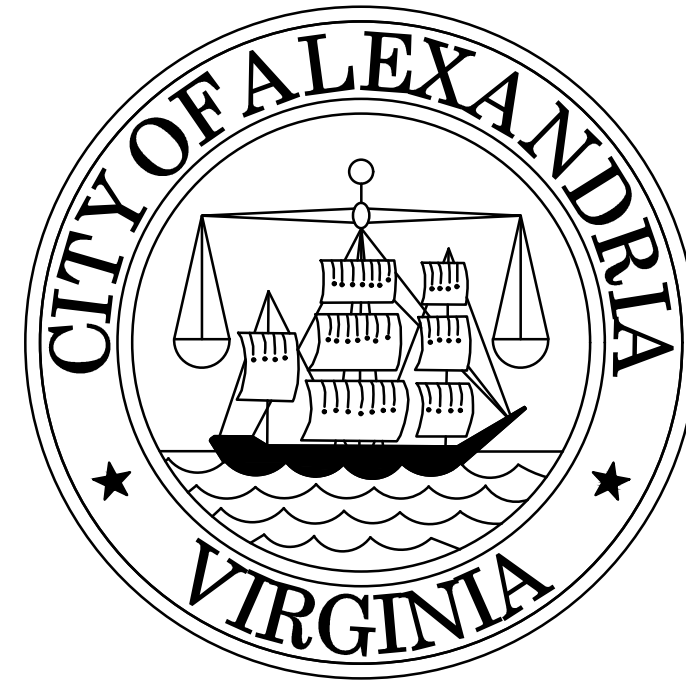
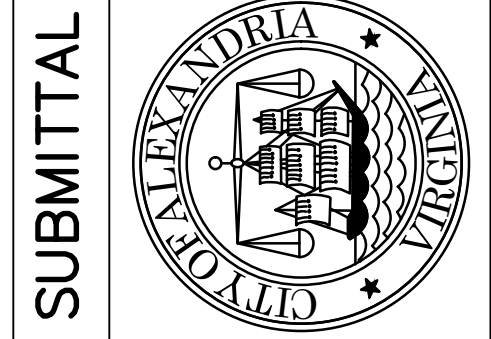


CITY OF ALEXANDRIA, VIRGINIA



CIP202X-000XX POLK AVENUE SIDEWALK

OWNER INFO:
 ATTN: MURPHY NG, EXT# 4699
 DEPARTMENT OF PROJECT IMPLEMENTATION
 CITY OF ALEXANDRIA
 301 KING STREET, SUITE 3200
 ALEXANDRIA, VA 22314



CITY OF ALEXANDRIA, VIRGINIA
 DEPARTMENT OF PROJECT IMPLEMENTATION
 301 KING STREET
 ALEXANDRIA, VIRGINIA 22313

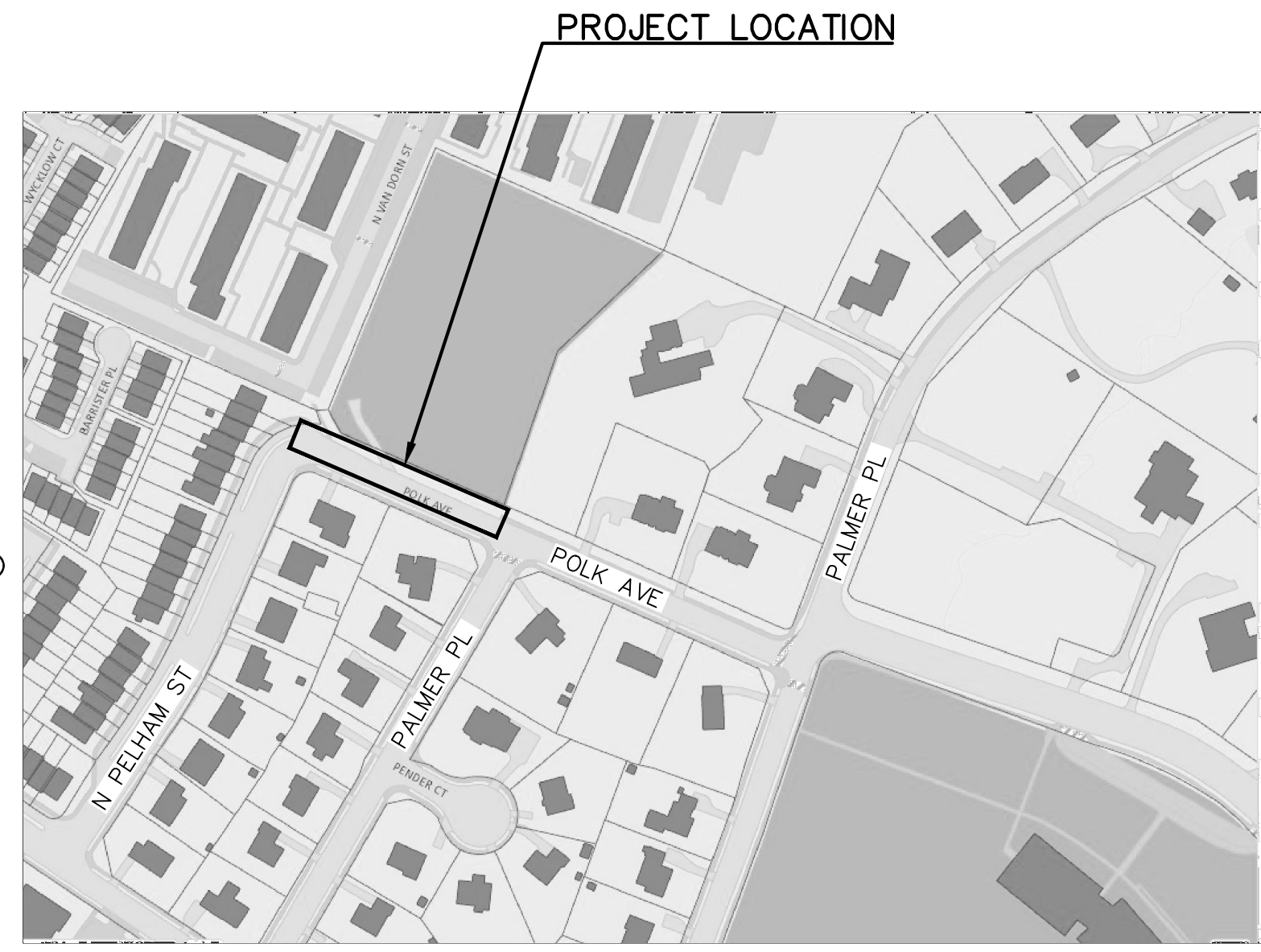
REVISIONS	DATE	BY	DESCRIPTION

ALEXANDRIA PROJECT NO.: 1903017
 DATE OF PLAN ISSUANCE: N/A
 CONSULTANT PROJECT ID: N/A
 DESIGNED BY: MN DATE: 11/30/22
 DRAWN BY: MN DATE: 11/30/22
 CHECKED BY: DK DATE: 11/30/22
 APPROVED BY: TS DATE: 11/30/22

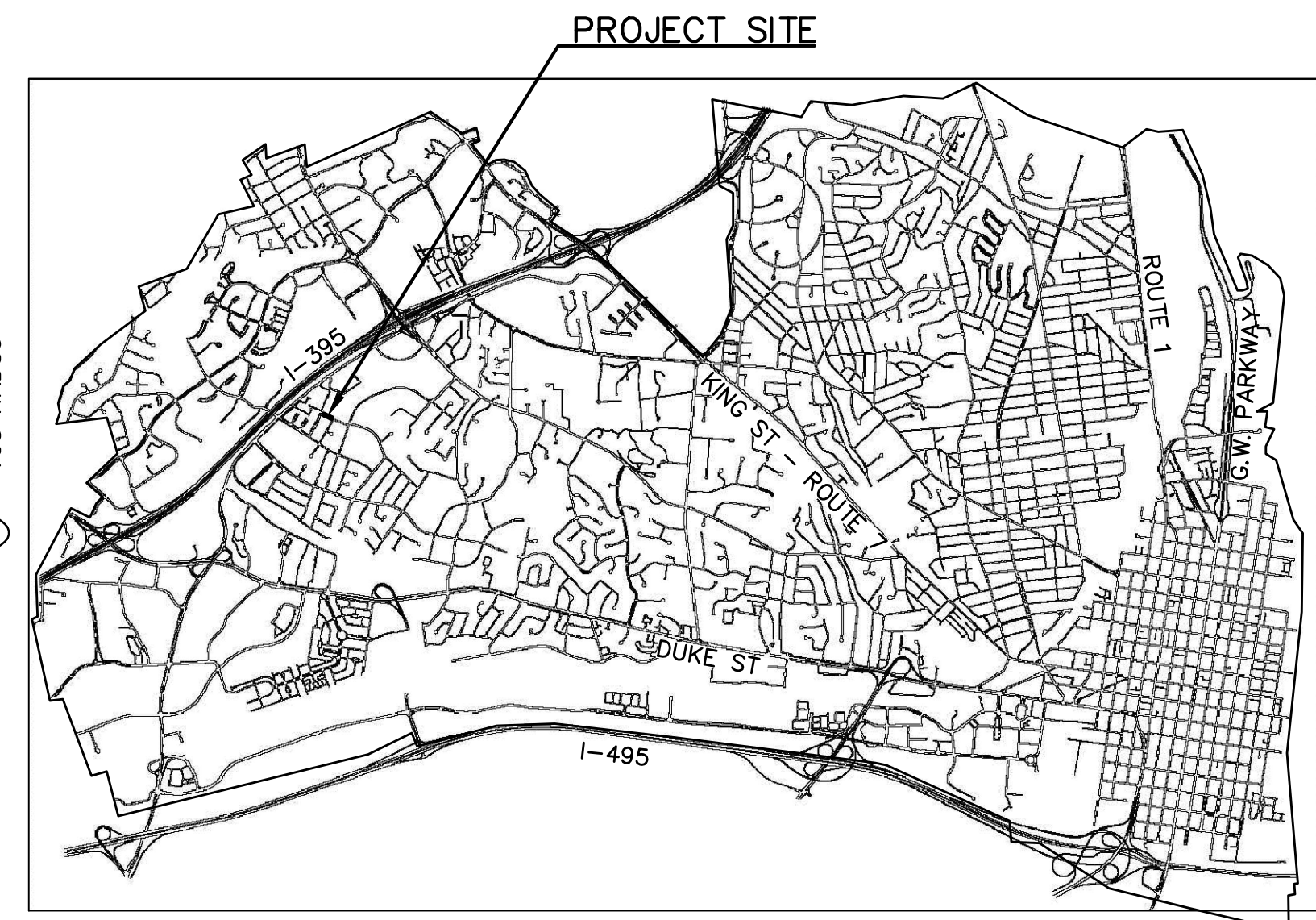
NOT FOR CONSTRUCTION

COVER SHEET

GI001
 SHEET
 01 of 10
 SCALE AS SHOWN



PROJECT AREA MAP
 SCALE 1" = 200'



VICINITY MAP
 SCALE 1" = 4000'

SHEET INDEX		
SHEET TYPE	SHEET NUMBER	SHEET TITLE
GI001	01	COVER SHEET
GI002	02	GENERAL NOTES
GC101	03	EROSION AND SEDIMENT CONTROL PLAN
VF101	04	EXISTING CONDITIONS
CD101	05	DEMOLITION PLAN
CS101	06	SITE PLAN
CS501	07	SITE DETAILS
CG101	08	GRADING PLAN
CG701	09	STORMWATER MANAGEMENT PLAN
CG702	10	STORMWATER MANAGEMENT COMPLIANCE

PROJECT DESCRIPTION:
 THE PROJECT PROPOSE TO CONSTRUCT A CONCRETE SIDEWALK (APPROXIMATELY 280' IN LENGTH) ON THE NORTH SIDE OF POLK AVENUE BETWEEN NORTH PELHAM STREET AND PALMER PLACE.

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES.

APPROVED
 X _____ DATE: _____
 DIRECTOR

RECOMMENDED FOR APPROVAL
 X _____ DATE: _____
 DEPUTY DIRECTOR OF OPERATIONS

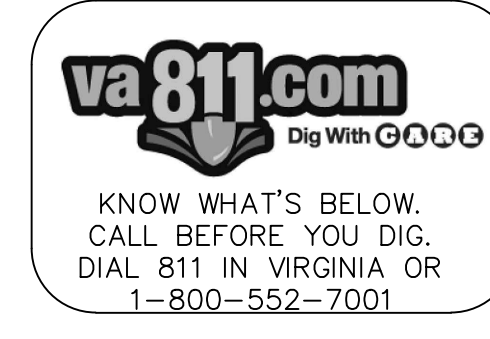
RECOMMENDED FOR APPROVAL
 X _____ DATE: _____
 DEPUTY DIRECTOR OF INFRASTRUCTURE & ENVIRONMENTAL QUALITY

RECOMMENDED FOR APPROVAL
 X _____ DATE: _____
 DEPUTY DIRECTOR OF RIGHT-OF-WAY & DEVELOPMENT SERVICES

RECOMMENDED FOR APPROVAL
 X _____ DATE: _____
 DEPUTY DIRECTOR OF TRANSPORTATION

DEPARTMENT OF PROJECT IMPLEMENTATION
 APPROVED
 X _____ DATE: _____
 DIRECTOR

RECOMMENDED FOR APPROVAL
 X _____ DATE: _____
 DIVISION CHIEF



c:\Users\murphyng\OneDrive - City of Alexandria\1903017 - Polk Avenue Sidewalk\200_Design\203_Technical\CAD_Sheets\01 COVER SHEET.dwg PLOTTED: 12/21/2022 4:07:43 PM BY MURPHY NG

PROJECT NARRATIVE

THE PURPOSE OF THIS PROJECT IS TO FILL A SIDEWALK GAP ON POLK AVENUE NEAR PELHAM STREET. CURRENTLY, THE EXISTING SIDEWALK ON POLK AVENUE ENDS, FORCING PEOPLE TO EITHER WALK IN THE STREET OR CROSS POLK AVENUE TO CONTINUE ALONG THEIR ROUTE. FILLING THIS SIDEWALK GAP WOULD PROVIDE A CONTINUOUS PATH FOR PEOPLE WALKING TO THE PARK, TO POLK ELEMENTARY, AND TO HAMMOND MIDDLE SCHOOL.

