION ACTIVITIES SHALL INSPECT ALL OUTFALLS. (INCLUDE ONLY IF APPLICABLE).
- FOR PLANTING AREAS WITH COMPACTED SOILS, SUCH AS WITHIN OR IMMEDIATELY ADJACENT TO THE LIMITS OF THE EXISTING PARKING LOT, DECOMPACT SOIL TO A MINIMUM DEPTH OF 12" AND AMEND SOIL WITH ORGANIC COMPOST OR PINE BARK FINES BY TILLING AMENDMENTS INTO THE TOP 6-8" OF EXISTING SOIL.
- PLANTING AREA SHALL BE FREE FROM DEBRIS, STONES, GRAVEL, OR OTHER FOREIGN MATTER PRIOR TO SEEDING OR SODDING.
- AMEND SOIL PER THE RECOMMENDATIONS OF A SOIL ANALYSIS FOR LANDSCAPE PLANTINGS AND HORTICULTURAL STOCK AS PERFORMED BY VIRGINIA COOPERATIVE EXTENSION OR OTHER LAB APPROVED BY LANDSCAPE ARCHITECT.

**GROUND COVER AND PERENNIAL INSTALLATION:**

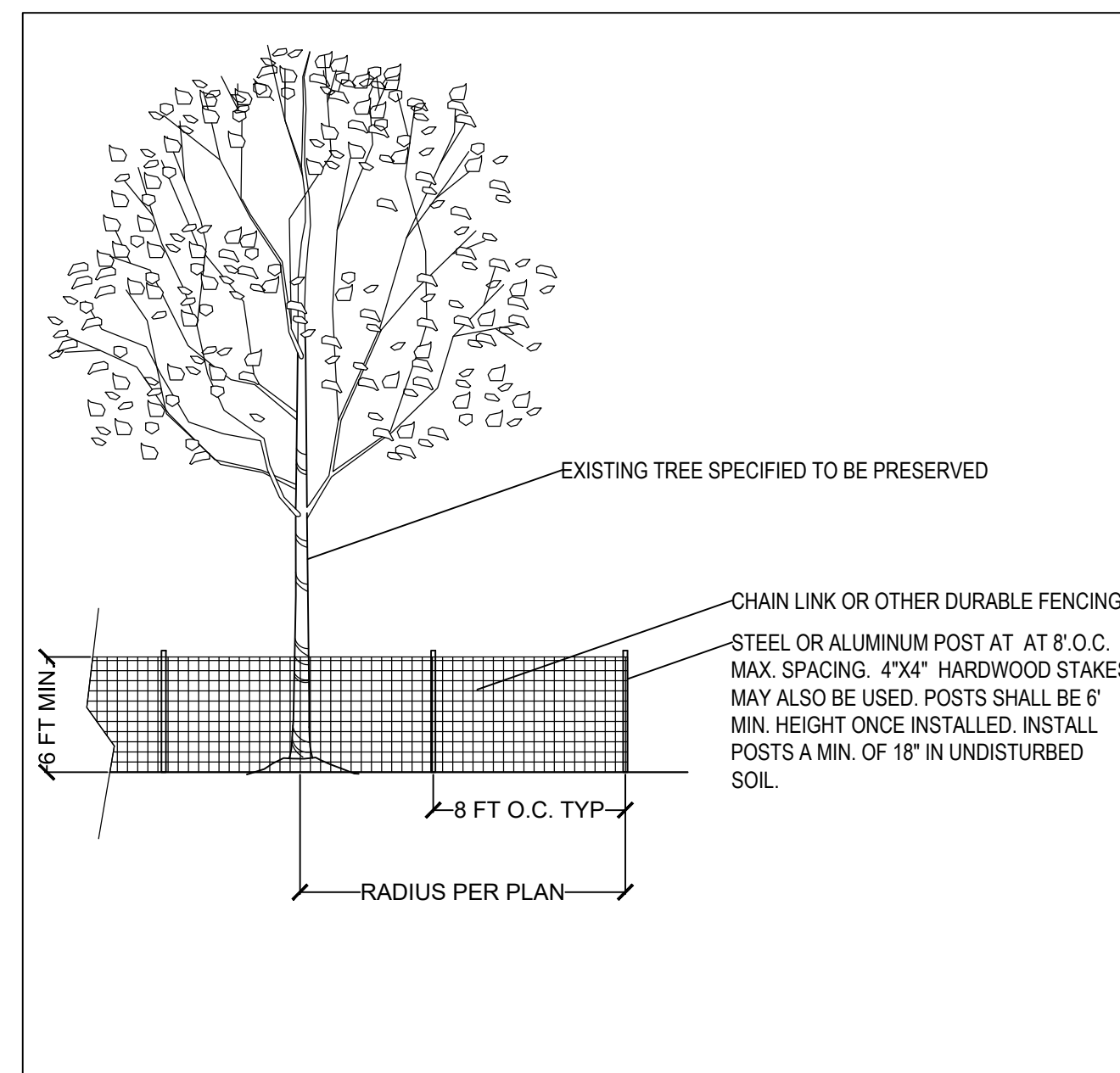
- GENERAL
  - INSTALL AT A SIZE AND SPACING TO PROVIDE UNIFORM, VIGOROUS, NON-INVASIVE GROWTH HABIT.
  - REGARDLESS OF QUANTITIES INDICATED ON DRAWINGS, ALL DESIGNATED AREAS SHALL BE FILLED TO CAPACITY WITH PLANTS AT THE APPROVED SPACING.
  - INSTALL AT A SPACING AND SIZE TO ACHIEVE A SIZE, SCALE, AND CHARACTER, INCLUDING NINETY PERCENT (90%) UNIFORM COVERAGE OF THE OVERALL DESIGN INTENT, WITHIN TWO (2) CALENDAR YEARS FROM DATE OF THE LAST AND FINAL CERTIFICATE OF OCCUPANCY.

**MAINTENANCE:**

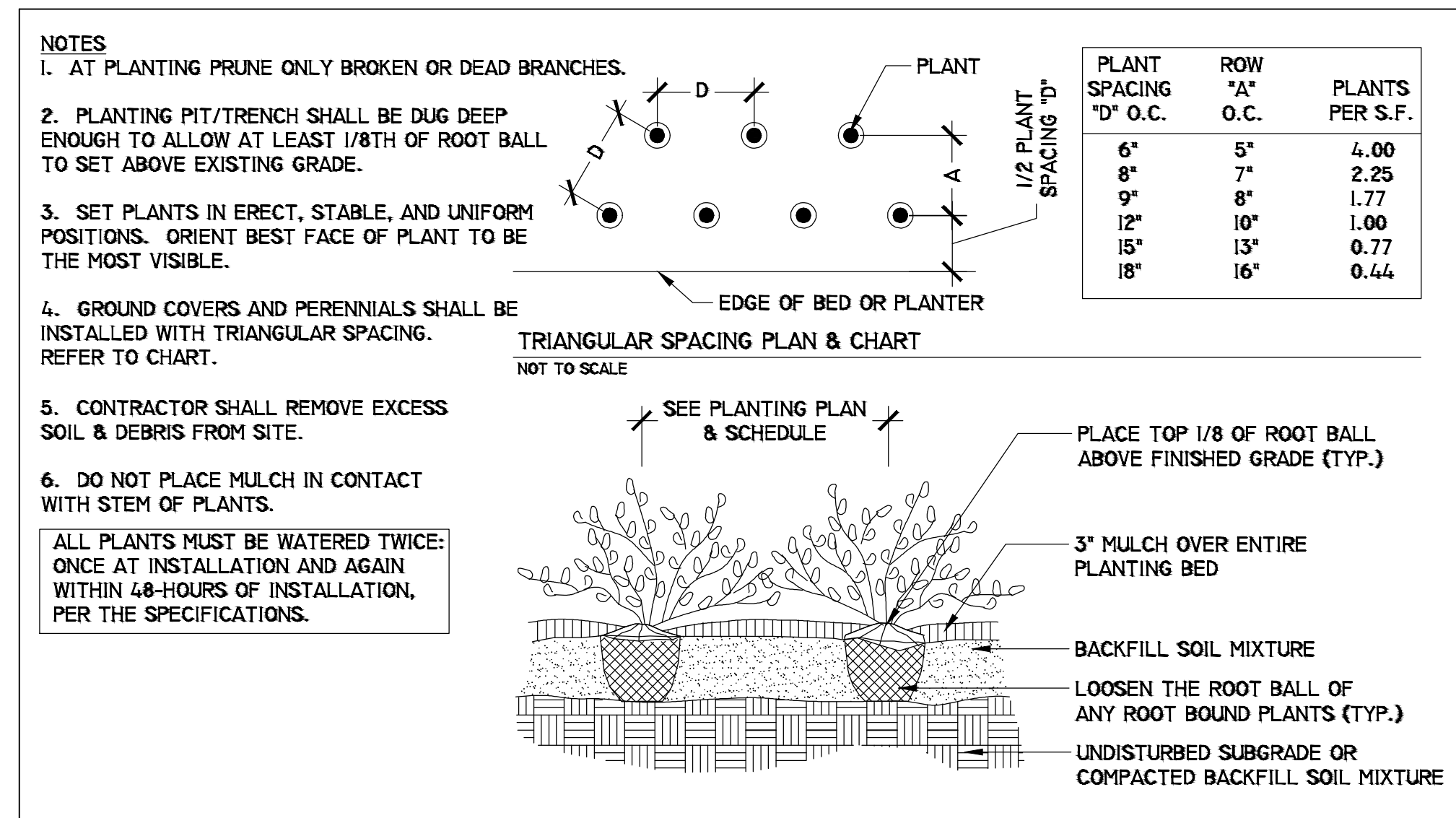
- MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED FOR THE WARRANTY PERIOD, IN COMPLIANCE WITH THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND/OR AS CONDITIONED BY PROJECT APPROVAL.
- MAINTENANCE SHALL INCLUDE HAND WATERING (OR WATER BAGS), TRIMMING AND PRUNING, AND REPLACEMENT IF REQUIRED BY THE CITY ARBORIST OR DPI DUE TO DAMAGE, DISEASE, OR IMPROPER MAINTENANCE.

**PRESERVATION OF EXISTING TREES AND VEGETATION:**

- VEGETATION TO BE REMOVED SHALL BE APPROVED BY THE CITY ARBORIST.
- PROVIDE, IMPLEMENT AND FOLLOW A TREE CONSERVATION AND PROTECTION PROGRAM THAT IS DEVELOPED TO THE SATISFACTION OF THE CITY ARBORIST.
- PROTECTION PROGRAM SHALL BE AUTHORED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- LOCATION AND METHOD FOR PROTECTION AND PRESERVATION OF EXISTING TREES ON ALL PLAN SHEETS INCLUDING DEMOLITION, SEDIMENT AND EROSION CONTROL, SITE PLAN AND LANDSCAPE PLAN.
- PROVIDE PROTECTION OF EXISTING VEGETATION IN COMPLIANCE WITH LANDSCAPE GUIDELINES OF THE CITY OF ALEXANDRIA.
- LOCATION AND METHOD FOR PROTECTION AND PRESERVATION OF EXISTING TREES SHALL BE APPROVED IN-FIELD BY THE CITY ARBORIST PRIOR TO COMMENCEMENT OF GROUND DISTURBING ACTIVITY.
- CONTRACTOR MUST PROVIDE DOCUMENTATION OF COMMUNICATION WITH THE ADJACENT PROPERTY OWNER(S) VERIFYING NOTIFICATION OF CONSTRUCTION IMPACT, POTENTIAL FOR LOSS, AND AGREED UPON REMEDIAL MEASURES PERTAINING TO THE EXISTING TREE(S) ON ADJACENT PROPERTIES THAT WILL BE EFFECTED BY PROJECT WORK.
- TREE PROTECTION SHALL BE PROVIDED WHERE SILT FENCE IS NOT ADEQUATE. PROTECTION SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE DRIP LINE OF THE TREES TO BE SAVED OR AS OTHERWISE INDICATED ON THE EROSION AND SEDIMENTATION CONTROL PLAN AND/OR TREE PRESERVATION PLAN. THE CONTRACTOR WILL CONSULT THE SITE INSPECTOR BEFORE THE CONSTRUCTION STARTS. TREE PROTECTION FENCING MUST BE ESTABLISHED AND APPROVED BY THE CITY ARBORIST BEFORE ANY CLEARING OR CONSTRUCTION CAN BE STARTED. TO THE EXTENT POSSIBLE ALL TREE PROTECTION SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE (S).



**TREE PROTECTION FENCE  
DETAIL**  
SCALE: N.T.S



**GROUND COVER AND PERENNIAL PLANTING  
DETAIL**  
SCALE: N.T.S

**NOTES**

- AT PLANTING PRUNE ONLY BROKEN OR DEAD BRANCHES.
- PLANTING PIT/TRENCH SHALL BE DUG DEEP ENOUGH TO ALLOW AT LEAST 1/8TH OF ROOT BALL TO SET ABOVE EXISTING GRADE.
- SET PLANTS IN ERECT, STABLE, AND UNIFORM POSITIONS. ORIENT BEST FACE OF PLANT TO BE THE MOST VISIBLE.
- GROUND COVERS AND PERENNIALS SHALL BE INSTALLED WITH TRIANGULAR SPACING. REFER TO CHART.
- CONTRACTOR SHALL REMOVE EXCESS SOIL & DEBRIS FROM SITE.
- DO NOT PLACE MULCH IN CONTACT WITH STEM OF PLANTS.

ALL PLANTS MUST BE WATERED TWICE: ONCE AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, PER THE SPECIFICATIONS.

NOT FOR CONSTRUCTION



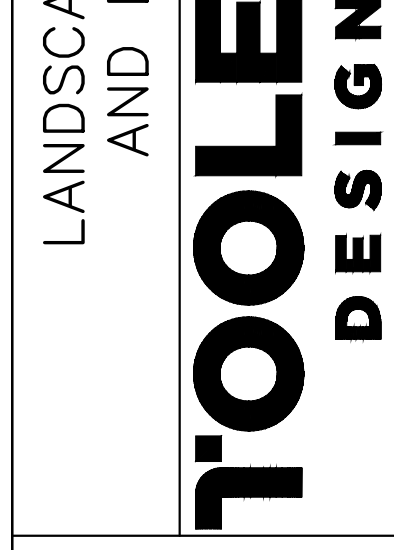
CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
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LANDSCAPE NOTES AND DETAILS

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SILVER SPRING, MD 20910  
PHONE: 301.927.1900  
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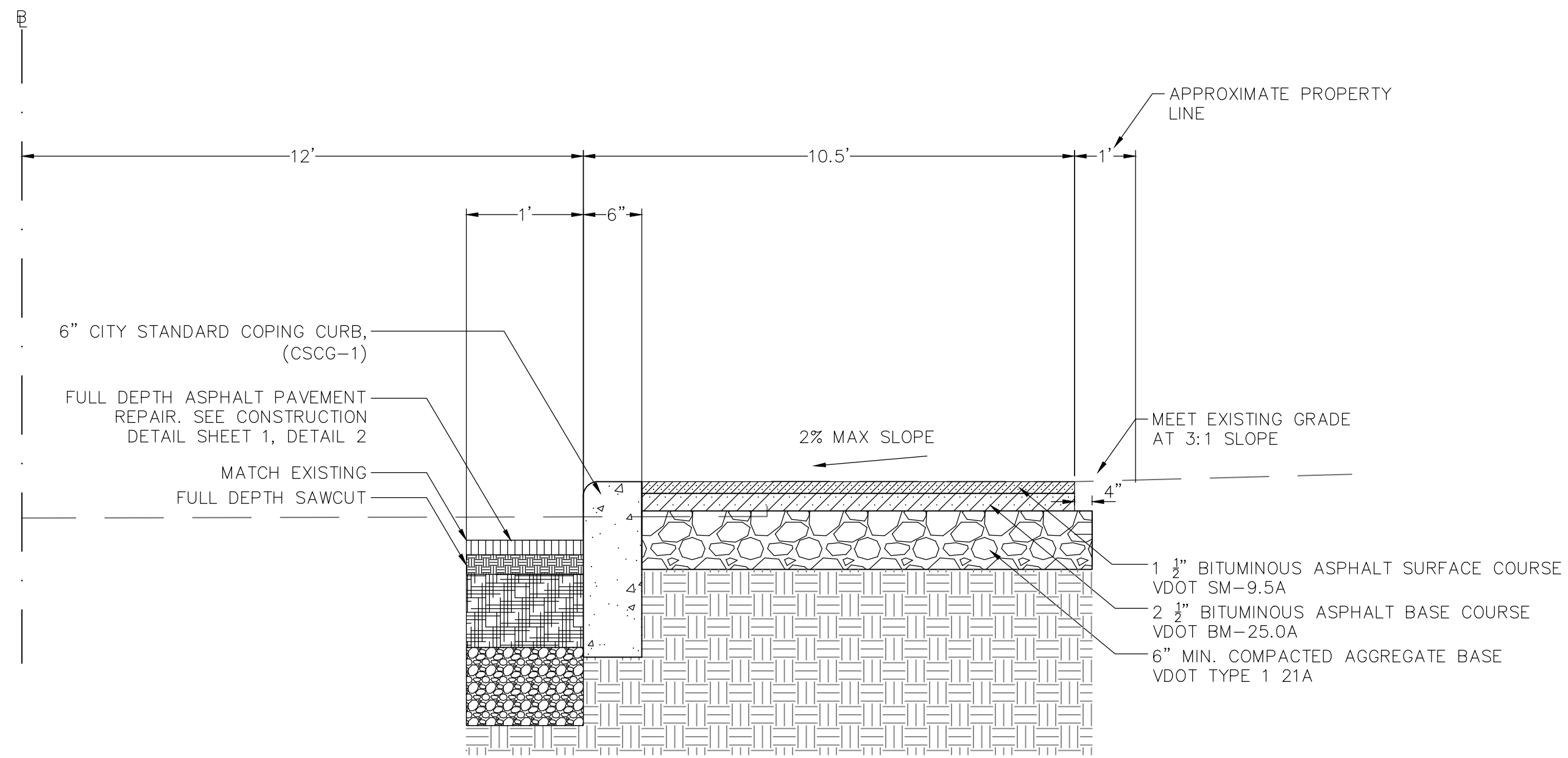