EXISTING CONDITIONS SURVEY NOTES

- HORIZONTAL DATUM: NAD 1983
VERTICAL DATUM: NAVD 1988
- UTILITY AND TOPOGRAPHY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED BY THE CITY, DATED 11/2021; AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY MISS UTILITY AT 1-800-257-7777, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.
- LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

CITY STANDARD GENERAL NOTES

- "CITY" MEANS THE CITY OF ALEXANDRIA, A MUNICIPAL CORPORATION OF VIRGINIA AND ITS AUTHORIZED REPRESENTATIVES AND EMPLOYEES.
- TOTAL SITE AREA: 4,514 SQUARE FEET OR 0.1036 ACRES OF WHICH 4,514 SQUARE FEET OR 0.1036 ACRES WILL BE DISTURBED WITH THIS PROJECT.
- THE NATURAL SOILS AT THE SITE CONSIST OF GRISS MILL - WOODSTOWN COMPLEX (HSG-D).
- THE SITE IS LOCATED IN THE HOLMES RUN WATERSHED.
- NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A CITY OF ALEXANDRIA RESOURCE PROTECTION AREA.
- ALL NEW CONSTRUCTION WILL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) STANDARDS AND SPECIFICATIONS.
- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PLACED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
- ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE A SEPARATE PERMIT FROM THE CITY.
- THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROJECT.

ARCHAEOLOGY NOTES

- THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

ENVIRONMENTAL SITE ASSESSMENT

- THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIABLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THE SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
A. MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND
B. SATURDAYS FROM 9 AM TO 6 PM.
C. NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.
D. PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND
SATURDAYS FROM 10 AM TO 4 PM.

UTILITY CONTACTS

DOMINION ENERGY	703-838-2478
VERIZON COMMUNICATIONS	703-212-5261
COMCAST	703-926-0534
WASHINGTON GAS	703-750-4256
PEPCO	202-833-7500
VIRGINIA AMERICAN WATER	703-706-3889
SANITARY SEWER - CITY OF ALEX.	703-746-4014

CONTRACTOR SHALL CONFORM TO THE OVERHEAD HIGH VOLTAGE ACT (EFFECTIVE JULY 1, 2003) AND SHALL CONTACT THE NECESSARY AUTHORITIES PRIOR TO START OF CONSTRUCTION.

CONSTRUCTION NOTES

- ALL WORK MUST BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR MUST BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE MUST IMMEDIATELY NOTIFY THE CITY AND TAKE NECESSARY ACTION AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUATION OF SERVICE.
- LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION AND DIG TEST PITS AS REQUIRED. CONTRACTOR SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY THE EXACT LOCATION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE CITY. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED, IF REQUIRED.
- THE CONTRACTOR MUST WORK WITH THE CITY FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
- THE CONTRACTOR MUST VISIT THE SITE AND MUST VERIFY EXISTING CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITY.
- THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE CITY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST DOCUMENT SAME TO THE CITY AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR MUST DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE CITY AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- PRIOR TO COMMENCING NEW WORK, THE CONTRACTOR MUST PROTECT FROM DAMAGE ALL EXISTING ADJACENT AREAS. ALL ADJACENT AREAS DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES MUST BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE CITY.
- THE CONTRACTOR MUST PROTECT AND PREVENT DAMAGE TO EXISTING UTILITY DISTRIBUTION FACILITIES.
- EXISTING CONSTRUCTION MUST BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION MUST BE PROVIDED AS SHOWN AND ANY DAMAGED AREA MUST BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR MUST BE RESPONSIBLE FOR REPAIRS TO THE ADJACENT CURB, GUTTER, AND RIGHT-OF-WAY, IF DAMAGED DURING CONSTRUCTION ACTIVITY AS DETERMINED BY THE CITY.
- TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN MUST SUPERSEDE PROFILE ELEVATIONS. ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
- THE CONTRACTOR MUST BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS AS PER THE CITY'S STANDARDS AND SPECIFICATIONS.
- SMOOTH GRADE MUST BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE AND/OR THE PONDING OF WATER ON THE ROADWAY.
- THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE OCCURS ON SITE TO PREVENT PONDING OR DRAINAGE PROBLEMS ON ADJACENT PROPERTIES. NOTIFY THE CITY IF SITE CONDITIONS PREVENT POSITIVE DRAINAGE.
- CONTRACTOR MUST ENSURE THAT THERE IS NO DISTURBANCE ON ADJACENT PROPERTIES, UNLESS OTHERWISE NOTED ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING THE DEVELOPMENT OF TRAFFIC CONTROL PLANS. ALL TRAFFIC CONTROL COSTS FOR ALL STAGES MUST BE INCLUDED IN THE BID PRICE FOR "MAINTENANCE OF TRAFFIC (LS)."
- THE CONTRACTOR MUST FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE WORK.

FIELD QUALITY CONTROL

- CONCRETE WORK
 - CONCRETE MATERIAL, MIXTURES, FORM WORK, COMPACTION REQUIREMENTS, INSTALLATION TOLERANCES AND JOINT MATERIAL SHALL CONFORM WITH VIRGINIA DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE SPECIFICATIONS, 2016.
- ASPHALT WORK
 - ASPHALT PAVING SHALL COMPLY WITH MATERIALS, WORKMANSHIP, COMPACTION REQUIREMENTS, INSTALLATION TOLERANCES AND OTHER APPLICABLE REQUIREMENTS OF VIRGINIA DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE SPECIFICATIONS, 2016.
 - FOR ALL ASPHALT PAVING, CONTRACTOR SHALL:
 - ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM TESTS AND INSPECTIONS
 - REPLACE AND COMPACT HOT-MIX ASPHALT WHERE CORE TESTS WERE TAKEN
 - REMOVE AND REPLACE OR INSTALL ADDITIONAL HOT-MIX ASPHALT WHERE TEST RESULTS OR MEASUREMENTS INDICATE THAT IT DOES NOT COMPLY WITH SPECIFIED REQUIREMENTS.
- EARTHWORK
 - EXCAVATIONS, GRADING, BORROW MATERIALS, SUBBASE AND BASE MATERIAL, COMPACTION REQUIREMENTS SHALL CONFORM WITH VIRGINIA DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE SPECIFICATIONS, 2016.
 - REMOVE ALL SURPLUS SOIL AND WASTE MATERIAL INCLUDING TRASH AND DEBRIS AND LEGALLY DISPOSE OF IT OFF PROJECT SITE.

LANDSCAPE PLANTING NOTES

- ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK, AND LANDSCAPE SPECIFICATION GUIDELINES (6TH EDITION - 2014) AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, VIRGINIA, DISTRICT OF COLUMBIA AND VIRGINIA.
- PLANTING AREA SHALL BE FREE FROM DEBRIS, STONES, GRAVEL, OR OTHER FOREIGN MATTER PRIOR TO PLANTING, SEEDING, OR SODDING.

LANDSCAPE SPECIFICATION AND INSTALLATION

- SEED
 - PROCURE FROM NEW OF THE YEAR SEED CROPS, FREE OF FOREIGN MATERIAL OR WEED SEEDS.
 - FURNISH AND INSTALL PERMANENT SEEDING IN CONFORMANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK; SPECIFICATION 3.32- PERMANENT SEEDING (VESCH-PS).
 - PREPARE PLANTING AREA PER VESCH AND BY RAKING OUT AND REMOVING ALL DEBRIS OVER 1" IN DIAMETER.
 - PREPARE PLANTING AREA WITH SOIL CONDITIONER, TOPSOIL, AND/OR LIME, AS PER THE RECOMMENDATIONS OF A SOIL TEST CONDUCTED FOR HORTICULTURAL/LANDSCAPE PLANTING PER VESCH.
 - PACK OR ROLL SEED BEFORE AND AFTER SEEDING. SEEDBED SHOULD BE FIRM, SHOWING ONLY A SLIGHT IMPRINT WHEN STEPPED ON.
 - REPLACEMENT OR OVERSEEDING MIXES SHALL MATCH OR COMPLIMENT ORIGINAL INSTALLATION/EXISTING CONDITIONS SPECIFIED TO REMAIN.
 - PROVIDE CONTINUOUS UNIFORM AND CONSISTENT COVERAGE.
- TOPSOIL
 - SEE LANDSCAPE SPECIFICATION GUIDELINES REFERENCED IN PAGE 1 OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
 - SUITABLE TOPSOIL SHALL BE STRIPPED FROM EXCAVATIONS AND STOCKPILED FOR REUSE.
 - THE CONTRACTOR SHALL SUPPLY ANY ADDITIONAL MATERIAL AS REQUIRED. THIS SOIL SHALL BE FRIABLE LOAM, AND SHALL BE OBTAINED FROM NATURALLY WELL-DRAINED AREAS. IT SHALL BE FREE FROM SUBSOIL, CLAY LUMPS, STONES, STUMPS, ROOTS, BRUSH, WEEDS, LITTER, TRASH OR OTHER HARMFUL MATERIAL.

SIGNING AND PAVEMENT MARKING

- ALL SIGN WORK AND PAVEMENT MARKING SHALL MEET ALL THE LATEST APPLICABLE VDOT, CITY OF ALEXANDRIA STANDARDS, AND MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) REQUIREMENTS.
- ALL PAVEMENT MARKINGS ARE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- ALL EXISTING PAVEMENT MARKINGS MAY NOT BE SHOWN. ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE ERADICATED.
- ALL SIGNS SHALL BE HIGH INTENSITY SHEETING MEETING THE REQUIREMENTS OF AASHTO M268.
- NO PORTION OF PROPOSED SIGN PANEL SHALL OVERHANG ADJACENT ROADWAY PAVEMENT. I.E. SHALL NOT HANG IN FRONT OF FACE OF CURB.
- PROPOSED SIGN POSTS SHALL BE LOCATED A MINIMUM OF 2 FEET BEHIND ANY ADJACENT FACE OF CURB (ADDITIONAL REQUIREMENTS APPLY TO ACCOMMODATE SIGN PANEL LATERAL AND VERTICAL CLEARANCE). IF LOCATED ADJACENT TO SIDEWALKS, A 32" MINIMUM CLEAR AND 48" PREFERRED PASSING SPACE ON EXISTING AND PROPOSED SIDEWALKS SHALL BE MAINTAINED.
- PROPOSED SIGN POSTS SHALL BE INSTALLED IN NEW LOCATIONS SUCH THAT THE EXISTING SIGNS OR SIGNALS ARE NOT BLOCKED.
- FOR NEW POST INSTALLATION, THE CONTRACTOR SHALL VERIFY THERE ARE NO CONFLICTING UNDERGROUND OR OVERHEAD UTILITIES.
- SIGNS MOUNTED TO EXISTING LIGHT, SIGNAL OR UTILITY POLES SHALL BE FASTENED WITH A MANUFACTURED STEEL BANDING SYSTEM. POLES SHALL NOT BE DRILLED DIRECTLY, THE CONTRACTOR SHALL SUBMIT MANUFACTURER INFORMATION ON THE BANDING SYSTEM TO THE CITY FOR APPROVAL PRIOR TO INSTALLATION.

ABBREVIATIONS

APP	-	APPROXIMATE
CO	-	CLEANOUT
COMM	-	COMMUNICATIONS
CONC	-	CONCRETE
CMU	-	CONCRETE MASONRY UNIT
CRZ	-	CRITICAL ROOT ZONE
CSO	-	COMBINED SEWER OVERFLOW
DBH	-	DIAMETER AT BREST HEIGHT
E	-	EASTING
EL	-	ELEVATION
EX	-	EXISTING
FH	-	FIRE HYDRANT
FL	-	FLOW LINE
GB	-	GRADE BREAK POINT
HP	-	HIGH POINT
LOD	-	LIMITS OF DISTURBANCE
LT	-	LIGHT
MH	-	MANHOLE
N	-	NORTHING
NAD	-	NORTH AMERICAN DATUM
NPS	-	NOMINAL PIPE SIZE
PC	-	POINT OF CURVATURE
PT	-	POINT OF TANGENCY
PED	-	PEDESTRIAN
PR	-	PROVIDE
PROP	-	PROPOSED
ROW	-	RIGHT OF WAY
SAN	-	SANITARY SEWER
STM	-	STORM SEWER
SRZ	-	STRUCTURAL CRITICAL ROOT ZONE
TRAF	-	TRAFFIC
TC	-	TOP OF CURB
TOC	-	TOP OF CURB
TYP	-	TYPICAL
TW	-	TOP OF WALL
BW	-	BOTTOM OF WALL
U.N.O.	-	UNLESS NOTED OTHERWISE
VCS	-	VIRGINIA COORDINATE SYSTEM
WTR	-	WATERLINE
WV	-	WATER VALVE
X-ING	-	CROSSING
D.B.	-	DEED BOOK
PG	-	PAGE

90% DESIGN SUBMITTAL



CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.:	1903017
DATE OF PLAN ISSUANCE:	N/A
CONSULTANT PROJECT ID.:	N/A
DESIGNED BY:	MM DATE: 11/30/22
DRAWN BY:	MM DATE: 11/30/22
CHECKED BY:	DK DATE: 11/30/22
APPROVED BY:	TS DATE: 11/30/22

NOT FOR CONSTRUCTION

POLK AVENUE SIDEWALK

GENERAL NOTES

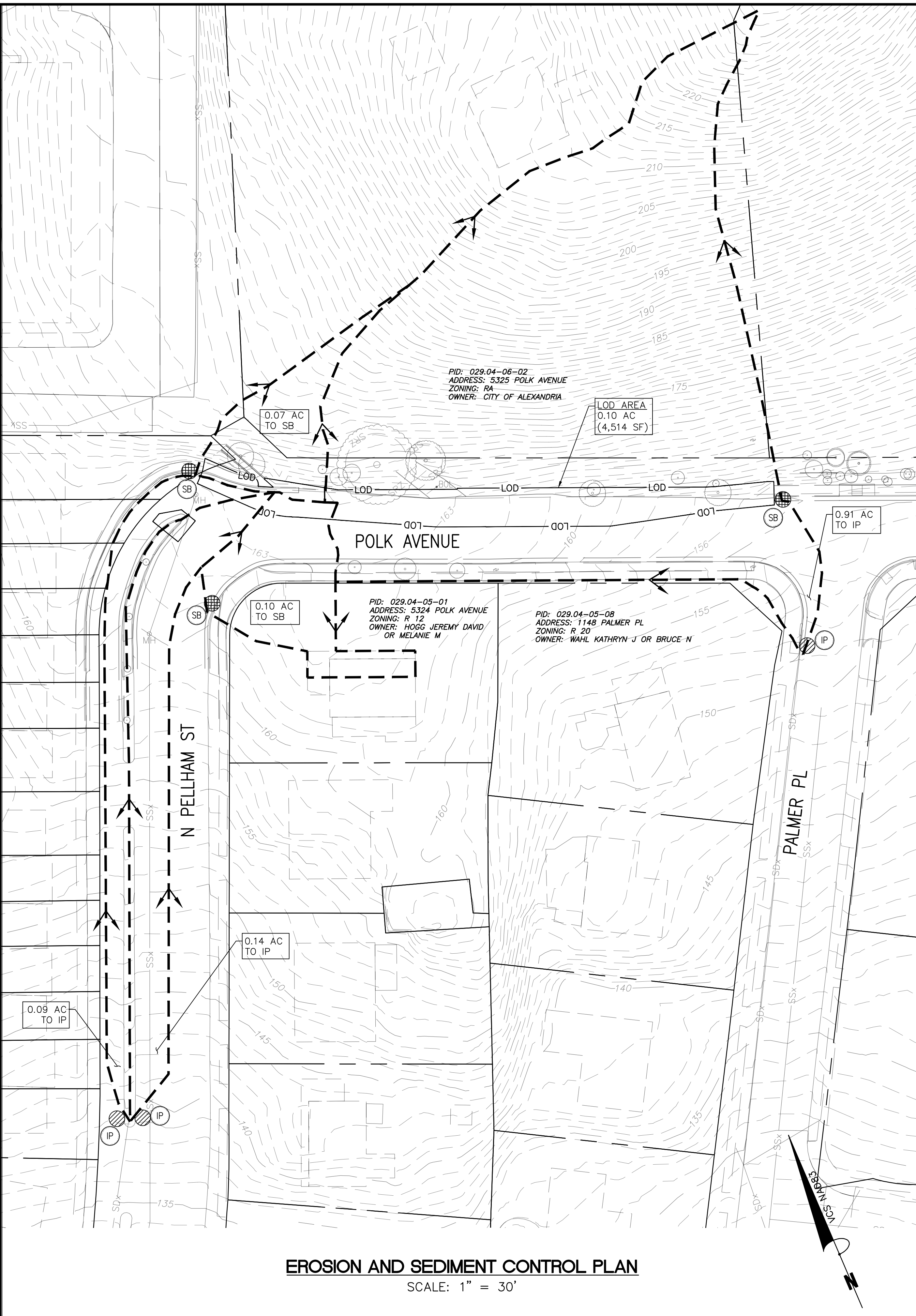
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SHEET
02 of 10