SHEET  
20 of 24  
SCALE NONE

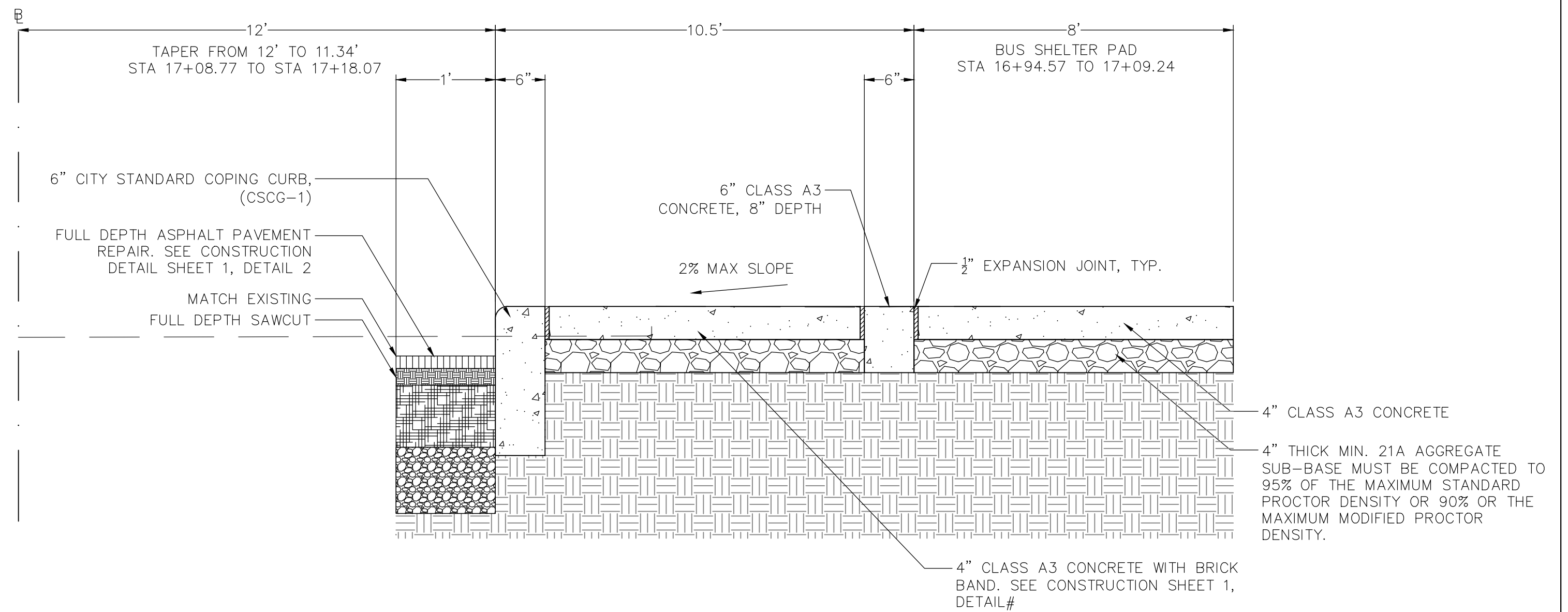
MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH 60% VDOT DESIGN SUBMITTAL

H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIE\Plans\90% Design\C-110-LAND.dwg 10/4/2022

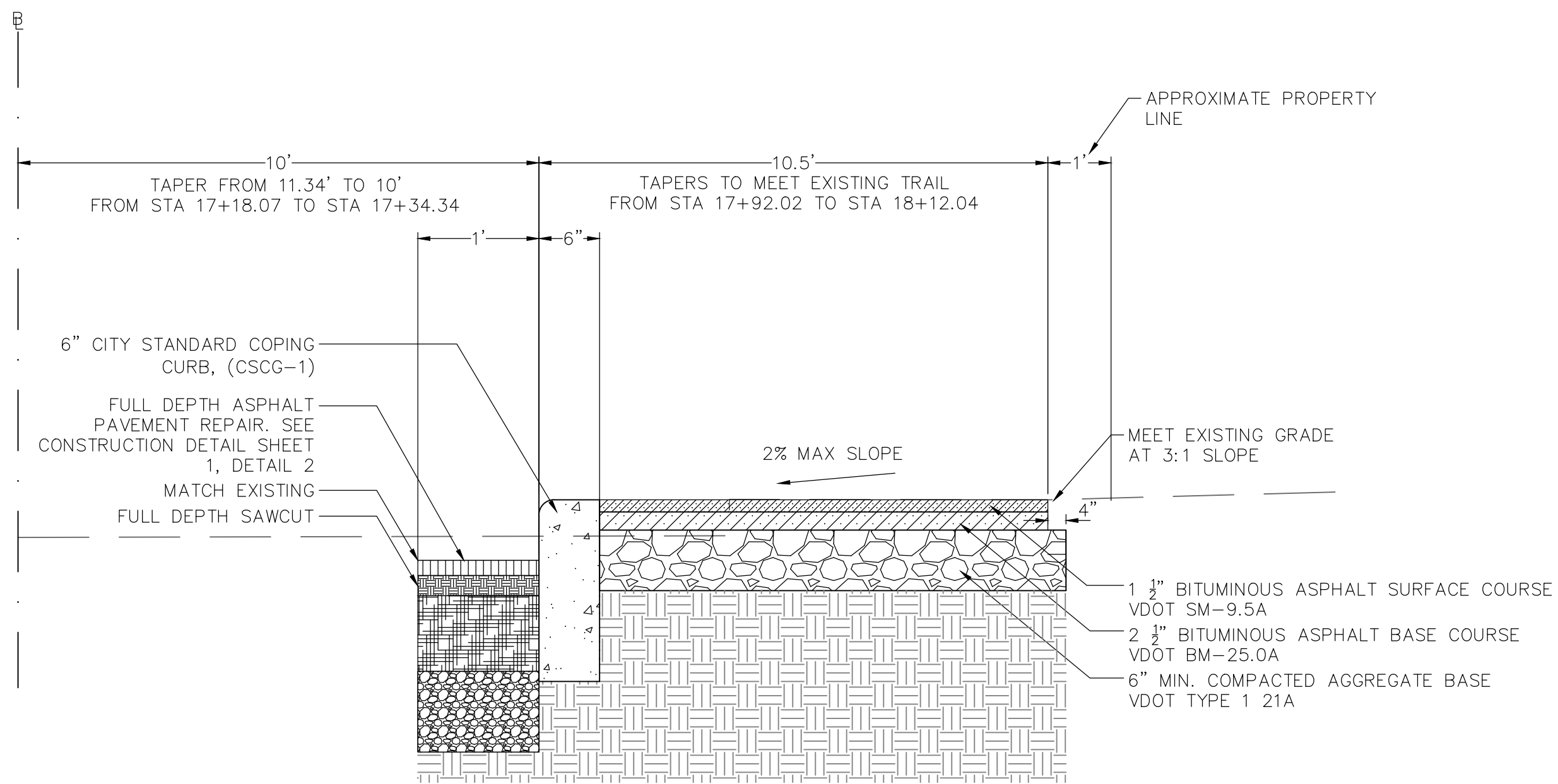




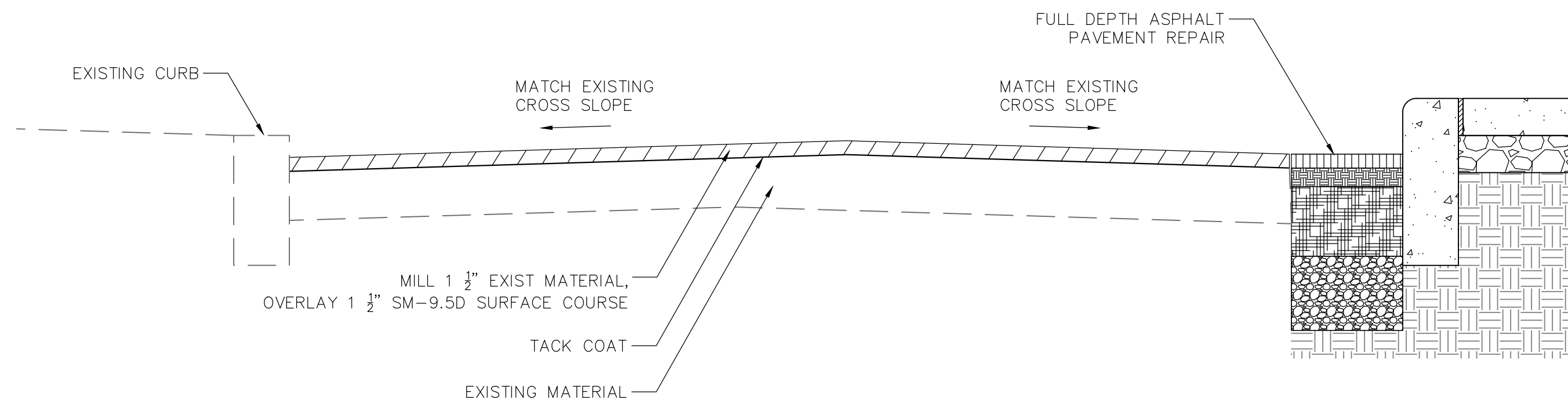
1 TYPICAL SECTION STA 16+20.25 TO STA 16+86.81  
N.T.S.



2 TYPICAL SECTION STA 16+86.81 TO STA 17+18.07  
N.T.S.



3 TYPICAL SECTION STA 17+18.07 TO STA 18+12.04  
N.T.S.



4 MILL & OVERLAY TYPICAL SECTION STA 15+30 TO STA 18+12.02  
N.T.S.

NOT FOR CONSTRUCTION



MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH



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TYPICAL SECTIONS AND CROSS SECTIONS

TOOLE DESIGN

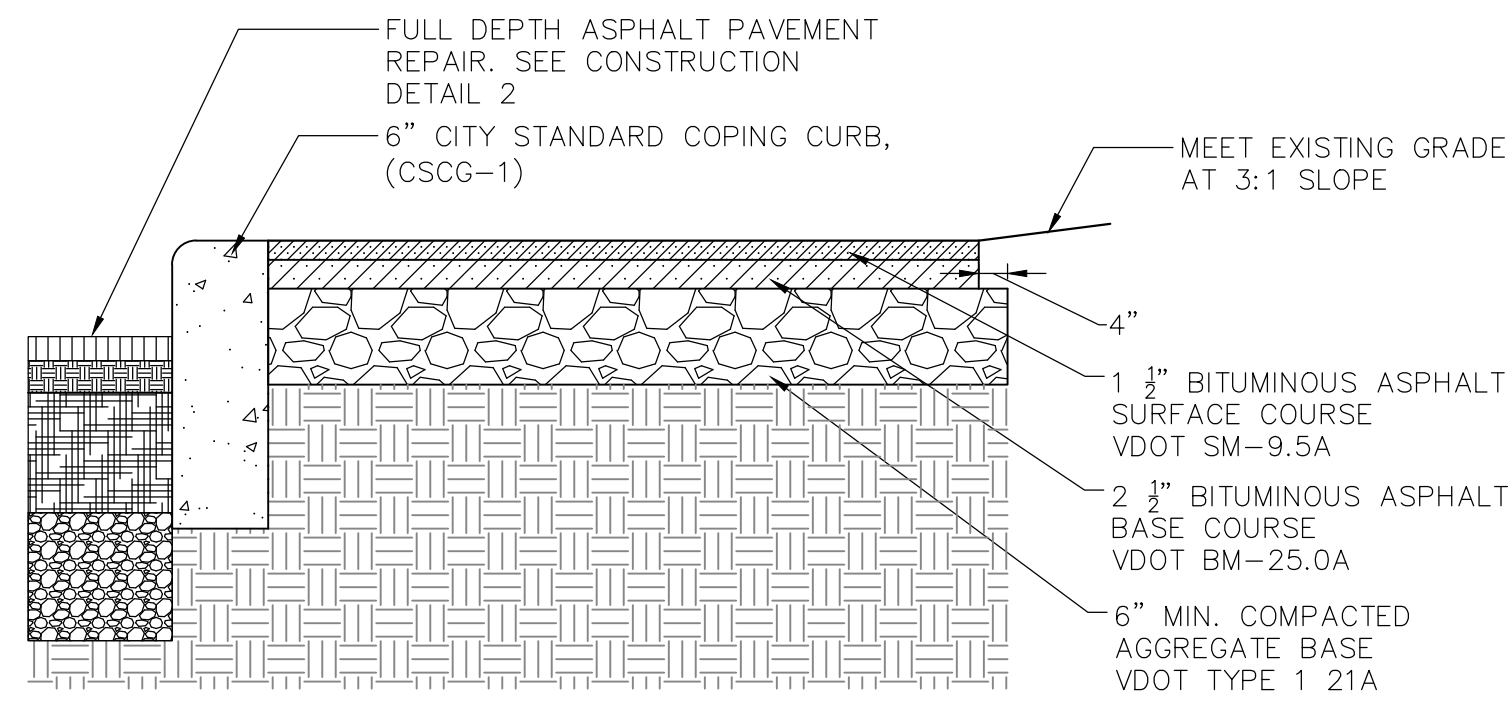
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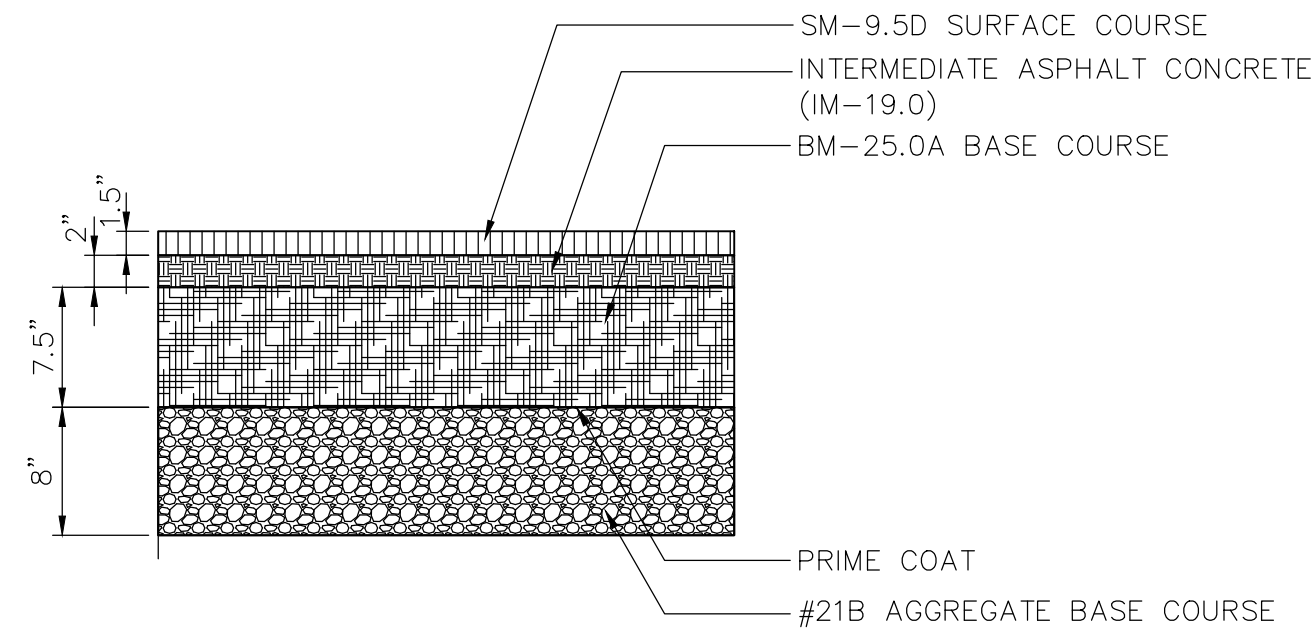
SHEET  
21 of 24  
SCALE AS SHOWN

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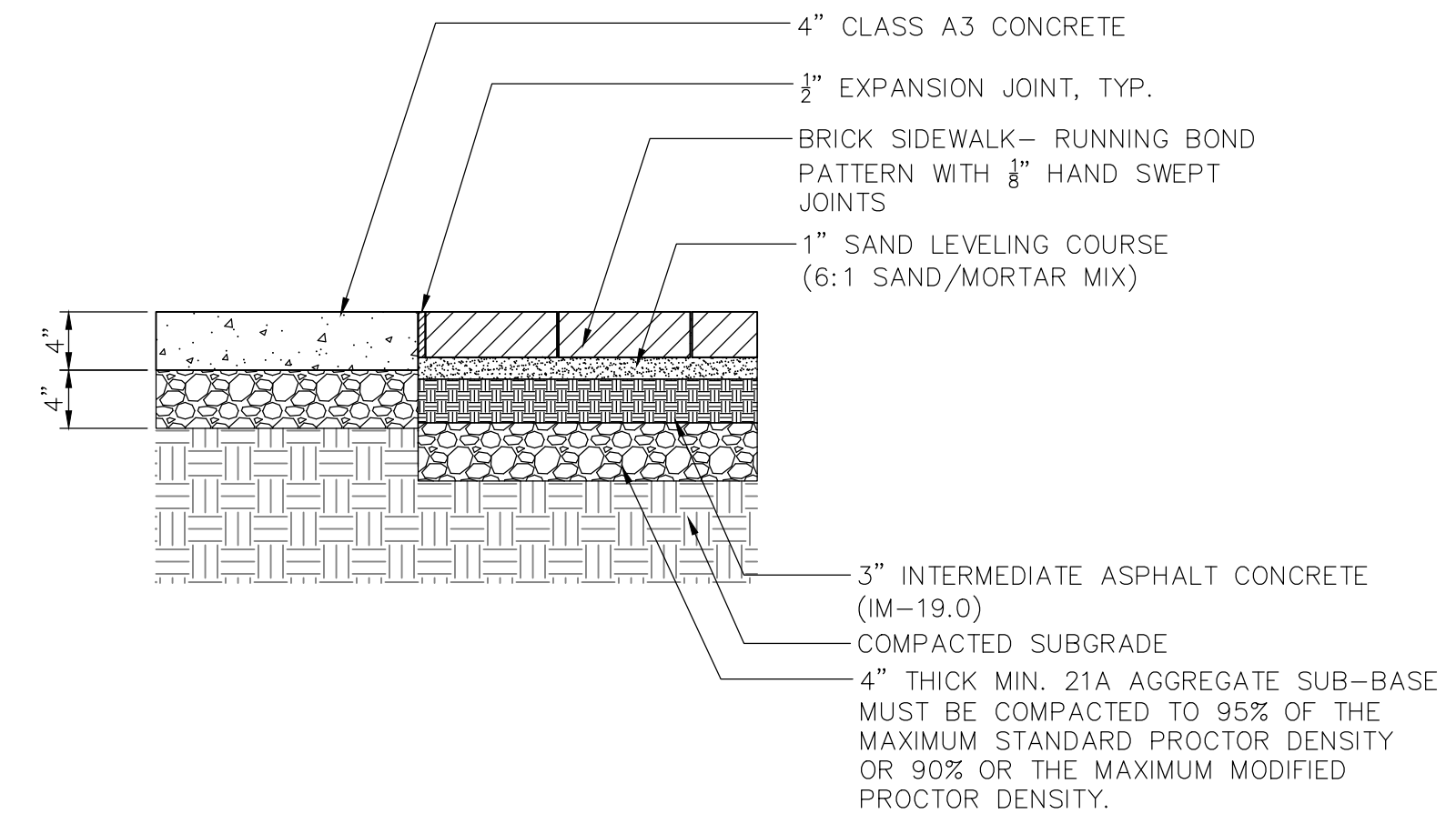