SCALE NA



C:\Users\murphyng\OneDrive - City of Alexandria\1903017 - Polk Avenue Sidewalk\200_Design\203_Technical\CAD_Sheets\03 EROSION AND SEDIMENT CONTROL PLAN.dwg PLOTTED: 12/21/2022 4:08:13 PM BY MURPHY NG



EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 30'

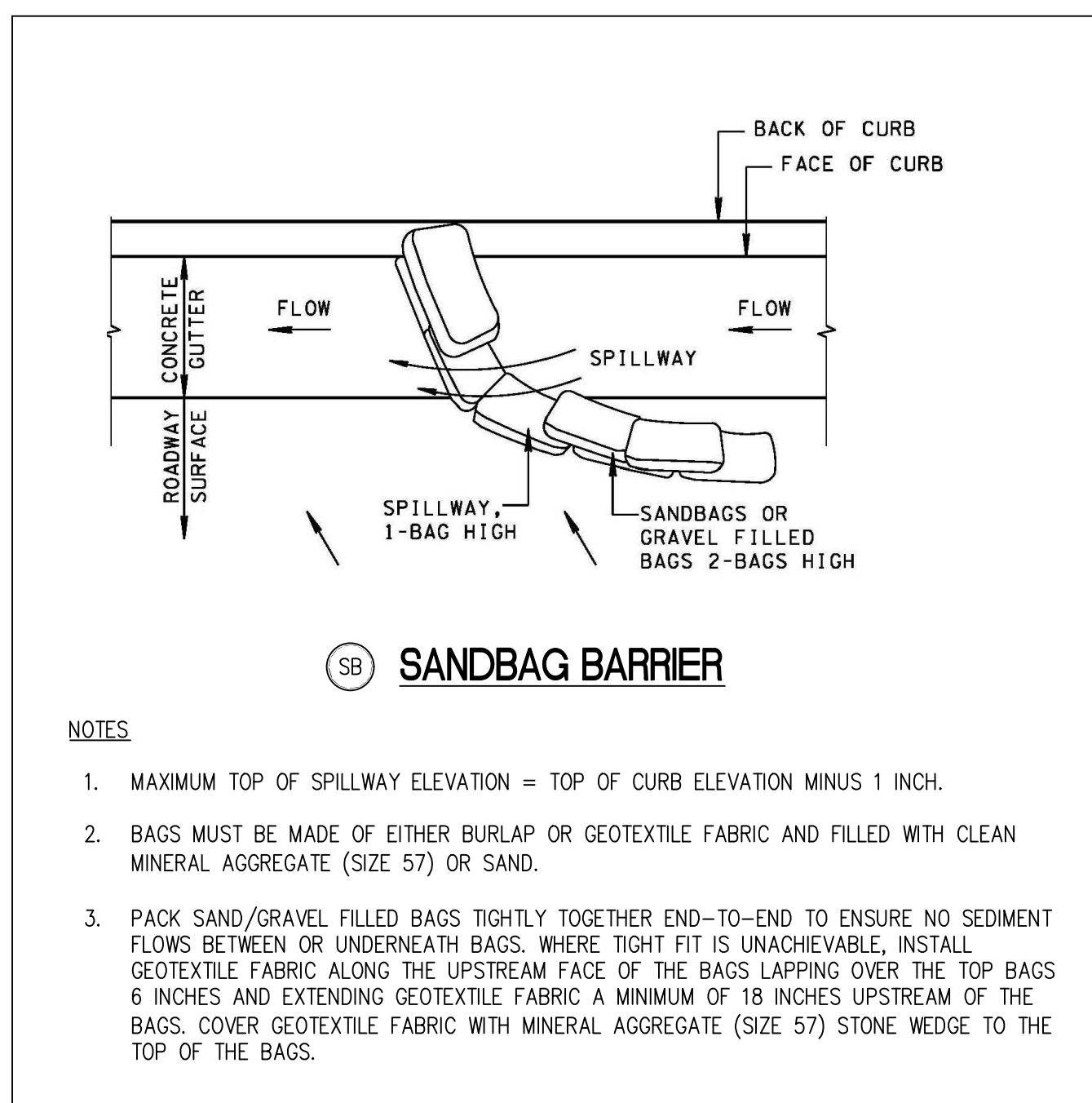
POLLUTION PREVENTION NOTES

- ALL SAW CUTTING AND DEMOLITION MUST INCLUDE WATER FOR DUST SUPPRESSION. INLETS MUST BE PROTECTED AND SLURRY MUST NOT ENTER THE STORM INLET. WASTE MATERIALS MUST BE COLLECTED USING DRY TECHNIQUES (SHOVEL, BROOM, ETC.) AND NOT WASHED DOWN THE INLETS.
- ENSURE THE STAGING/STORAGE/APPLICATION/CLEAN-UP OF GAS, CHEMICALS, AND OILS (INCLUDING FORM RELEASE OIL) IS SUCH AS TO PREVENT BEING WASHED DOWN THE INLETS.
- ENSURE DISCHARGE OF SOAPS, SOLVENTS, DETERGENTS, WASH WATER AND CONSTRUCTION MATERIALS, INCLUDING THE CLEAN-UP OF STUCCO, VEHICLE AND EQUIPMENT WASH WATER, PAINT, FORM RELEASE OILS AND CURING COMPOUNDS (COVER, PLASTIC SHEETING OR TEMPORARY ROOFS) AND PROVIDE COLLECTION AND PROPER DISPOSAL TO PREVENT CONTACT WITH STORMWATER.
- CONTRACTOR SHALL EXERCISE EFFORT TO PREVENT THE DISCHARGE OF FUELS, OILS AND OTHER PETROLEUM PRODUCTS, HAZARDOUS OR TOXIC WASTES, SANITARY WASTES, SPILLED AND LEAKED FUELS/CHEMICALS FROM VEHICLES AND EQUIPMENT (I.E. SPILL KITS, SPILL CONTAINMENT, ETC.).
- CONTRACTOR TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM STORAGE, HANDLING AND DISPOSAL OF CONSTRUCTION PRODUCTS; BUILDING PRODUCTS; PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS AND LANDSCAPE MATERIAL; AND DOMESTIC WASTES.
- CONTRACTOR TO PROVIDE PROPOSED LOCATION OF CONCRETE MIXING TO BE APPROVED BY THE CITY.
- CONTRACTOR TO DIRECT CONCRETE WASH WATER INTO A LEAK-PROOF CONTAINER OR LEAK-PROOF SETTLING BASIN, WITH HARDENED CONCRETE WASTES AND LIQUID CONCRETE WASTES PROPERLY DISPOSED OF AS CONSTRUCTION WASTES.
- TO REPORT LEAKS, SPILLS AND OTHER RELEASES, CONTACT:

FIRE DEPARTMENT T&ES	703-838-4660	FOR HAZARDOUS DISCHARGES
	703-746-4065	FOR DISCHARGES TO STORM SEWER
DEQ NORTHERN VIRGINIA REGIONAL OFFICE	703-583-3870	FOR PETROLEUM THAT REACHES SURFACE WATER DURING NORMAL HOURS
VIRGINIA DEPARTMENT OF EMERGENCY MANAGEMENT	1-800-468-8892	FOR PETROLEUM THAT REACHES SURFACE WATER 24 HOUR

ARCHAEOLOGY NOTES

- THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.



- NOTES**
- MAXIMUM TOP OF SPILLWAY ELEVATION = TOP OF CURB ELEVATION MINUS 1 INCH.
 - BAGS MUST BE MADE OF EITHER BURLAP OR GEOTEXTILE FABRIC AND FILLED WITH CLEAN MINERAL AGGREGATE (SIZE 57) OR SAND.
 - PACK SAND/GRAVEL FILLED BAGS TIGHTLY TOGETHER END-TO-END TO ENSURE NO SEDIMENT FLOWS BETWEEN OR UNDERNEATH BAGS. WHERE TIGHT FIT IS UNACHIEVABLE, INSTALL GEOTEXTILE FABRIC ALONG THE UPSTREAM FACE OF THE BAGS LAPPING OVER THE TOP BAGS 6 INCHES AND EXTENDING GEOTEXTILE FABRIC A MINIMUM OF 18 INCHES UPSTREAM OF THE BAGS. COVER GEOTEXTILE FABRIC WITH MINERAL AGGREGATE (SIZE 57) STONE WEDGE TO THE TOP OF THE BAGS.

LEGEND

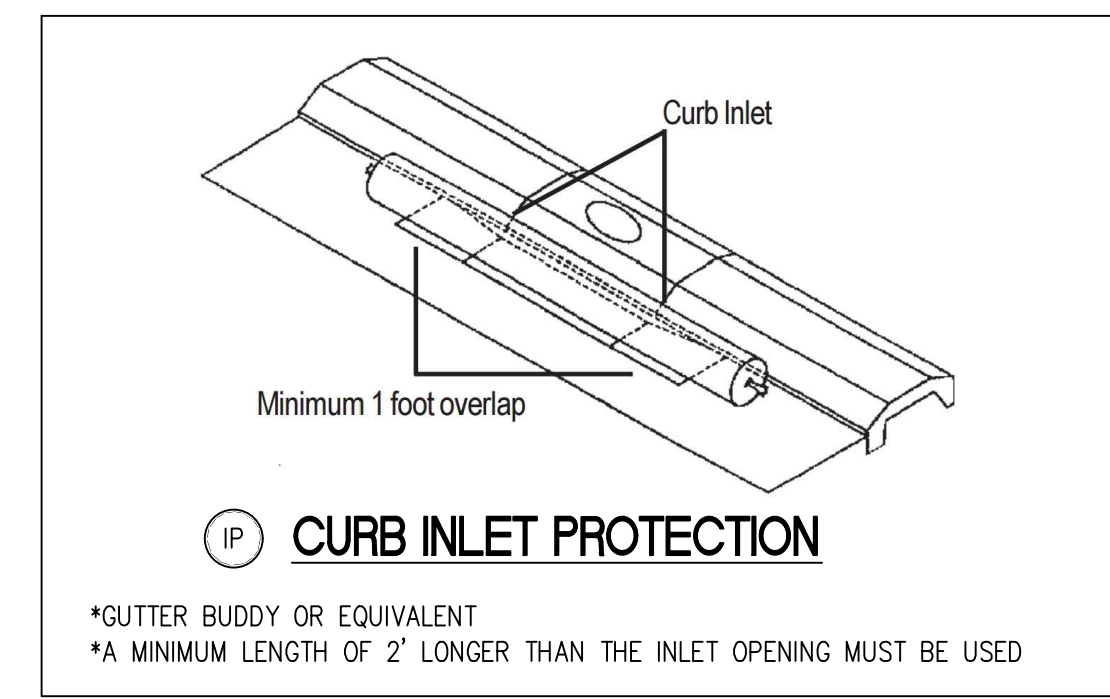
- INLET PROTECTION IP
- SANDBAG BARRIER SB
- PROPERTY LINE (GIS) - - - - -
- SANITARY SEWER (GIS) -SSx-
- STORM SEWER (GIS) -SDx-
- DRAINAGE DIVIDES
- LIMITS OF DISTURBANCE -LOD-

GENERAL EROSION AND SEDIMENT CONTROL NOTES

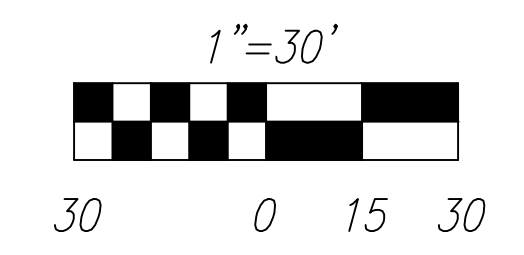
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
- THE CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM.
- THE CITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER (CRLD) IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE CITY FOR REVIEW AND APPROVAL.
- ALL DISTURBED AREAS OF THE SITE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.
- ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- DURING DEWATERING OPERATION, WATER WILL BE PUMPED THROUGH AND APPROVED FILTERING DEVICE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- STOCKPILE BORROW SOIL MATERIALS AND EXCAVATED SATISFACTORY SOIL MATERIALS WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER AND COVER TO PREVENT WINDBLOWN DUST IN CONFORMANCE WITH VESCH, CHAPTER 3.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF ALEXANDRIA.
- PROVIDE TREE PROTECTION FENCING AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
- ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 2500 SQUARE FEET SHALL BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL. AT THE COMPLETION OF THE PROJECT, ALL DISTURBED AREAS SHALL BE STABILIZED PERMANENTLY AND ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED.
- SEE POLLUTION PREVENTION NOTES FOR ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.

SEQUENCE OF CONSTRUCTION

- INSTALL EROSION AND SEDIMENT CONTROLS.
- CONDUCT DEMOLITION AND CONSTRUCTION ACTIVITIES ACCORDING TO THE APPLICABLE PLANS. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL PRACTICES AS NECESSARY AND AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
- AS CONTRIBUTORY DRAINAGE AREAS ARE STABILIZED AND WITH THE PERMISSION OF THE EROSION AND SEDIMENT CONTROL INSPECTOR, REMOVE INDIVIDUAL EROSION AND SEDIMENT CONTROL PRACTICES. UPON COMPLETION OF DEMOLITION, CONSTRUCTION AND LAND DISTURBING ACTIVITIES AND WITH THE APPROVAL OF THE EROSION AND SEDIMENT CONTROL INSPECTOR; REMOVE ALL REMAINING EROSION AND SEDIMENT CONTROL PRACTICES AND PROVIDE PERMANENT STABILIZATION ACCORDING TO APPROVED METHODS.
- CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.



- *GUTTER BUDDY OR EQUIVALENT
- *A MINIMUM LENGTH OF 2' LONGER THAN THE INLET OPENING MUST BE USED



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POLK AVENUE SIDEWALK

EROSION AND SEDIMENT CONTROL PLAN

NOT FOR CONSTRUCTION

CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION	DATE	BY

ALEXANDRIA PROJECT NO.: 1903017
DATE OF PLAN ISSUANCE: N/A
CONSULTANT PROJECT ID: N/A
DESIGNED BY: MN DATE: 11/30/22
DRAWN BY: MN DATE: 11/30/22
CHECKED BY: DK DATE: 11/30/22
APPROVED BY: TS DATE: 11/30/22

GC101
SHEET
03 of 10
SCALE 1"=30'

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LEGEND

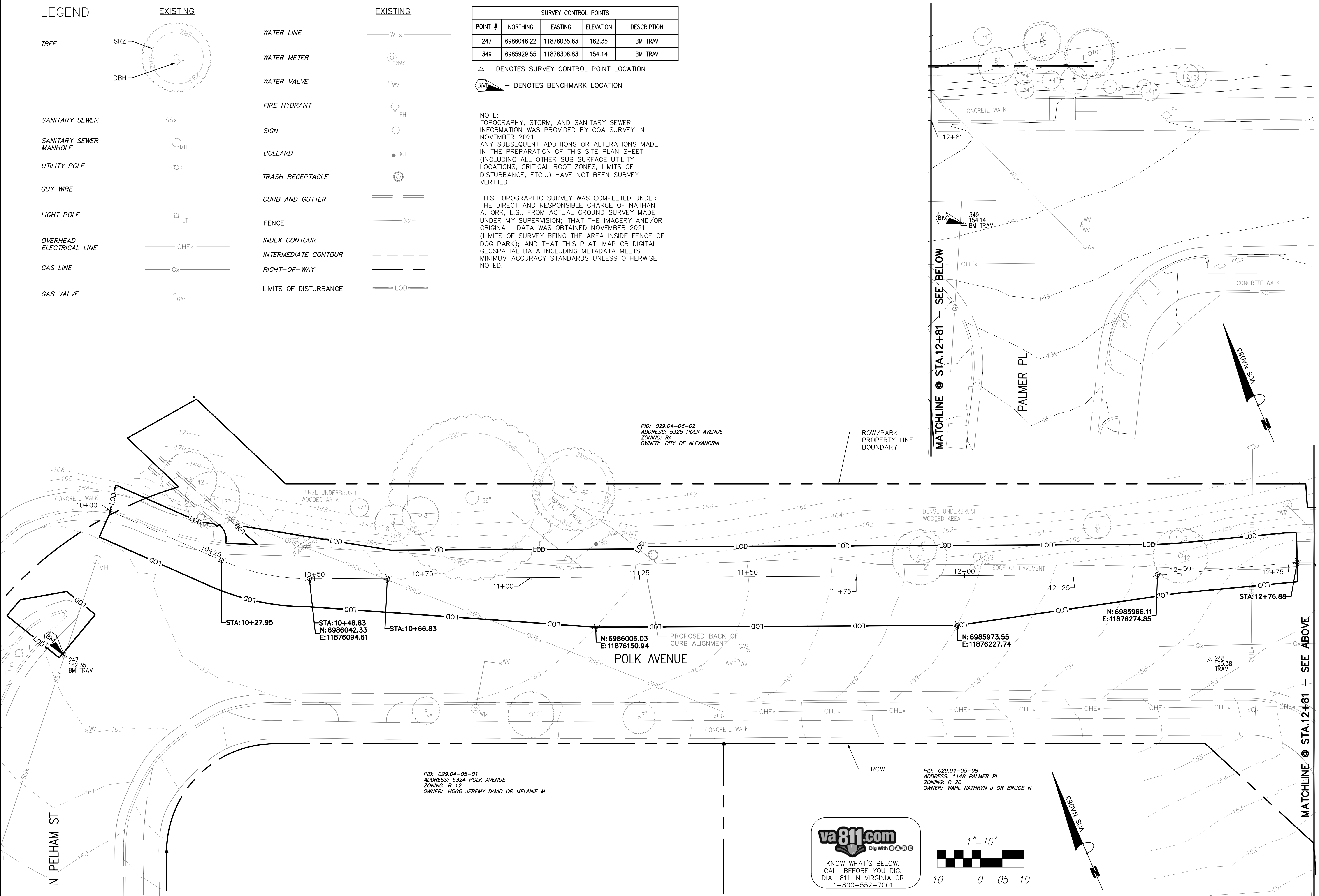
EXISTING	EXISTING
TREE SRZ DBH	WATER LINE WLx
SANITARY SEWER SSx	WATER METER WM
SANITARY SEWER MANHOLE MH	WATER VALVE WV
UTILITY POLE UP	FIRE HYDRANT FH
GUY WIRE GW	SIGN S
LIGHT POLE LT	BOLLARD BOL
OVERHEAD ELECTRICAL LINE OHEx	TRASH RECEPTACLE TR
GAS LINE Gx	CURB AND GUTTER CG
GAS VALVE GV	FENCE FX
	INDEX CONTOUR IC
	INTERMEDIATE CONTOUR IC
	RIGHT-OF-WAY ROW
	LIMITS OF DISTURBANCE LOD

SURVEY CONTROL POINTS				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
247	6986048.22	11876035.63	162.35	BM TRAV
349	6985929.55	11876306.83	154.14	BM TRAV

△ - DENOTES SURVEY CONTROL POINT LOCATION
 BM - DENOTES BENCHMARK LOCATION

NOTE:
 TOPOGRAPHY, STORM, AND SANITARY SEWER INFORMATION WAS PROVIDED BY COA SURVEY IN NOVEMBER 2021.
 ANY SUBSEQUENT ADDITIONS OR ALTERATIONS MADE IN THE PREPARATION OF THIS SITE PLAN SHEET (INCLUDING ALL OTHER SUB SURFACE UTILITY LOCATIONS, CRITICAL ROOT ZONES, LIMITS OF DISTURBANCE, ETC...) HAVE NOT BEEN SURVEY VERIFIED

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF NATHAN A. ORR, L.S., FROM ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED NOVEMBER 2021 (LIMITS OF SURVEY BEING THE AREA INSIDE FENCE OF DOG PARK); AND THAT THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

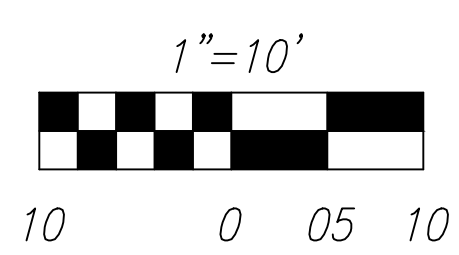


PID: 029.04-06-02
 ADDRESS: 5325 POLK AVENUE
 ZONING: RA
 OWNER: CITY OF ALEXANDRIA

PID: 029.04-05-01
 ADDRESS: 5324 POLK AVENUE
 ZONING: R 12
 OWNER: HOGG JEREMY DAVID OR MELANIE M

PID: 029.04-05-08
 ADDRESS: 1148 PALMER PL
 ZONING: R 20
 OWNER: WAHL KATHRYN J OR BRUCE N

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 POLK AVENUE SIDEWALK
 MATCHLINE @ STA. 12+81 - SEE ABOVE
 MATCHLINE @ STA. 12+81 - SEE BELOW



CITY OF ALEXANDRIA, VIRGINIA
 DEPARTMENT OF PROJECT IMPLEMENTATION
 301 KING STREET
 ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	BY

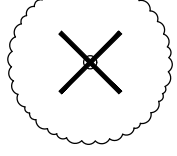
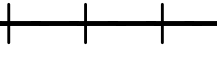

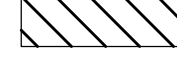
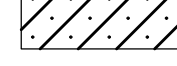
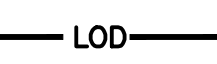
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DATE OF PLAN ISSUANCE:	N/A
CONSULTANT PROJECT ID.:	N/A
DESIGNED BY:	MM DATE: 11/30/22
DRAWN BY:	MM DATE: 11/30/22
CHECKED BY:	DK DATE: 11/30/22
APPROVED BY:	TS DATE: 11/30/22

NOT FOR CONSTRUCTION

EXISTING CONDITIONS

VF101
 SHEET
 04 of 10
 SCALE 1"=10'

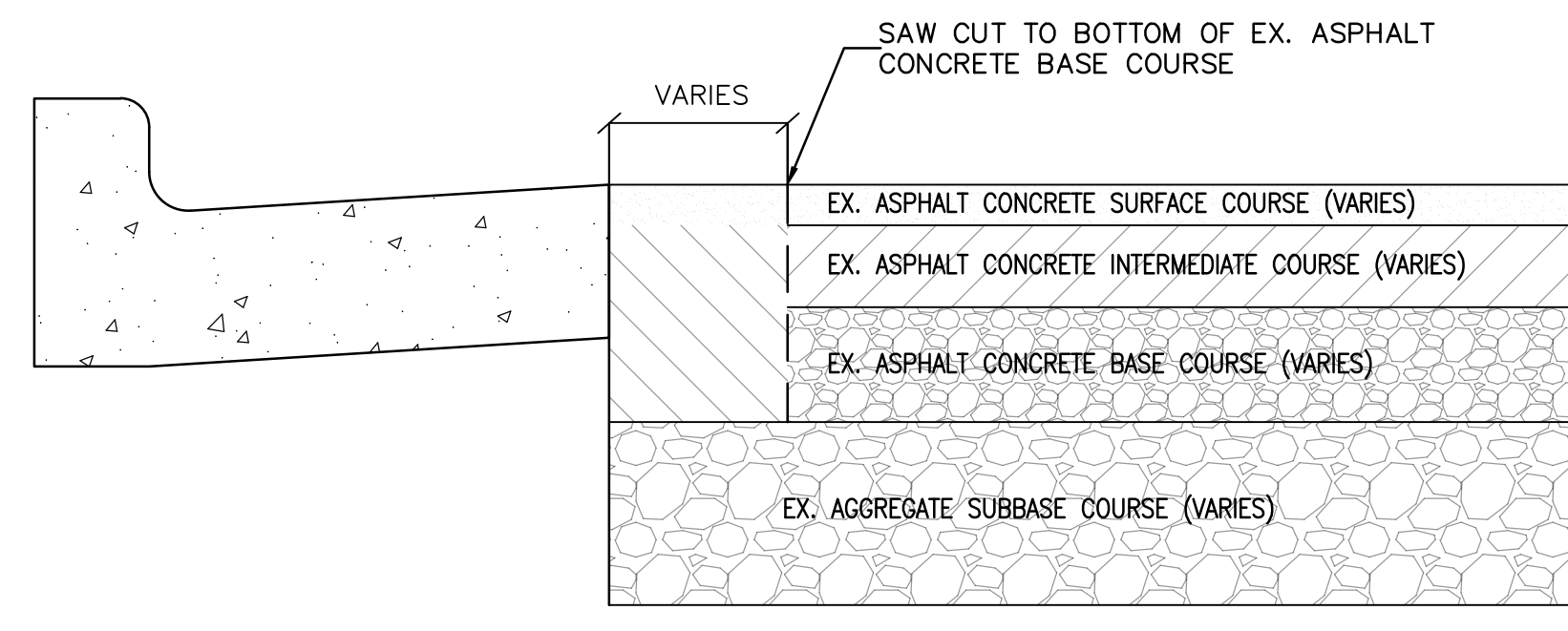
LEGEND

- REMOVE EXISTING TREE 
- REMOVE EXISTING CURB AND GUTTER 
- REMOVE EXISTING PAVEMENT 
- REMOVE EXISTING CONCRETE SIDEWALK 
- CLEAR AND GRUB AREA (PRUNE ROOTS AT LOD) 
- LIMITS OF DISTURBANCE 

(SEE EXISTING CONDITIONS ON SHEET VF101)

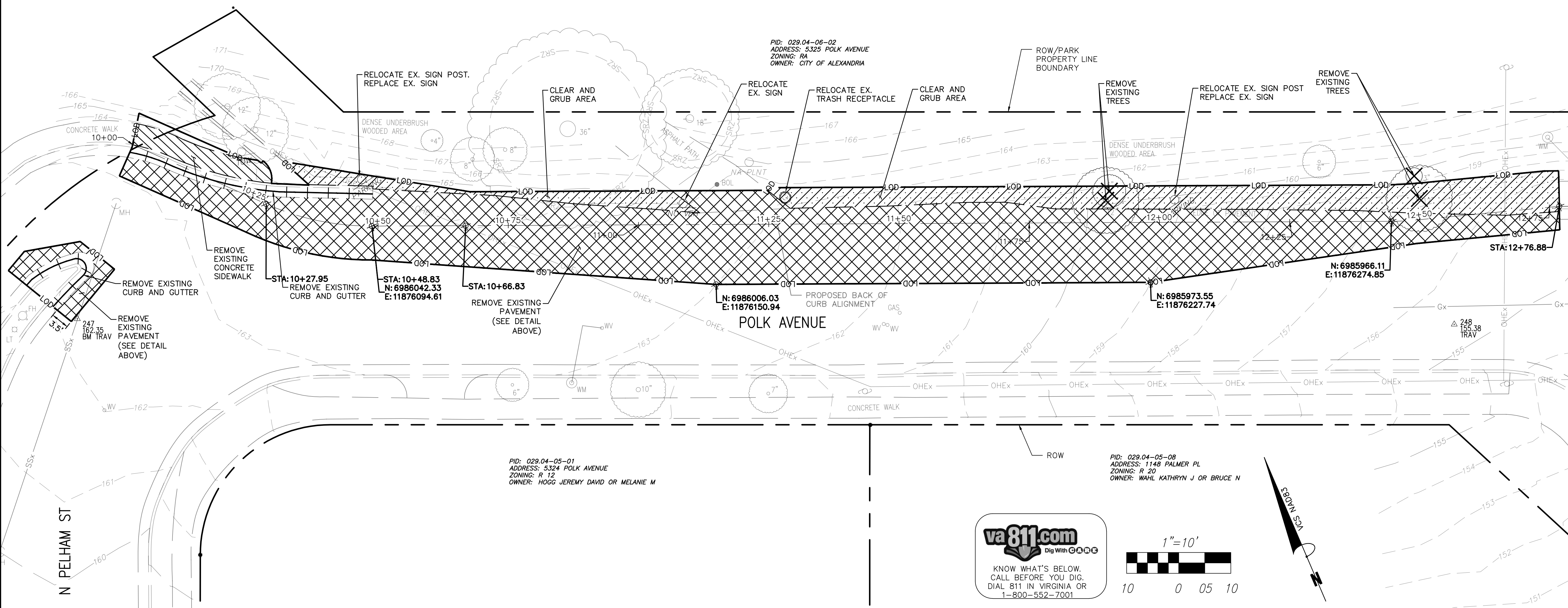
DEMOLITION NOTES

1. NO DEMOLITION CAN BEGIN UNTIL ALL EROSION AND SEDIMENT CONTROLS ARE IN PLACE, AND IS APPROVED BY AN EROSION AND SEDIMENT CONTROL INSPECTOR OF THE CITY.
2. DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION.
3. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE CITY UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR MUST DOCUMENT SAME TO THE CITY AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
4. CONTRACTOR MUST EXERCISE CAUTION WHILE DEMOLISHING NEXT TO EXISTING UTILITIES, SITE FEATURES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CITY.
5. REMOVAL ITEMS INCLUDE SAW-CUTTING, DEMOLISHING, HAULING AND LEGALLY DISPOSING MATERIAL OFF PROJECT SITE.
6. THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
7. THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