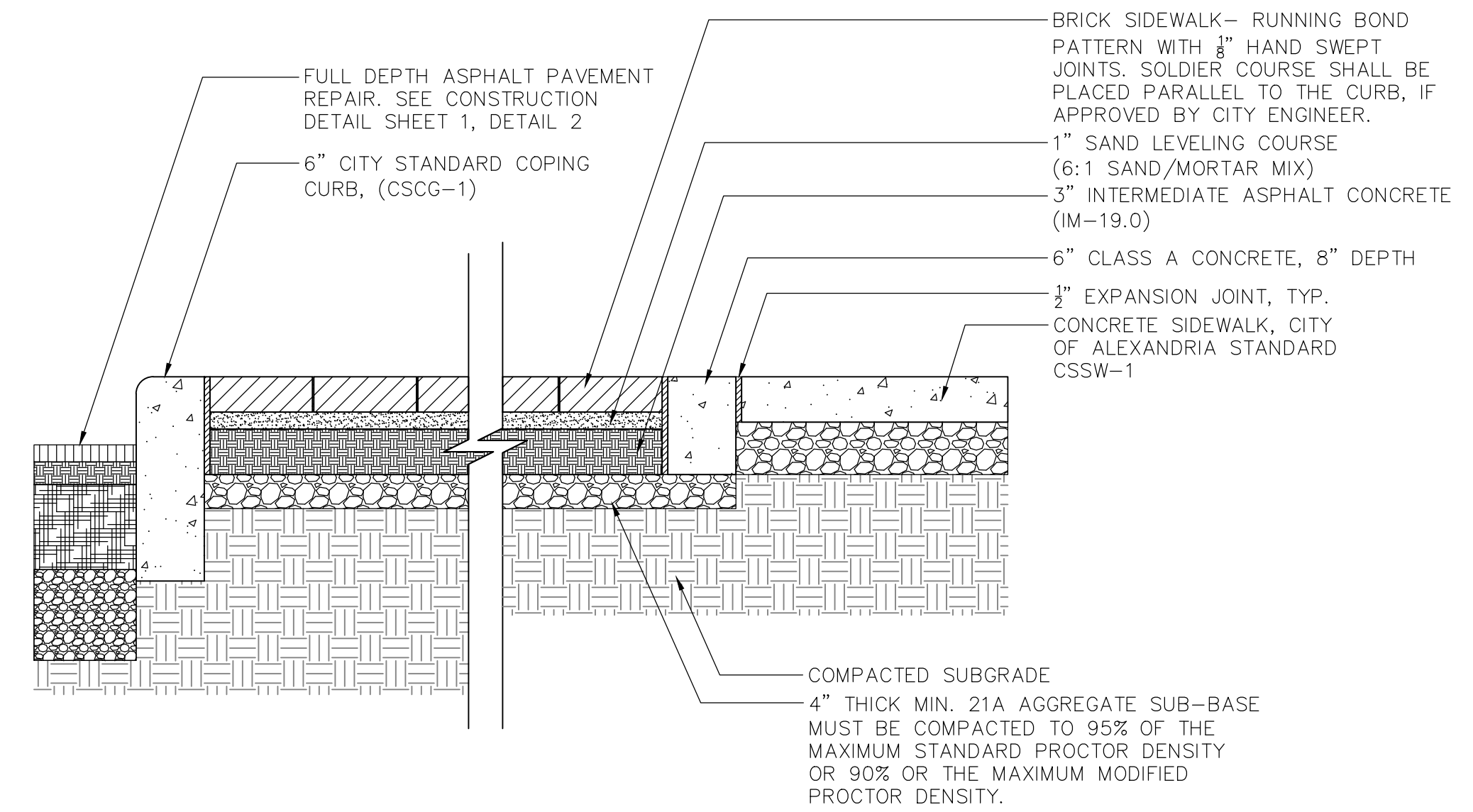
1 TRAIL PAVEMENT SECTION  
N.T.S.



2 FULL DEPTH ASPHALT PAVEMENT REPAIR  
N.T.S.



3 CONCRETE SIDEWALK TO BRICK PAVER TRANSITION  
N.T.S.



**NOTES**

1. THE BRICK SHALL BE OLD VIRGINIA #24 EXTRUDED/ WIRE CUT, MODULAR SIZE, SHENANDOAH SERIES POPLAR FOREST RED RANGE CONFORMING TO THE REQUIREMENTS OF ASTM C902 CLASS SX, TYPE I OR APPROVED EQUAL THE BRICK SUBJECTED TO HEAVY VEHICULAR TRAFFIC SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1272 OR APPROVED EQUAL.
2. THE EXPANSION JOINTS SHALL BE 1/2" WIDE AND SHALL BE THE FULL THICKNESS OF THE BRICK LAYER, AND SHALL BE OF PRE-FORMED EXPANSION JOINT MATERIAL CONFORMING TO THE REQUIREMENTS OF ASTM D994 ASPHALT OR ASTM D1751 FIBRE. EXPANSION MATERIAL SHALL BE SECURED IN A MANNER THAT WILL PREVENT MOVEMENT OR DISPLACEMENT OF BRICK DURING PLACEMENT.
3. THE EXPANSION JOINTS SHALL BE PLACED PARALLEL TO THE CONCRETE CURB.
4. ALL STRUCTURAL ITEMS TO CONFORM TO THE LATEST EDITION OF UNIFORM STATEWIDE BUILDING CODE (USBC) REQUIREMENTS.
5. PRIOR TO CONSTRUCTION, ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL AND/OR GEOTECHNICAL ENGINEER, AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.

6 BRICK PAVERS  
N.T.S.

NOT FOR CONSTRUCTION

4 STANDARD CONCRETE SIDEWALK  
N.T.S.

5 CONCRETE SIDEWALK SCORING  
N.T.S.

60% VDOT DESIGN SUBMITTAL



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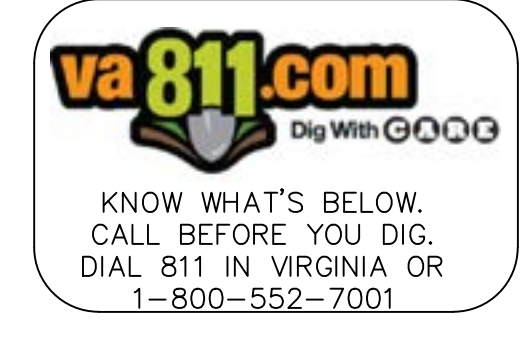
MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

CONSTRUCTION DETAILS  
SHEET 1

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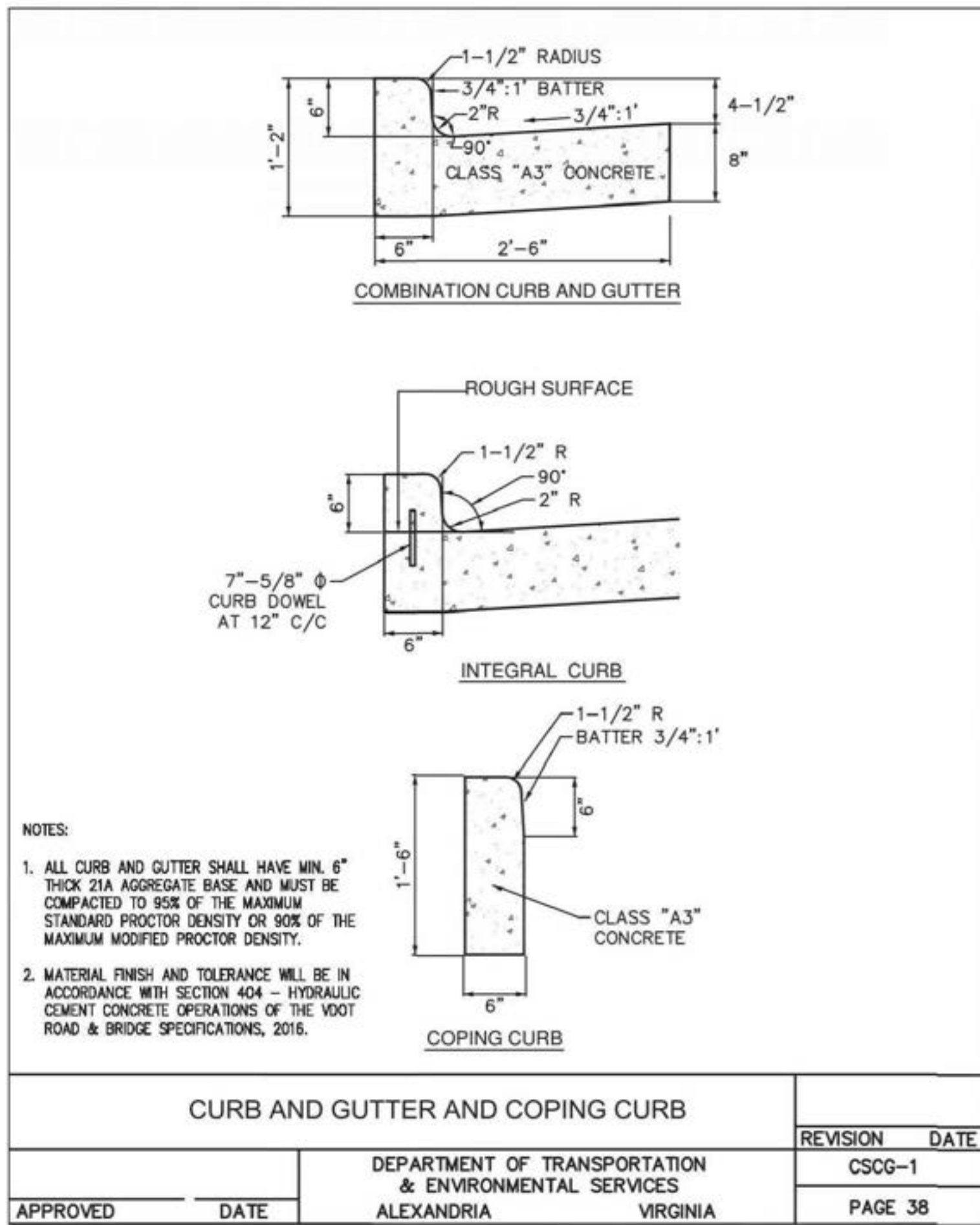


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22 of 24  
SCALE AS SHOWN

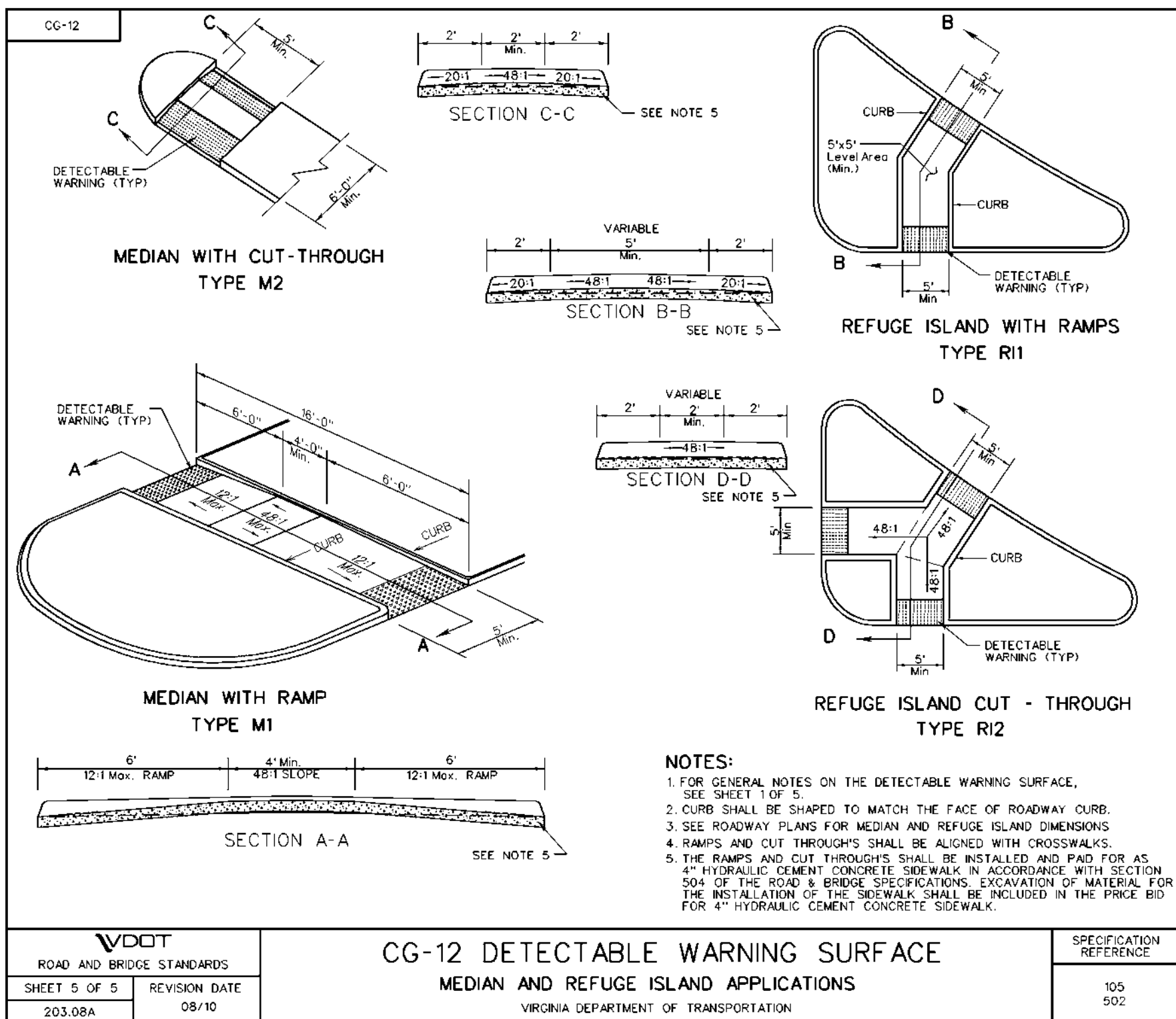


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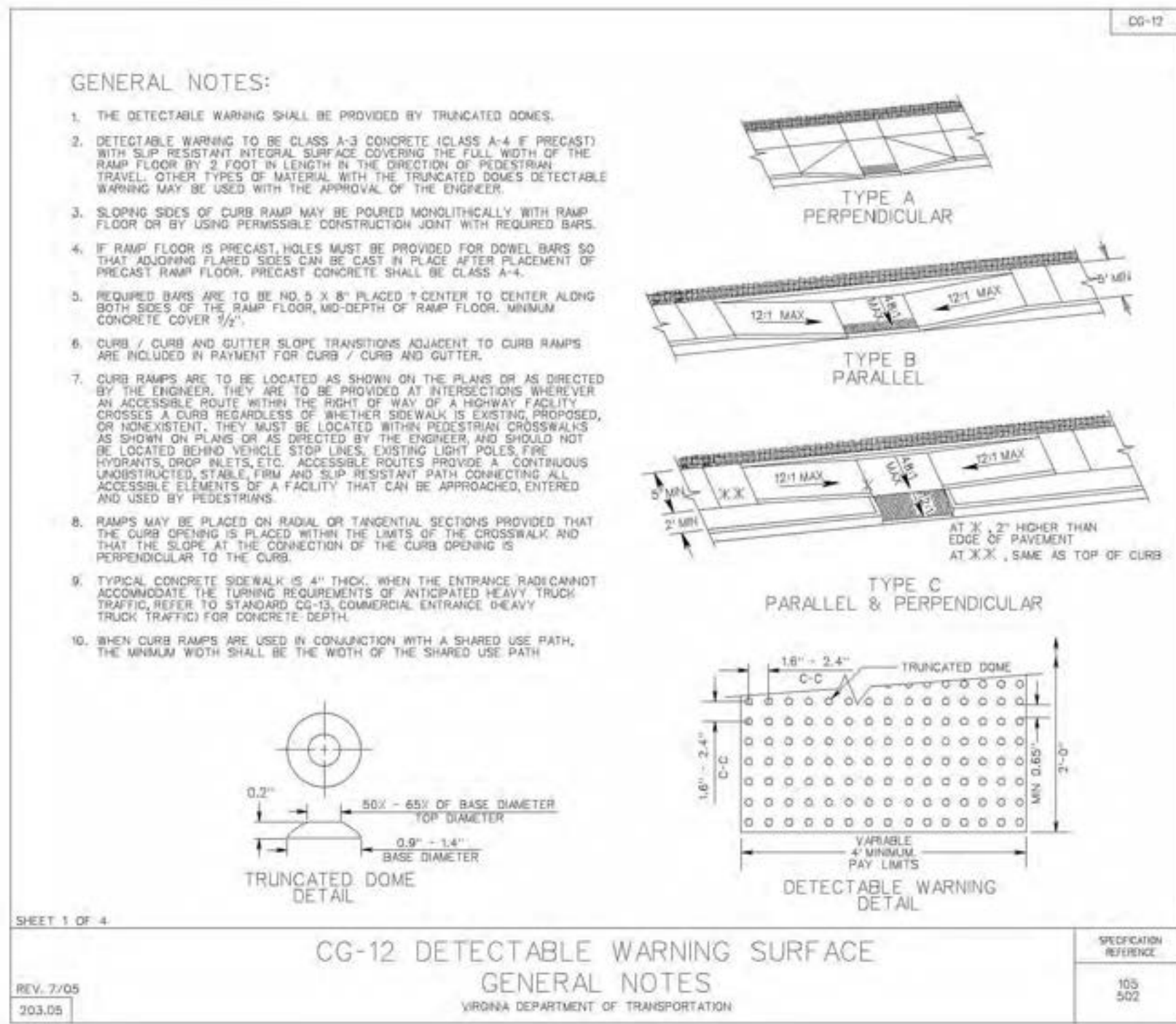




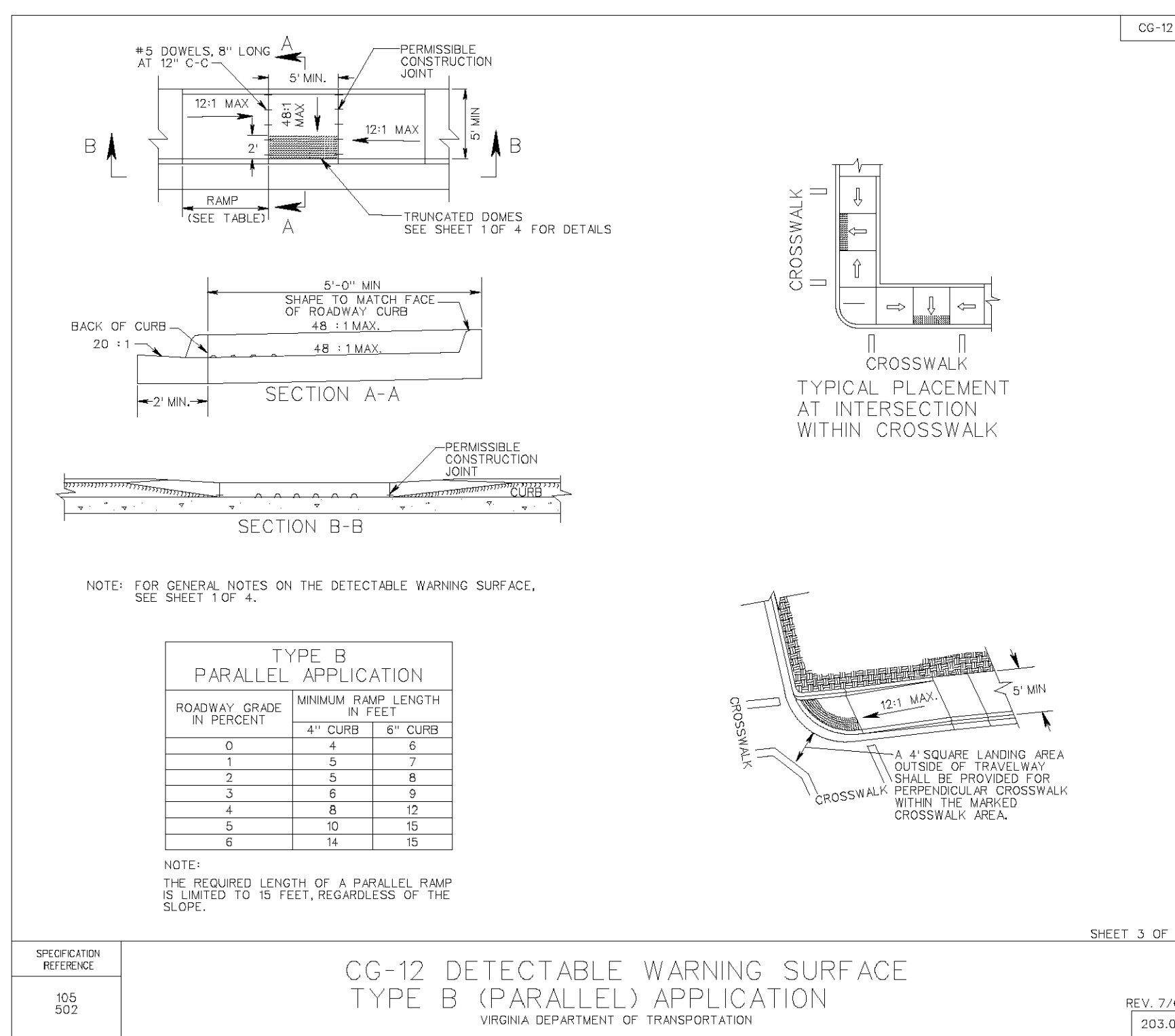
7 CURB AND GUTTER & COPING CURB  
N.T.S.