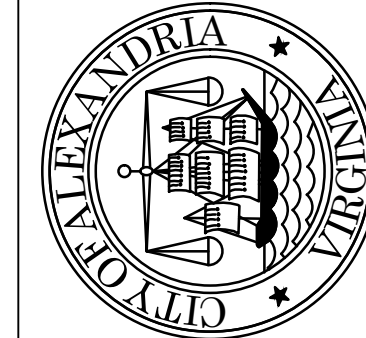


PAVEMENT REMOVAL DETAIL

N.T.S.



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CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	
BY	

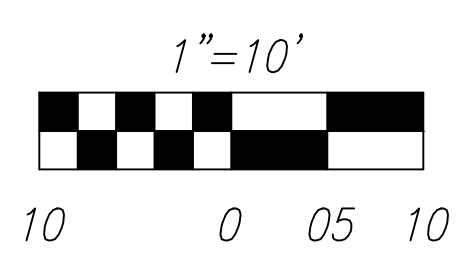
ALEXANDRIA PROJECT NO.:	1903017
DATE OF PLAN ISSUANCE:	N/A
CONSULTANT PROJECT ID.:	N/A
DESIGNED BY:	MIN DATE: 11/30/22
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CHECKED BY:	DK DATE: 11/30/22
APPROVED BY:	TS DATE: 11/30/22

NOT FOR CONSTRUCTION


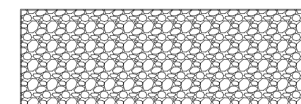



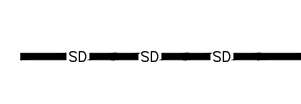

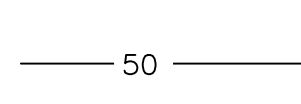
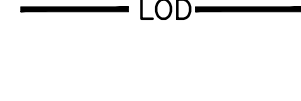
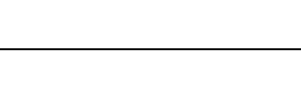
DEMOLITION PLAN

CD101
SHEET
05 of 10
SCALE 1"=10'

POLK AVENUE SIDEWALK



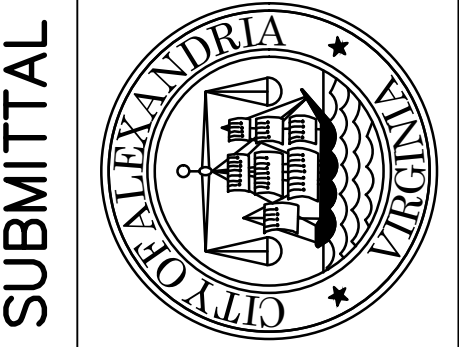
LEGEND

- CONCRETE SIDEWALK (CSSW-1) 
- #57 AGGREGATE (WASHED STONE) 
- PERMANENT SEEDING 
- ASPHALT PAVEMENT 
- CONCRETE COPING CURB 
- 4-INCH SCH.40 PVC 
- 4-INCH SCH.40 PVC (PERFORATED) 
- EXISTING CONTOUR 
- PROPOSED CONTOUR 
- LIMITS OF DISTURBANCE 

(SEE EXISTING CONDITIONS ON SHEET VF101)

NOTE:

1. ALL PIPES BENEATH CONCRETE SIDEWALK MUST BE NON-PERFORATED AND HAVE A MINIMUM OF 2 INCHES OF COVER. CONTRACTOR TO PROVIDE ALL PIPE FITTINGS TO MAKE ANY CONNECTIONS AND/OR EXTENSIONS.
2. REFER TO TYPICAL SECTIONS FOR 1-FOOT H COPING CURB AND 6-INCH H COPING CURB ON SHEET CS501. SEE GRADING PLAN ON SHEET CG101 FOR CURB TRANSITIONS AND CURB HEIGHTS OUTSIDE OF TYPICAL SECTIONS.
3. THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
4. THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.



CITY OF ALEXANDRIA, VIRGINIA
 DEPARTMENT OF PROJECT IMPLEMENTATION
 301 KING STREET
 ALEXANDRIA, VIRGINIA 22313

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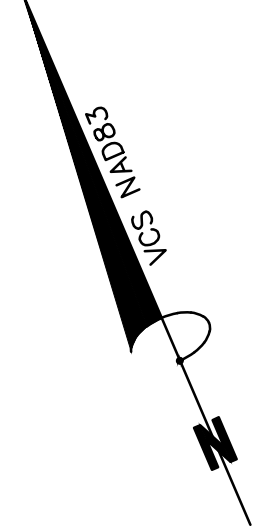
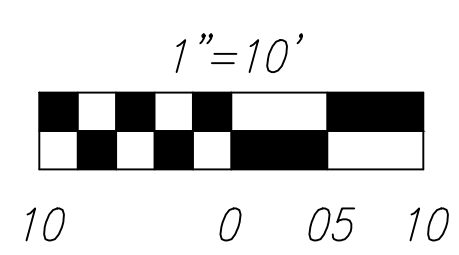
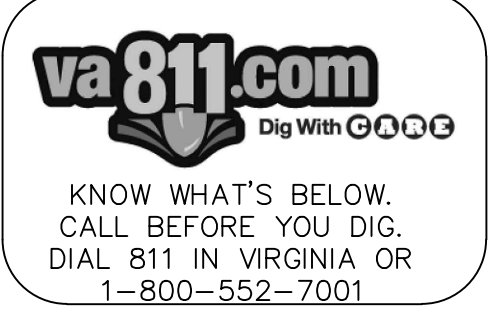
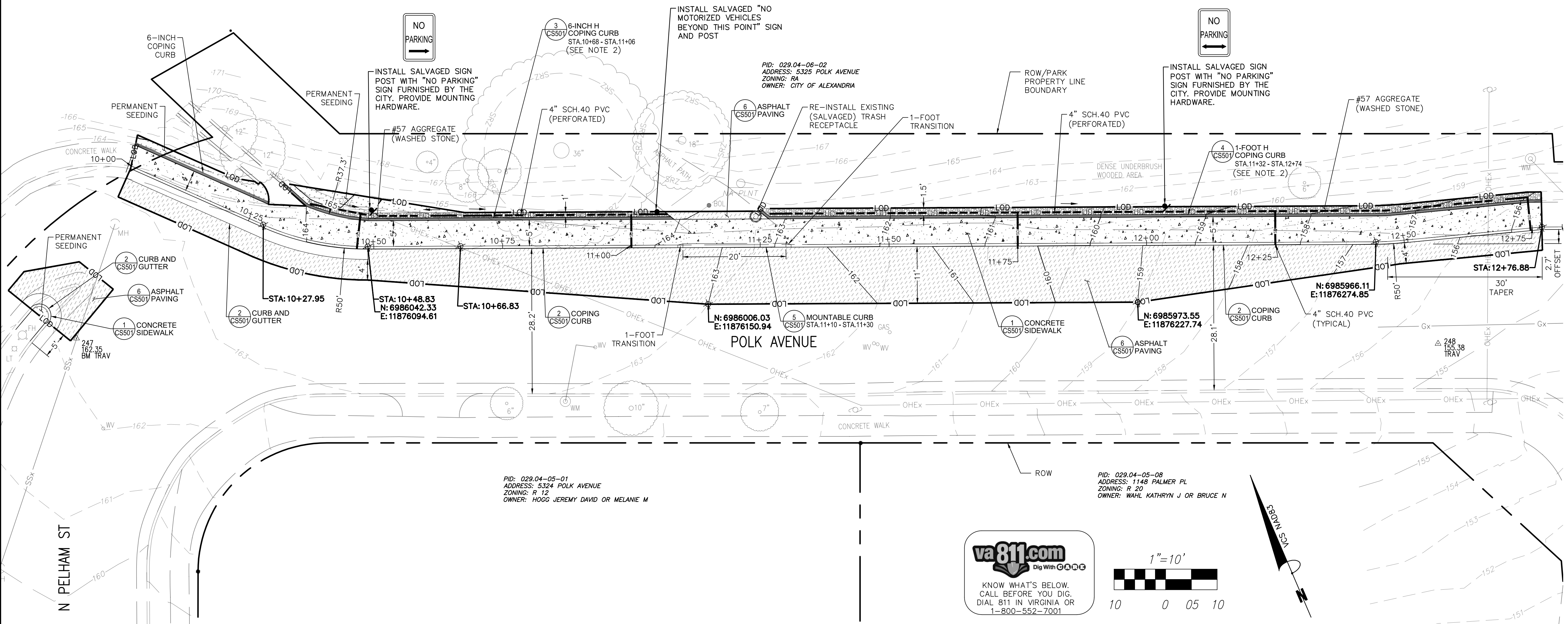
REVISIONS	DESCRIPTION

ALEXANDRIA PROJECT NO.:	1903017
DATE OF PLAN ISSUANCE:	N/A
CONSULTANT PROJECT ID.:	N/A
DESIGNED BY:	MM DATE: 11/30/22
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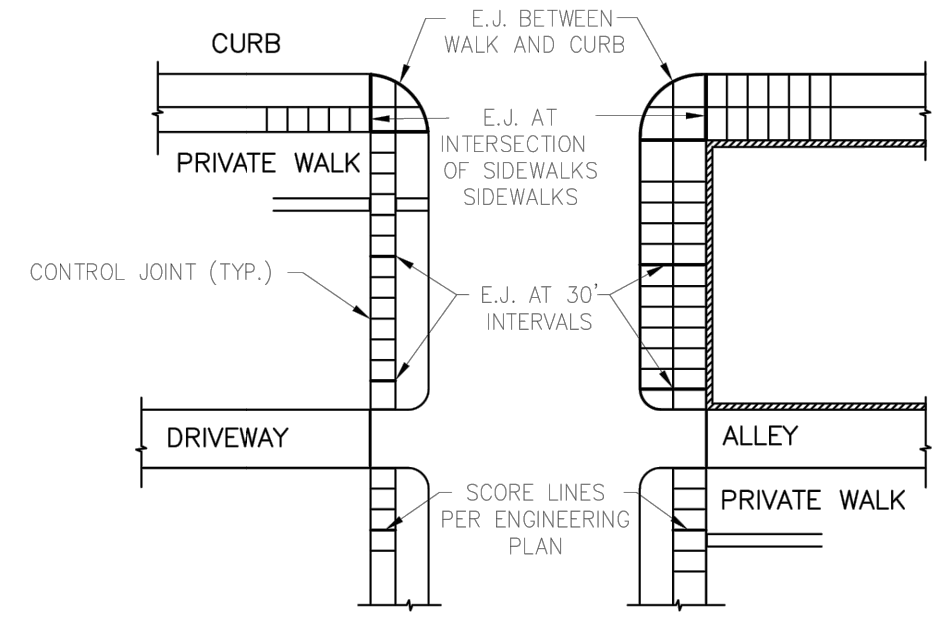
NOT FOR CONSTRUCTION

SITE PLAN

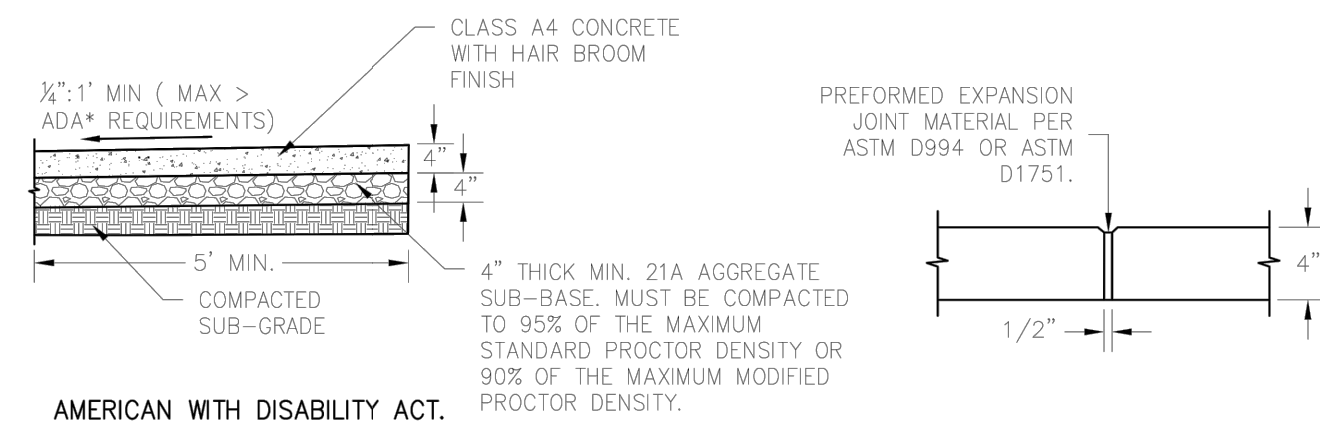
CS101
 SHEET
 06 of 10
 SCALE 1"=10'