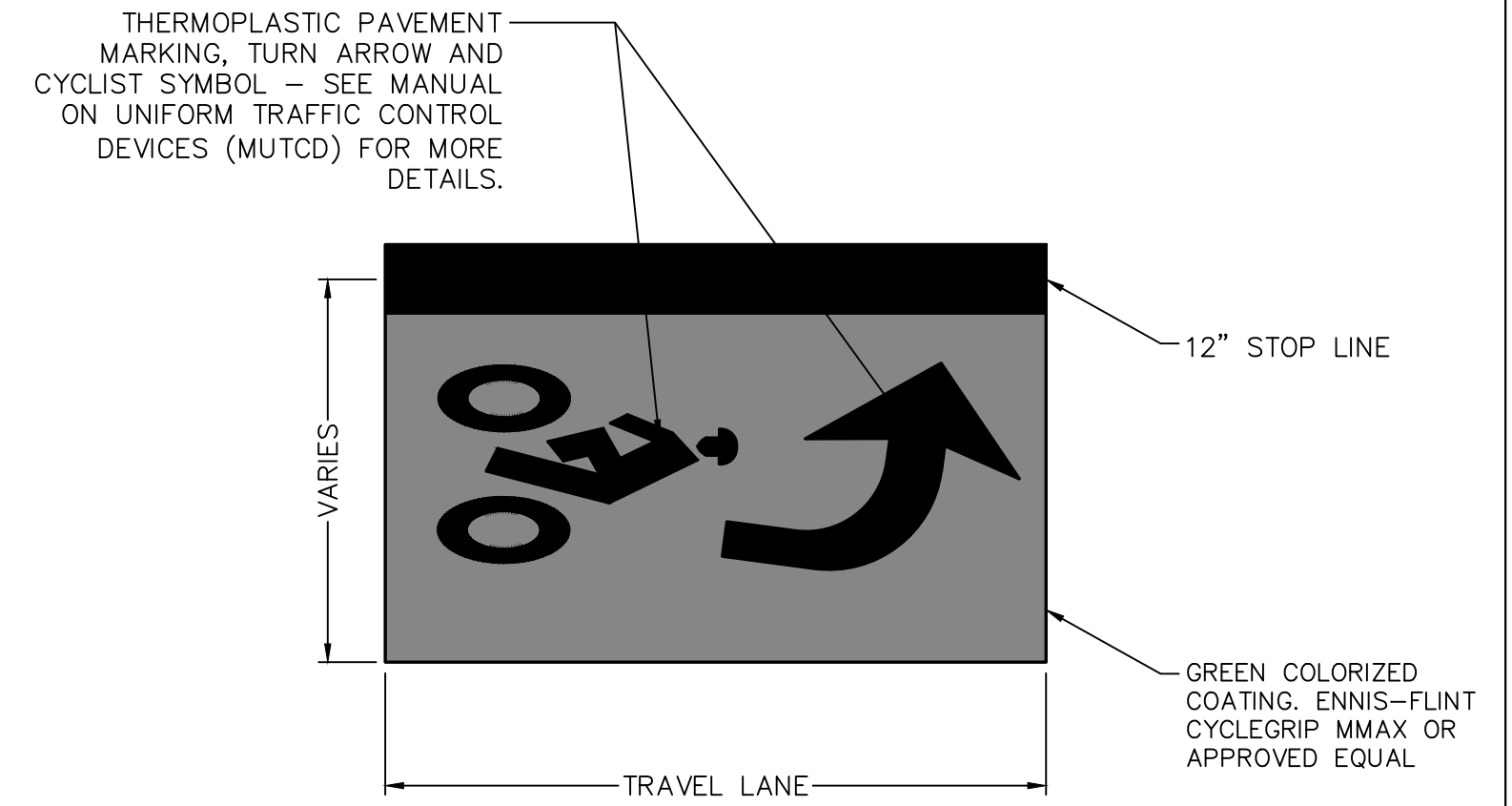
10 DETECTABLE WARNING SURFACE MEDIAN AND REFUGE ISLAND APPLICATIONS  
N.T.S.



8 DETECTABLE WARNING SURFACE GENERAL NOTES  
N.T.S.



11 DETECTABLE WARNING SURFACE MEDIAN TYPE B (PARALLEL) APPLICATION  
N.T.S.



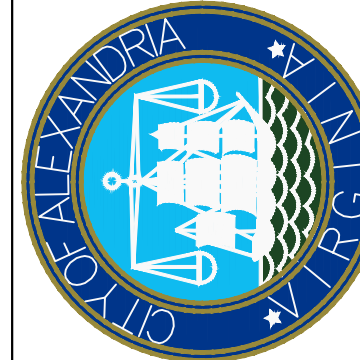
9 TYPICAL TWO-STAGE LEFT TURN BOX  
N.T.S.

NOT FOR CONSTRUCTION



MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

60% VDOT DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.: 20180  
DATE OF PLAN ISSUANCE: 4/22/22  
CONSULTANT PROJECT ID: 5260-23  
DESIGNED BY: MJ DATE: 4/22/22  
DRAWN BY: TT DATE: 4/22/22  
CHECKED BY: EG DATE: 4/18/22  
APPROVED BY: EG DATE: 4/22/22

CONSTRUCTION DETAILS  
SHEET 2

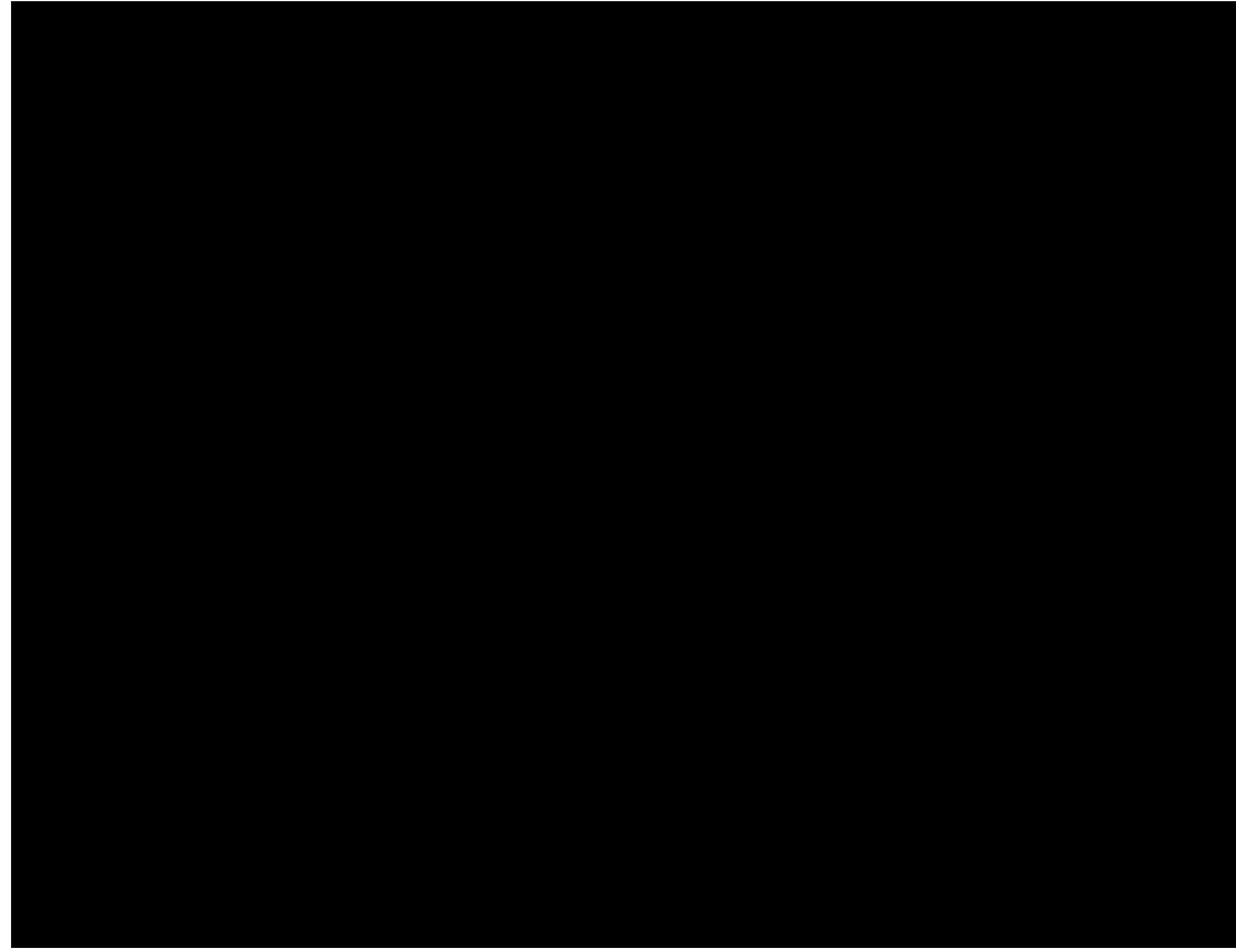
8484 GEORGIA AVENUE, SUITE 800  
SILVER SPRING, MD 20910  
PHONE: 301.927.1900  
FAX: 301.927.2800  
www.tooledesign.com