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EXPANSION JOINT PLACEMENT



SIDEWALK SECTION

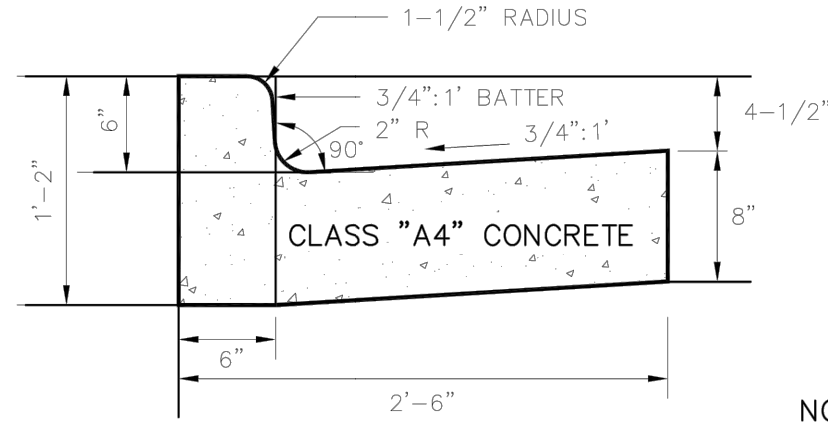
EXPANSION JOINT

- NOTES:
1. SCORING OF CONCRETE SLAB SHALL BE SAW CUT NOT MORE THAN 3/16" IN WIDTH AND NOT MORE THAN 1/4" DEEP.
 2. THE EXPANSION JOINTS SHALL BE 1/2" WIDE, FULL DEPTH, AND SHALL BE OF PRE-FORMED EXPANSION JOINT MATERIAL CONFORMING TO THE REQUIREMENTS OF ASTM D994 ASPHALT OR ASTM D1751 FIBRE. EXPANSION MATERIAL SHALL BE SECURED IN A MANNER THAT WILL PREVENT MOVEMENT OR DISPLACEMENT OF CONCRETE DURING PLACEMENT.
 3. THE EXPANSION JOINTS SHALL BE PLACED PERPENDICULAR TO CONCRETE CURB AT A DISTANCE OF 30' OR COINCIDING WITH THE SCORING.
 4. DOWELS SHALL BE PLACED AT THE END OF A SIDEWALK PLACEMENT, AT INTERRUPTIONS FOR A DRIVEWAY, OR IF SIDEWALK SLABS ARE POURED AT DIFFERENT TIMES.
 5. SAWING OF JOINTS SHALL BE CONDUCTED AS SOON AS THE CONDITION OF THE CONCRETE PERMITS AND BEFORE ANY RANDOM CRACKING APPEARS.
 6. ALL STRUCTURAL ITEMS TO CONFORM TO THE LATEST EDITION OF UNIFORM STATEWIDE BUILDING CODE (USBC) REQUIREMENTS.
 7. PRIOR TO CONSTRUCTION, ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL AND/OR GEOTECHNICAL ENGINEER, AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.

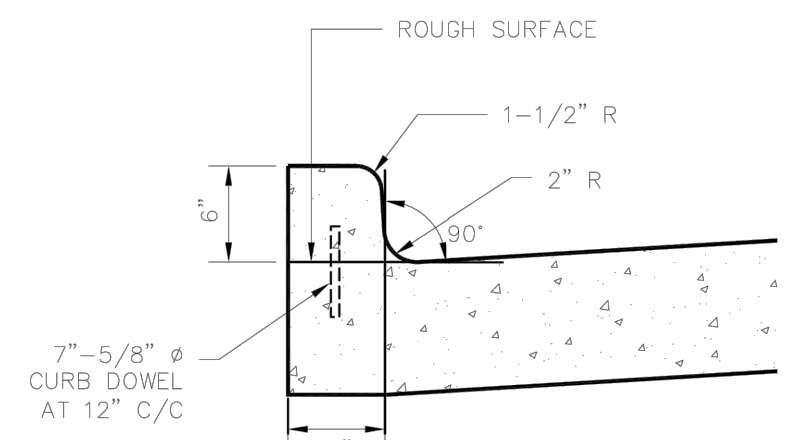
1 STANDARD CONCRETE SIDEWALK

06/03/2022	REVISION	DATE
CSSW- 1		
PAGE 46		

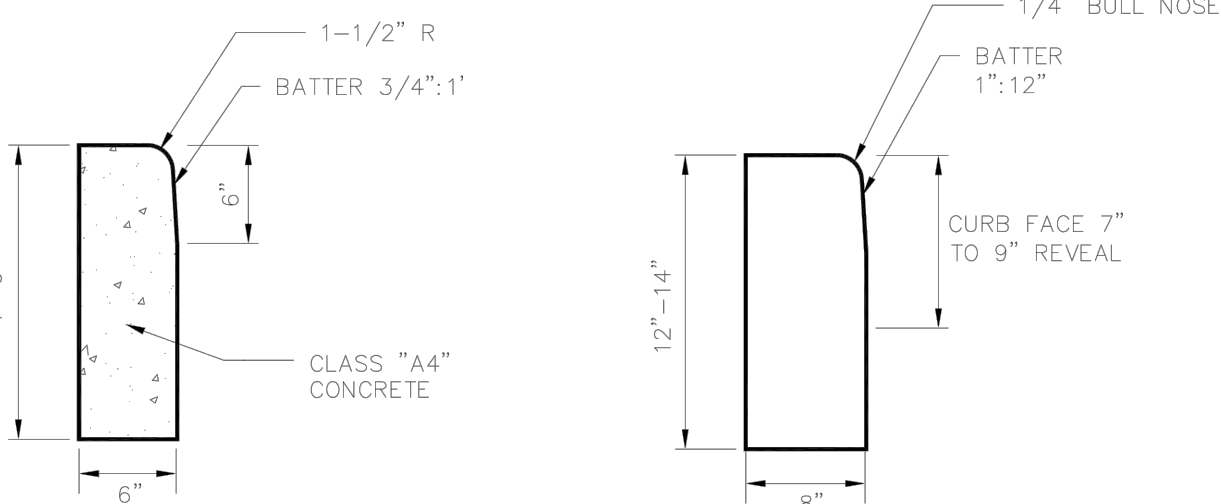
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
ALEXANDRIA, VIRGINIA



COMBINATION CURB AND GUTTER



INTEGRAL CURB



COPING CURB

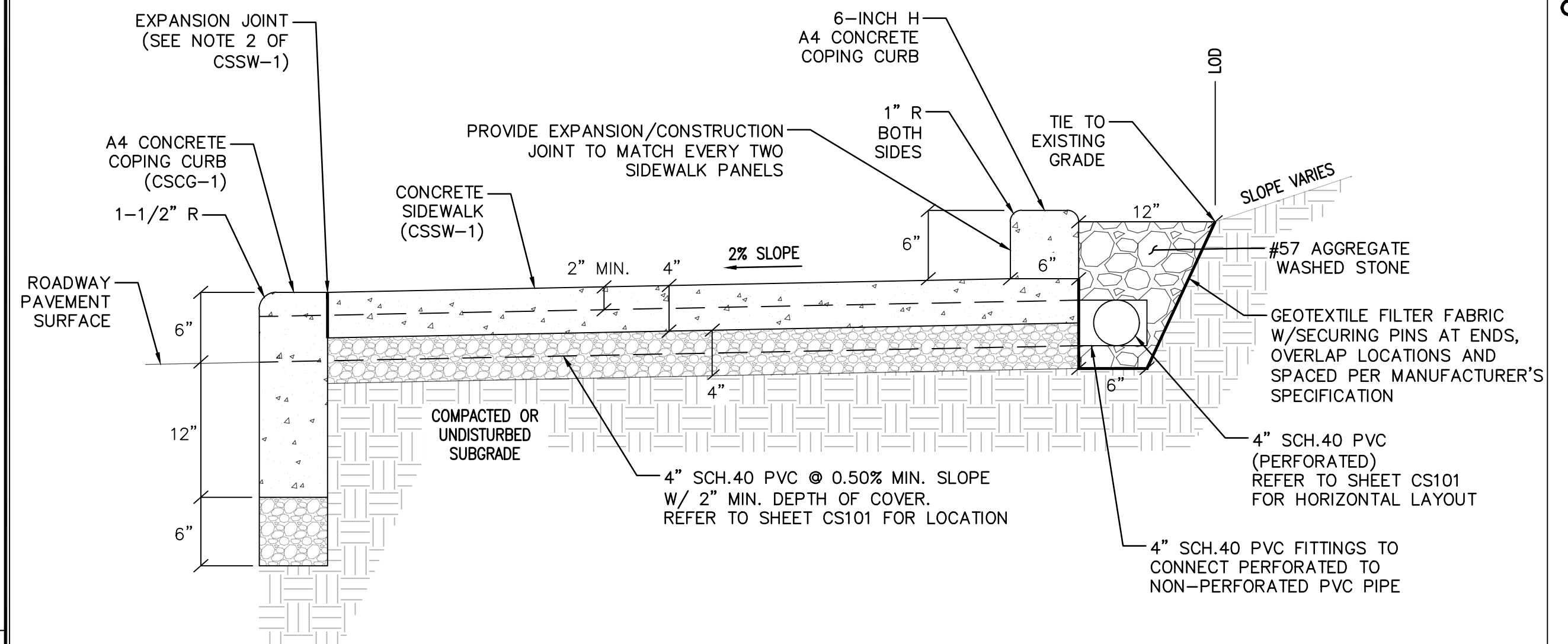
GRANITE CURB

- NOTES:
1. MATERIAL, FINISH AND TOLERANCE WILL BE IN ACCORDANCE WITH SECTION 404 - HYDRAULIC CEMENT CONCRETE OPERATIONS OF THE LATEST VDOT ROAD & BRIDGE SPECIFICATIONS.
 2. ALL CURB AND GUTTER SHALL HAVE MIN. 6" THICK 21A AGGREGATE BASE AND MUST BE COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY OR 90% OF THE MAXIMUM MODIFIED PROCTOR DENSITY.

2 CURB AND GUTTER, COPING CURB AND GRANITE CURB

06/03/2022	REVISION	DATE
CSCG-1		
PAGE 43		

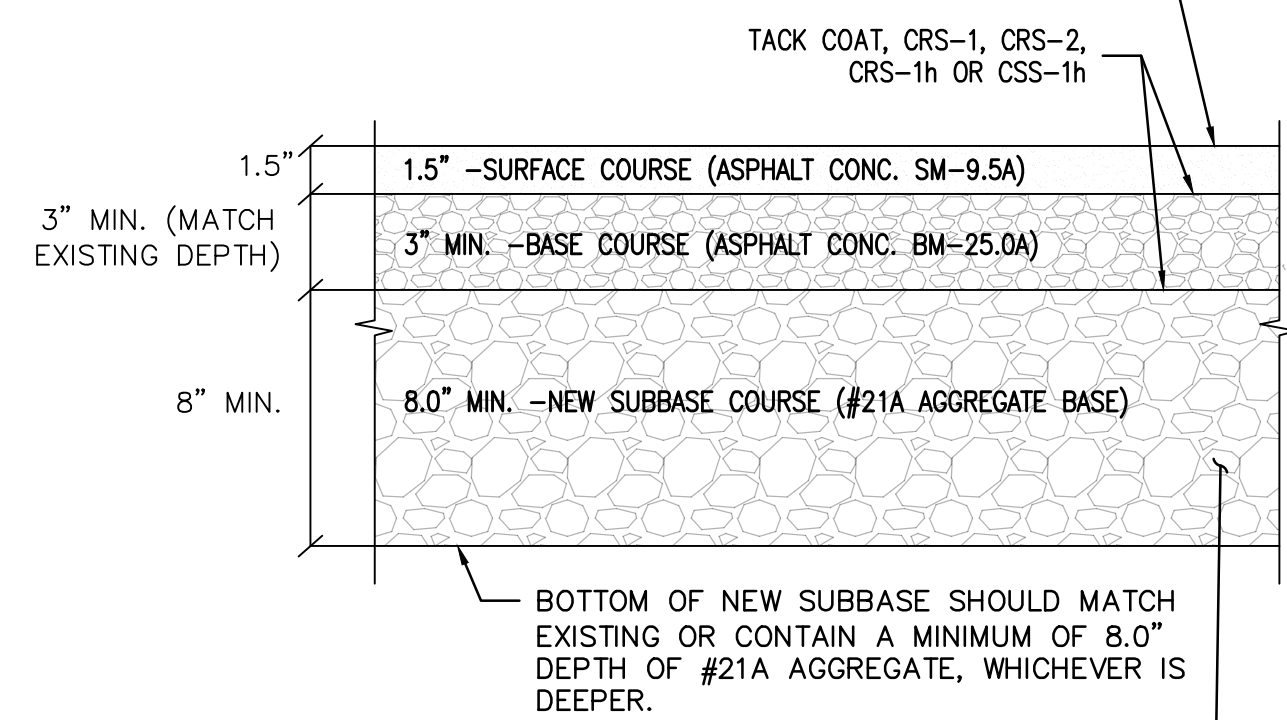
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
ALEXANDRIA, VIRGINIA



3 6-INCH H COPING CURB

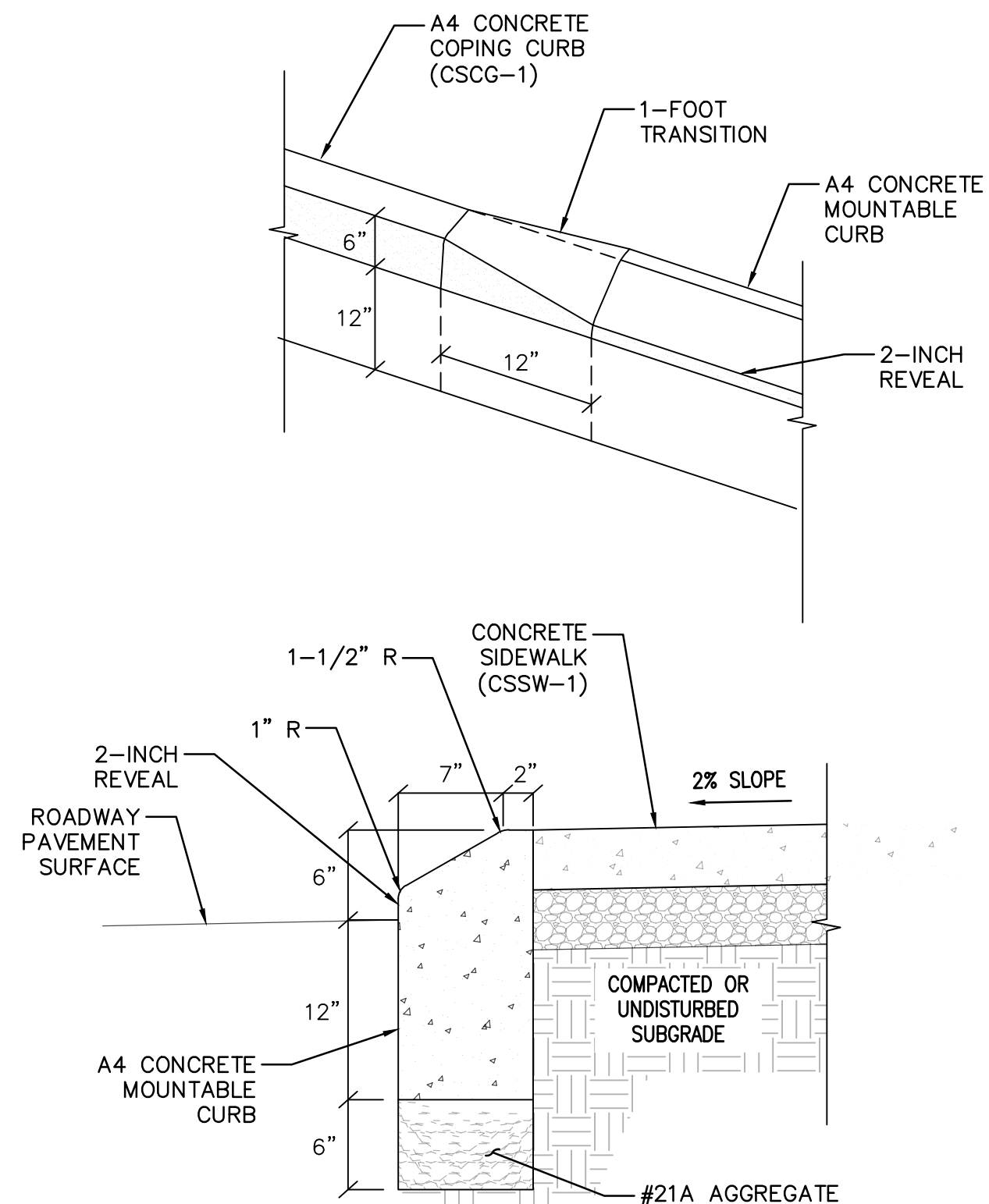
TYPICAL SECTION STA.10+68 - STA.11+06 NTS

ASPHALT PAVING, FINISHING AND COMPACTING MUST BE IN ACCORDANCE WITH SECTION 315.05 - ASPHALT CONCRETE PLACEMENT OF THE VDOT ROAD & BRIDGE SPECIFICATIONS, 2016.



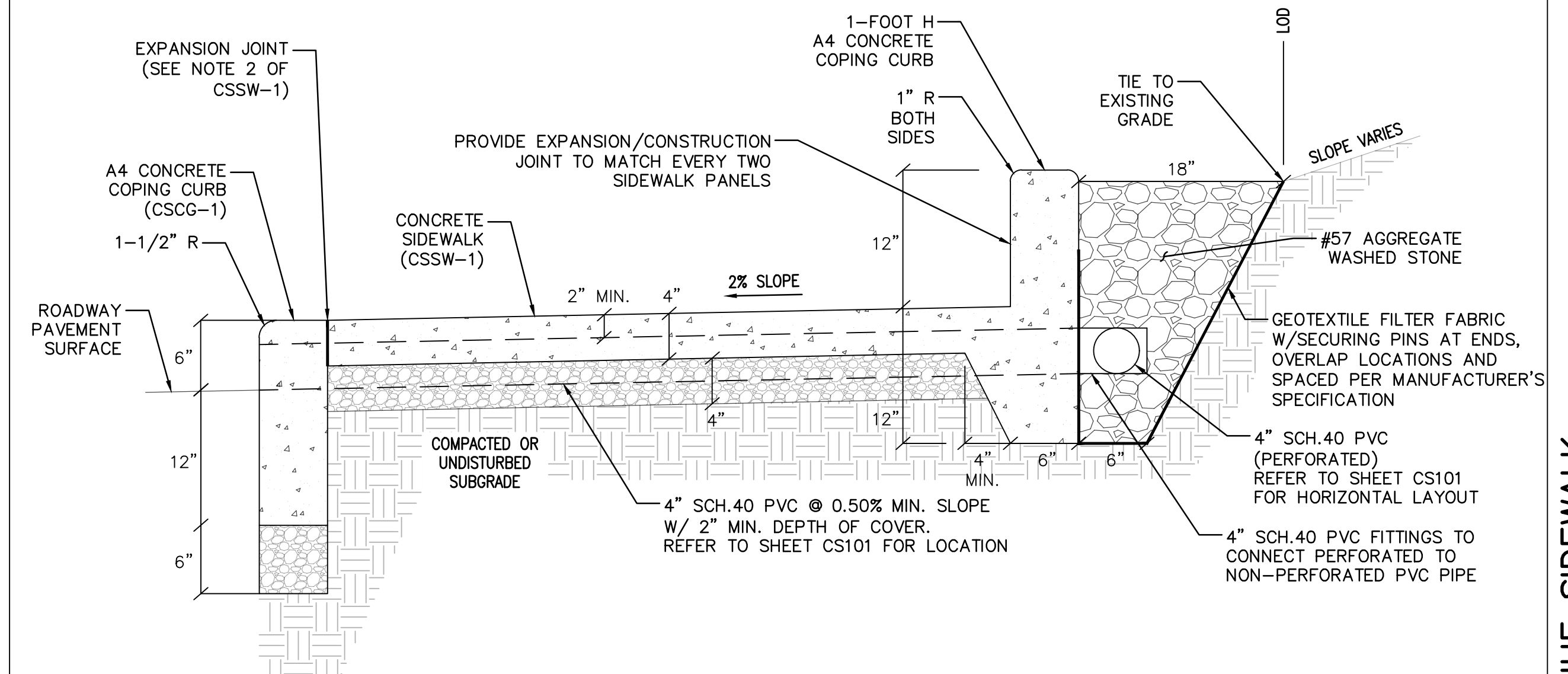
6 ASPHALT PAVING

TYPICAL SECTION STA.11+10 - STA.11+30 NTS



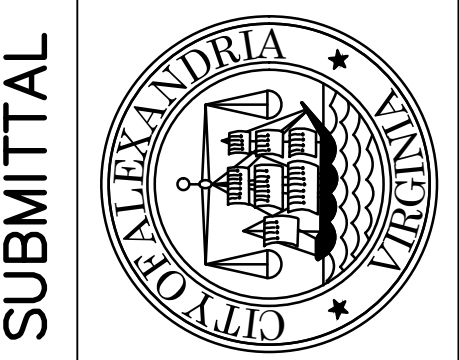
5 MOUNTABLE CURB

TYPICAL SECTION STA.11+10 - STA.11+30 NTS



4 1-FOOT H COPING CURB

TYPICAL SECTION STA.11+32 - STA.12+74 NTS



CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22313

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REVISIONS	DESCRIPTION
BY	
DATE	

ALEXANDRIA PROJECT NO.:	1903017
DATE OF PLAN ISSUANCE:	N/A
CONSULTANT PROJECT ID.:	N/A
DESIGNED BY:	MIN DATE: 11/30/22
DRAWN BY:	MIN DATE: 11/30/22
CHECKED BY:	DK DATE: 11/30/22
APPROVED BY:	TS DATE: 11/30/22

NOT FOR CONSTRUCTION

SITE DETAILS

CS501

SHEET 07 of 10

SCALE AS SHOWN

POLK AVENUE SIDEWALK

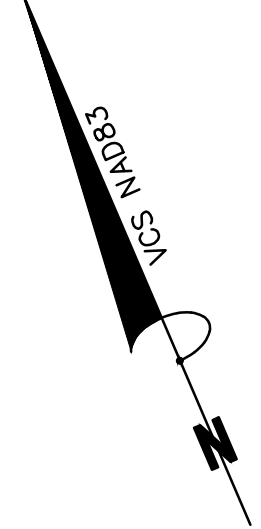
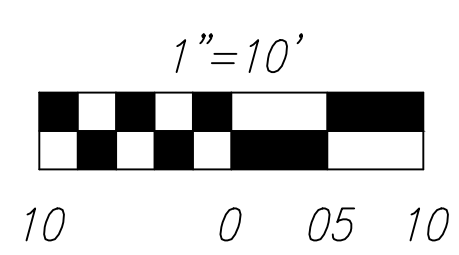
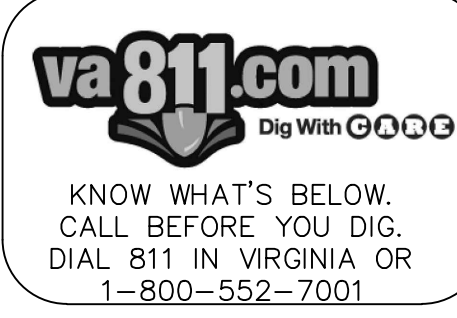
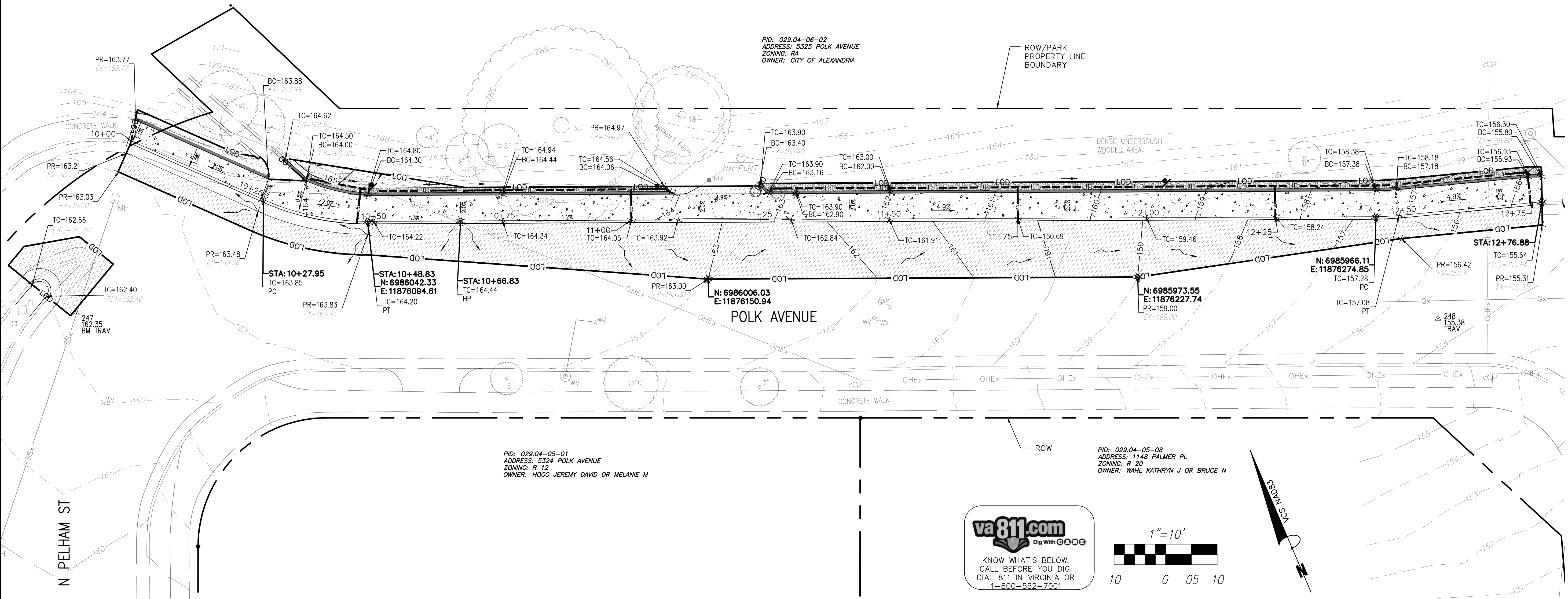
LEGEND

- PROVIDE ELEVATION (FT) PR=XX.XX
- PROVIDE ELEVATION @ LOCAL HIGH POINT (FT) HP=XX.XX
- PROVIDE TOP OF CURB ELEVATION (FT) TC=XX.XX
- PROVIDE BOTTOM OF CURB ELEVATION (FT) BC=XX.XX
- EXISTING TOP OF CURB ELEVATION (FT) (TC)=XX.XX
- EXISTING ELEVATION (FT) EX=XX.XX
- EXISTING CONTOUR -50-
- PROPOSED CONTOUR -50-
- FLOW ARROW
- LIMITS OF DISTURBANCE LOD

(SEE EXISTING CONDITIONS ON SHEET VF101)

NOTE:

1. MATCH EXISTING GRADE AT LIMITS OF DISTURBANCE.
2. THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
3. THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.



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POLK AVENUE SIDEWALK

GRADING PLAN

CG101
 SHEET
 08 of 10
 SCALE 1"=10'

2011 BMP Standards and Specifications		2013 Draft BMP Standards and Specifications	
Project Name:	Polk Avenue Sidewalk	CLEAR ALL	
Date:	12/18/2022	data input cells	
	Linear Development Project? No	constant values	
		calculation cells	
		final results	

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → 0.10 Check: 2013 Draft Stds & Specs

Maximum reduction required: 10% Linear project? No

The site's net increase in impervious cover (acres) is: 0.018296602 Land cover areas entered correctly? ✓

Post-Development TP Load Reduction for Site (lb/yr): 0.05 Total disturbed area entered? ✓

Pre-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land					0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed				0.02	0.02
Impervious Cover (acres)				0.08	0.08
Totals					0.10

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land					0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed				0.00	0.00
Impervious Cover (acres)				0.10	0.10
Totals					0.10

Constants

Annual Rainfall (inches)	43	Runoff Coefficients (Rv)				
Target Rainfall Event (inches)	1.00	A Soils	B Soils	C Soils	D Soils	
Total Phosphorus (TP) EMC (mg/L)	0.26	Forest/Open Space	0.02	0.03	0.04	0.05
Total Nitrogen (TN) EMC (mg/L)	1.86	Managed Turf	0.15	0.20	0.22	0.25
Target TP Load (lb/acre/yr)	0.41	Impervious Cover	0.95	0.95	0.95	0.95
Pj (unitless correction factor)	0.90					

LAND COVER SUMMARY -- PRE-REDEVELOPMENT			LAND COVER SUMMARY -- POST DEVELOPMENT		
Land Cover Summary-Pre			Land Cover Summary-Post (Final)		
Pre-Development	Listed	Adjusted ¹	Post ReDev. & New Impervious	Post-Development	Post-Development New Impervious
Forest/Open Space Cover (acres)	0.00	0.00	Forest/Open Space Cover (acres)	0.00	
Weighted Rv(forest)	0.00	0.00	Weighted Rv(forest)	0.00	
% Forest	0%	0%	% Forest	0%	
Managed Turf Cover (acres)	0.02	0.00	Managed Turf Cover (acres)	0.00	
Weighted Rv(turf)	0.25	0.25	Weighted Rv (turf)	0.25	
% Managed Turf	20%	3%	% Managed Turf	3%	
Impervious Cover (acres)	0.08	0.08	Impervious Cover (acres)	0.10	New Impervious Cover (acres) 0.02
Rv(impervious)	0.95	0.95	Rv(impervious)	0.95	Rv(impervious) 0.95
% Impervious	80%	97%	% Impervious	97%	
Total Site Area (acres)	0.10	0.09	Final Site Area (acres)	0.10	
Site Rv	0.81	0.93	Final Post Dev Site Rv	0.93	

Treatment Volume and Nutrient Load			Treatment Volume and Nutrient Load		
Pre-Development	Post-Development	Final Post-Development	Pre-Development	Post-Development	Final Post-Development
Pre-Development Treatment Volume (acre-ft)	0.0070	0.0066	Final Post-Development Treatment Volume (acre-ft)	0.0080	0.0014
Pre-Development Treatment Volume (cubic feet)	304	287	Final Post-Development Treatment Volume (cubic feet)	350	63
Pre-Development TP Load (lb/yr)	0.19	0.18	Final Post-Development TP Load (lb/yr)	0.22	0.04
Pre-Development TP Load per acre (lb/acre/yr)	1.84	2.11	Final Post-Development TP Load per acre (lb/acre/yr)	2.12	2.11
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-development area excluding pervious land proposed for new impervious cover)		0.03	Max. Reduction Required (Below Pre-Development Load)	10%	
			TP Load Reduction Required for Redeveloped Area (lb/yr)	0.02	TP Load Reduction Required for New Impervious Area (lb/yr) 0.03

¹Adjusted Land Cover Summary: Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.

Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).

Column I shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr)	0.05
------------------------------------	------

Nitrogen Loads (Informational Purposes Only)

Pre-Development TN Load (lb/yr)	1.37	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	1.57
---------------------------------	------	--	------

SITE DRAINAGE ANALYSIS AREA TABULATION

DRAINAGE AREA	TOTAL AREA	IMPERVIOUS AREA		C-FACTOR		Q _{2YR}			Q _{10YR}		
		PRE	POST	PRE	POST	PRE	POST	POST VS PRE	PRE	POST	POST VS PRE
SITE AREA (LOD AREA)	4,514 SF	3,594 SF	4,391 SF								
WEST: TO OFFSITE CURB AND GUTTER	3,413 SF	863 SF	863 SF	0.45	0.45	0.23 CFS	0.23 CFS	-	0.32 CFS	0.32 CFS	-
EAST: TO CURB INLET ON PALMER PL	39,680 SF	9,528 SF	10,325 SF	0.44	0.46	2.50 CFS	2.41 CFS	(-0.09) CFS	3.60 CFS	3.56 CFS	(-0.04) CFS

Q = CIA, PRE-12YR = 6.25 in/hr, PRE-10YR = 9.0 in/hr, POST-12YR = 5.75 in/hr, POST-10YR = 8.5 in/hr (POST-I REDUCED BY 0.5 in/hr FOR INFILTRATION)

SITE DRAINAGE ANALYSIS

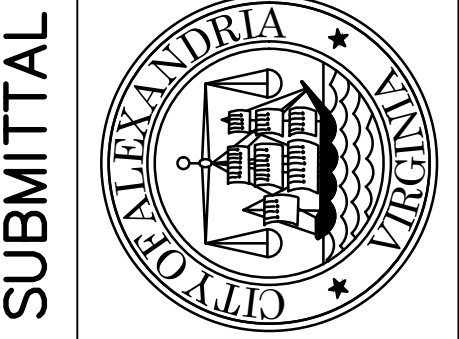
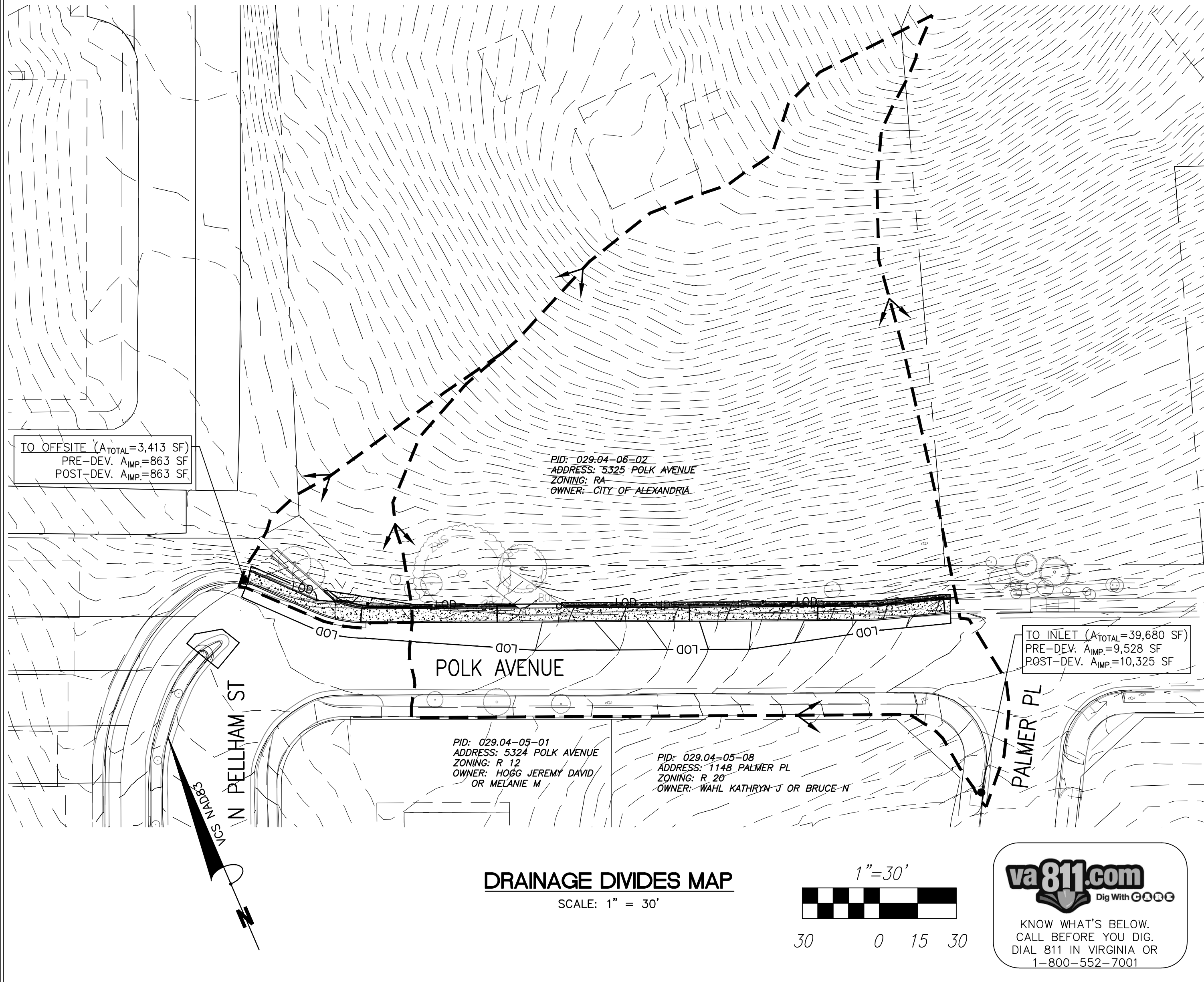
THE EXISTING DRAINAGE DIVIDES WILL BE MAINTAINED IN THE PROPOSED CONDITIONS. RUNOFF FROM THE SITE PRIMARILY FLOWS FROM THE NORTHERN WOODED PARK AREA ONTO POLK AVENUE, WITH A SMALL PORTION TRAVELING WEST AND THE MAJORITY TRAVELING EAST ON POLK AVENUE. RUNOFF FROM THE WEST TRAVELS ONTO THE EXISTING CURB AND GUTTER WHICH LEADS TO A CURB INLET ON N PELLHAM ST APPROXIMATELY 600 FT SOUTH FROM THE PROJECT SITE. THE PROPOSED IMPROVEMENTS WILL NOT INCREASE RUNOFF TO THIS AREA. RUNOFF FROM THE EAST SHEET FLOWS ACROSS POLK AVENUE AND INTO A CURB INLET ON PALMER PL. THE PROPOSED IMPROVEMENTS FOR THE EAST DRAINAGE AREA INCLUDES THE CONSTRUCTION OF APPROXIMATELY 190 LF OF UNDERDRAIN WITH #57 STONE AGGREGATE TO ALLOW PORTIONS OF THE RUNOFF INFILTRATE AND DISCHARGED AT A SLOWER RATE BACK ONTO POLK AVENUE. ASSUMING DRAINAGE INFILTRATES #57 STONE AGGREGATE AT A RATE OF 0.50 IN/HR, THE POST-DEVELOPMENT PEAK RUNOFF RATE FROM THE PRE-DEVELOPMENT PEAK RUNOFF RATE FOR A TWO-YEAR AND TEN-YEAR STORM WILL RESULT IN NO NET INCREASE IN RUNOFF. IT IS THE OPINION OF THE ENGINEER THAT THIS PROJECT WILL NOT HAVE AN ADVERSE EFFECT NOR CAUSE FLOODING OF ANY DOWNSTREAM PROPERTY OR STRUCTURES.

STORMWATER MANAGEMENT NARRATIVE

THE PROJECT SITE IS WITHIN THE HOLMES RUN WATERSHED (HUC 02070010 PL25).

THE PROPOSED PROJECT LIMITS OF DISTURBANCE IS 4,514 SF (0.10 AC). THE IMPERVIOUS AREA WILL BE INCREASED BY 797 SF COMPARED TO PRE-DEVELOPMENT CONDITIONS. SITE CONSTRAINTS PROHIBITS THE INSTALLATION OF BMP(S). THE PROJECT REQUIRES THE WITHDRAWAL OF NUTRIENT CREDITS FROM THE CITY'S SWM INTERNAL PHOSPHOROUS BANK TO OFFSET THE WATER QUALITY IMPACT OF DEVELOPMENT. USING THE VIRGINIA RUNOFF REDUCTION METHOD, THE AMOUNT OF PHOSPHOROUS REMOVAL REQUIRED IS DETERMINED TO BE 0.05 LB/YR. WITHDRAWAL OF NUTRIENT CREDITS WILL BE PURCHASED WITH PROJECT FUNDS AT A RATE OF \$50K/LB FOR \$2,500.

SINCE THE POST-DEVELOPMENT PEAK RUNOFF RATE FROM THE PRE-DEVELOPMENT PEAK RUNOFF RATE FOR A TWO-YEAR AND TEN-YEAR STORM WILL RESULT IN NO NET INCREASE IN RUNOFF INTO A DOWNSTREAM MANMADE CHANNEL, THIS PROJECT IS IN COMPLIANCE WITH WATER QUANTITY REQUIREMENTS FOR CHANNEL PROTECTION AND FLOOD PROTECTION.



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NOT FOR CONSTRUCTION

STORMWATER MANAGEMENT PLAN

CG701
SHEET
09 of 10
SCALE 1" = 30'

C:\Users\murphyng\OneDrive - City of Alexandria\1903017 - Polk Avenue Sidewalk\200_Design\203_Technical\CAD_Sheets\09_STORMWATER MANAGEMENT PLAN.dwg PLOTTED: 12/21/2022 4:10:15 PM BY: MURPHY NG

c:\Users\murphyng\OneDrive - City of Alexandria\1903017 - Polk Avenue Sidewalk\200_Design\203_Technical\CAD_Sheets\09 STORMWATER MANAGEMENT PLAN.dwg PLOTTED: 12/21/2022 4:10:22 PM BY MURPHY NG

RESERVED FOR NUTRIENT
CREDIT PURCHASE AND
WQIF CONTRIBUTION
REQUEST LETTER TO
TES/SWM

RESERVED FOR NUTRIENT
CREDIT PURCHASE AND
WQIF CONTRIBUTION
APPROVAL LETTER FROM
TES/SWM

WATER QUALITY VOLUME DEFAULT (WQVD)

PROJECT AREA: 0.1036 AC (4,514 SF)
TOTAL PROPOSED IMPERVIOUS AREA: 0.1008 AC (4,391 SF)
TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.1008 = 183 CU. FT.

IMPERVIOUS AREA TREATED = 0.000 AC X 1,815 = 0 CU. FT.
IMPERVIOUS AREA NOT TREATED = 0.1008 AC (4,391 SF)

A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY FUND WILL BE MADE TO COMPENSATE FOR THAT PORTION OF THE WQV DEFAULT WHICH IS NOT BEING TREATED ON-SITE.

PROJECT DESCRIPTION

DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
SITE AREA	01008 AC	0.0028 AC	0.1036 AC
ON-SITE TREATED	0.0000 AC	0.0000 AC	0.0000 AC
OFF-SITE TREATED	0.0000 AC	0.0000 AC	0.0000 AC
TOTAL TREATED	0.0000 AC	0.0000 AC	0.0000 AC
ON-SITE IMPERVIOUS AREAS DISCONNECTED BY A VEGETATED FILTER	0.0000 AC	0.0000 AC	0.0000 AC
TOTAL TREATED OR DISCONNECTED	---	---	0.0000 AC

WATER TREATMENT ON-SITE

BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
N/A	0.0000 AC	0.0000 AC	N/A

WATER QUALITY VOLUME REQUIRED = 183 CU. FT.

TOTAL WQV TREATED: NO
DETENTION ON SITE: NO
PROJECT IS WITHIN WHICH WATERSHED? HOLMES RUN
PROJECT DISCHARGES TO WHICH BODY OF WATER? POTOMAC RIVER

WQVD COMPLIANCE NARRATIVE

SINCE THE WATER QUALITY REQUIREMENT CANNOT BE MET, A CONTRIBUTION WILL BE MADE DIRECTLY TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND (WQIF). THIS CONTRIBUTION WILL BE BASED ON \$2.00 PER SQUARE FOOT OF IMPERVIOUS SURFACE NOT TREATED [4,391 SF (0.1008 AC)], WHICH EQUATES TO A CONTRIBUTION OF \$8,782.00 TO THE WQIF.

NOTE: THE WQIF CONTRIBUTION AND NUTRIENT CREDIT PURCHASE WILL BE MADE DIRECTLY BY THE CITY TO THE APPROPRIATE ENTITIES. THE CONTRACTOR IS NOT RESPONSIBLE TO INCLUDE THESE COSTS WITH THEIR BID ITEMS.



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STORMWATER
MANAGEMENT
COMPLIANCE

CG702

SHEET
10 of 10

SCALE NA

POLK AVENUE SIDEWALK