**TOOLE**  
DESIGN

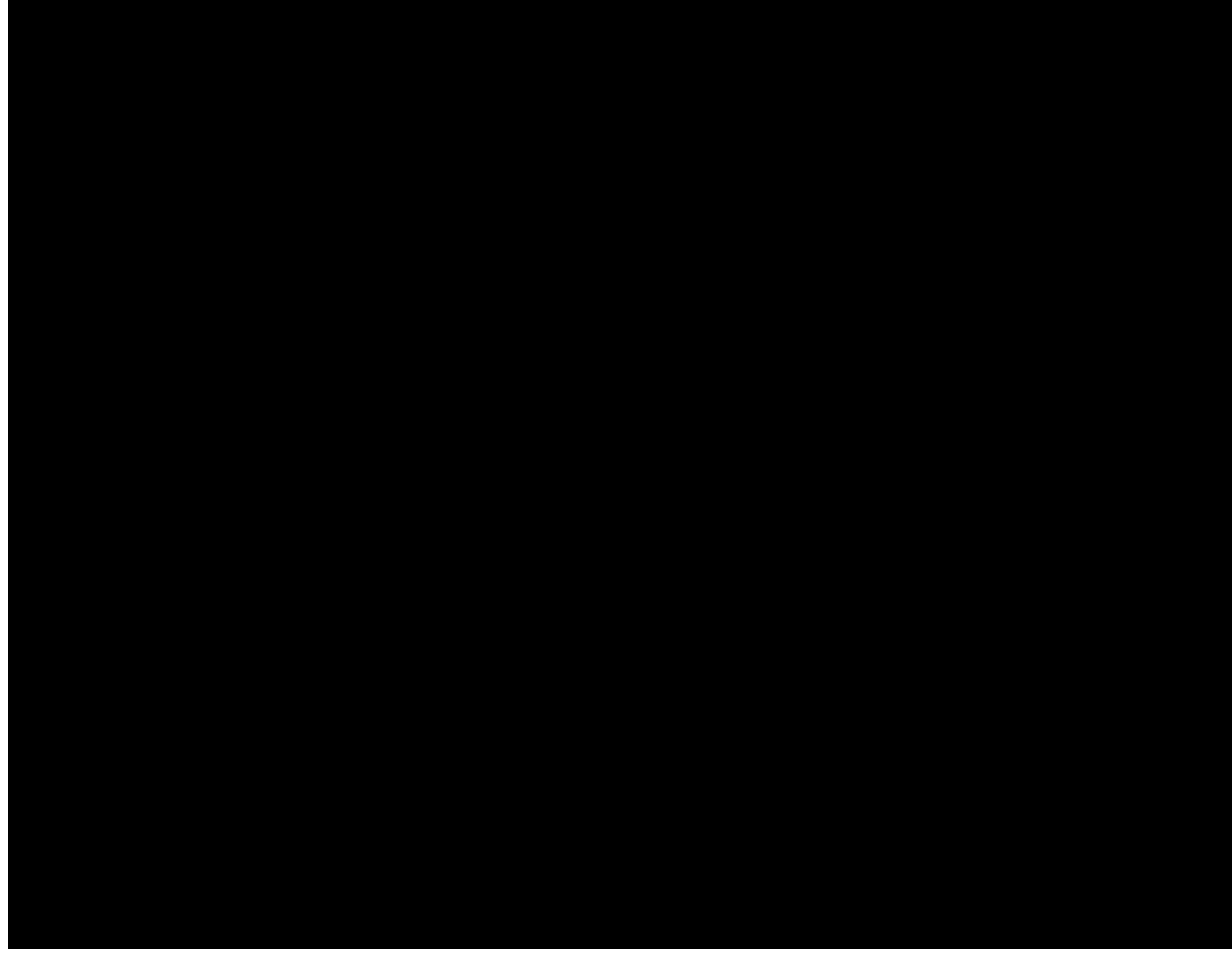
SHEET  
23 of 24  
SCALE AS SHOWN



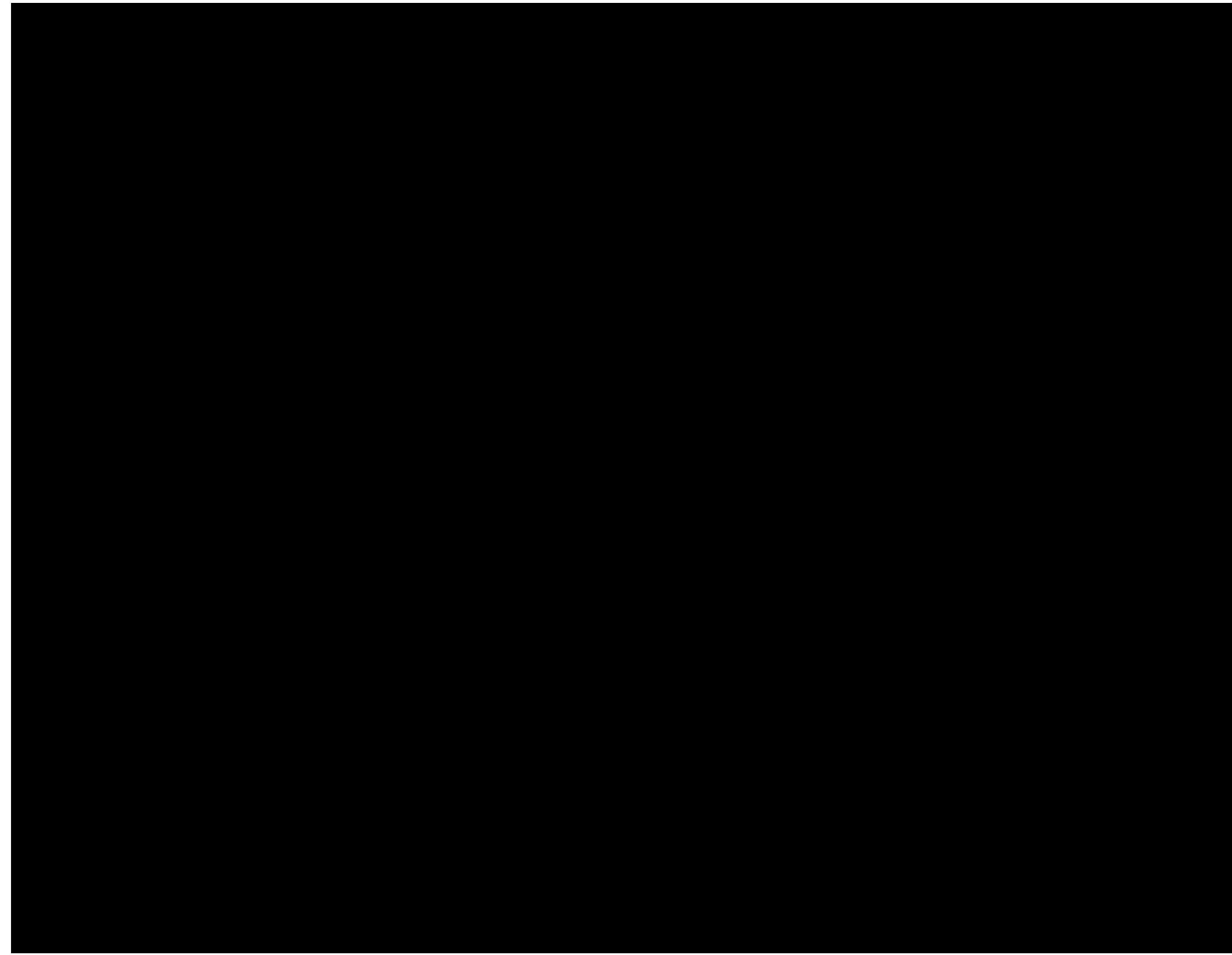
H:\60000\5260.23 Mt Vernon Trail at E Abingdon-Shared Use Trail\PRODUCTION\CAD\CIE\Plans\90% Design\C-501-DETL.dwg  
10/4/2022



12 LOOP DETECTOR  
N.T.S.



13 LOOP DETECTOR INSTALLATION DETAIL  
N.T.S.



14 LOOP DETECTOR INSTALLATION DETAIL  
N.T.S.

NOT FOR CONSTRUCTION



MOUNT VERNON TRAIL AT EAST ABINGDON DRIVE SHARED-USE PATH

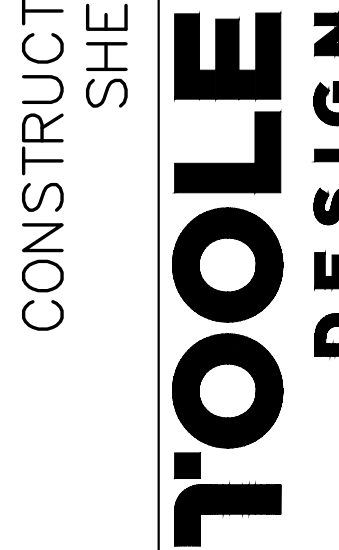
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CONSTRUCTION DETAILS  
SHEET 3

REVISIONS	DATE	DESCRIPTION

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