



# APPLICATION SPECIAL USE PERMIT

## ADMINISTRATIVE CHANGE OF OWNERSHIP OR MINOR AMENDMENT

**Change of Ownership**       **Minor Amendment**

[must use black ink or type]

**PROPERTY LOCATION:** 3100 Richmond Highway

**TAX MAP REFERENCE:** 016.03-08-33      **ZONE:** CDD #24

**APPLICANT**

Name: Talat Omar

Address: 333 Beach 32nd St. Apt 18J Far Rockaway NY 11691

**PROPERTY OWNER**

Name: ISS Management Group, LLC

Address: 240 Southern Hill Drive Duluth, GA 30097

**SITE USE:** Restaurant

**Business Name:** **Current:** Marino's Pizza & Subs **Proposed (if changing):** Omar's Pitas & Platters

**THE UNDERSIGNED** hereby applies for a Special Use Permit for **Change in Ownership**, in accordance with the provisions of Article XI, Division A, Section 11-503 (5)(f) of the 1992 Zoning Ordinance of City of Alexandria, Virginia.

**THE UNDERSIGNED**, having read and received a copy of the special use permit, hereby agrees to comply with all conditions of the current special use permit, including all other applicable City codes and ordinances.

**THE UNDERSIGNED** hereby applies for a Special Use Permit for **Minor Amendment**, in accordance with the provisions of Article XI, Division A, Section 11-509 and 11-511 of the 1992 Zoning Ordinance of City of Alexandria, Virginia.

**THE UNDERSIGNED**, having obtained permission from the property owner, hereby requests this special use permit. The undersigned also attests that all of the information herein required to be furnished by the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Ahmad Omar

Print Name of Applicant or Agent

3900 Executive Ave Apt A11

Mailing/Street Address

Alexandria 22305

City and State Zip Code

*Ahmad Omar*

Signature

5167083771

Telephone # Fax #

Ahmad.omar21@gmail.com

Email address

02/27/24

Date

**DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY**

Application Received: \_\_\_\_\_

Fee Paid: \$ \_\_\_\_\_

Legal advertisement: \_\_\_\_\_

ACTION - PLANNING COMMISSION \_\_\_\_\_

ACTION - CITY COUNCIL: \_\_\_\_\_





4. Is the use currently open for business?  Yes  No

If the use is closed, provide the date closed. \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_  
month day year

5. Describe any proposed changes to the conditions of the special use permit:

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6. Are the hours of operation proposed to change?  Yes  No

If yes, list the current hours and proposed hours:

Current Hours:

Proposed Hours:

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7. Will the number of employees remain the same?  Yes  No

If no, list the current number of employees and the proposed number.

Current Number of Employees:

Proposed Number of Employees:

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8. Will there be any renovations or new equipment for the business?  Yes  No

If yes, describe the type of renovations and/or list any new equipment proposed.

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9. Are you proposing changes in the sales or service of alcoholic beverages?  Yes  No

If yes, describe proposed changes:

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10. Is off-street parking provided for your employees? \_\_\_\_ Yes \_\_\_\_ No  
If yes, how many spaces, and where are they located?  
\_\_\_\_\_  
\_\_\_\_\_

11. Is off-street parking provided for your customers? \_\_\_\_ Yes \_\_\_\_ No  
If yes, how many spaces, and where are they located?  
\_\_\_\_\_  
\_\_\_\_\_

12. Is there a proposed increase in the number of seats or patrons served? \_\_\_\_ Yes \_\_\_\_ No  
If yes, describe the current number of seats or patrons served and the proposed number of seats and patrons served. For restaurants, list the number of seats by type (i.e. bar stools, seats at tables, etc.)

Current:	Proposed:
_____	_____
_____	_____
_____	_____

13. Are physical changes to the structure or interior space requested? \_\_\_\_ Yes \_\_\_\_ No  
If yes, attach drawings showing existing and proposed layouts. In both cases, include the floor area devoted to uses, i.e. storage area, customer service area, and/or office spaces.

14. Is there a proposed increase in the building area devoted to the business? \_\_\_\_ Yes \_\_\_\_ No  
If yes, describe the existing amount of building area and the proposed amount of building area.

Current:	Proposed:
_____	_____
_____	_____
_____	_____

15. The applicant is the (check one) \_\_\_\_ Property owner \_\_\_\_ Lessee  
\_\_\_\_ other, please describe: \_\_\_\_\_

16. The applicant is the (check one)  Current business owner \_\_\_\_ Prospective business owner  
\_\_\_\_ other, please describe: \_\_\_\_\_

17. Each application shall contain a clear and concise statement identifying the applicant, including the name and address of each person owning an interest in the applicant and the extent of such ownership interest. If the applicant, or one of such persons holding an ownership interest in the applicant is a corporation, each person owning an interest in excess of ten percent (3%) in the corporation and the extent of interest shall be identified by name and address.

For the purpose of this section, the term "ownership interest" shall include any legal or equitable interest held in the subject real estate at the time of the application. If a nonprofit corporation, the name of the registered agent must be provided.

Please provide ownership information here:

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## Special Use Permits Eligible for Administrative Approval

Certain uses of land that have potentially negative impacts on surrounding properties require special use permit approval from City Council. The City Council may impose conditions on the operation of the special use in order to protect the health, safety and welfare of the surrounding area. For new uses and for intensifications or amendments of existing uses, the Planning Commission and City Council conduct public hearings and decide whether to approve the request. The Director of Planning and Zoning, however, may approve a special use permit administratively if it is only a change in ownership or a minor amendment of a previously approved special use permit.

## Special Use Permit for Change of Ownership

If the existing special use permit for an operation restricts the ownership of the use, a prospective owner may not take ownership of the operation until he receives special use permit approval for the change of ownership. Pursuant to Section 11-503, the director may approve the change and transfer the special use permit to a new owner, if the following conditions apply:

- 1) The applicant is not requesting a change in the conditions of the special use permit;
- 2) there have been no substantiated violations of the special use permit conditions;
- 3) there are no changes proposed or anticipated in the operation of the use involved;
- 4) the director has concluded that no new conditions or no amendments to existing conditions are necessary; and
- 5) following notice of the application in a newspaper of general circulation in the City, no person has requested that the director forward the application to the Planning Commission or City Council.

If the application does not meet any one of the above conditions, it must be docketed for the next available Planning Commission and City Council public hearings. If the Director approves a special use permit for change in ownership, the new owner must sign an agreement stating that he/she will to continue to comply with the special use permit conditions.

## Special Use Permit for Minor Amendment

Pursuant to Sections 11-509 and 11-511 of the zoning ordinance, the director may approve minor amendments to approved special use permits. Only changes that constitute no more than a minimal enlargement or extension of the special use permit or that are so insignificant they will have little or no zoning impact on the surrounding neighborhood are eligible for administrative approval. If a change will intensify the use, it requires Planning Commission and City Council approval. Changes that intensify a use include any increase in the following:

- 1) Hours of operation;
- 2) number of seats;
- 3) number of employees; visitors of customers; or
- 4) number of vehicle trips generated.

The Director may not administratively approve minor amendments if any of the following apply:

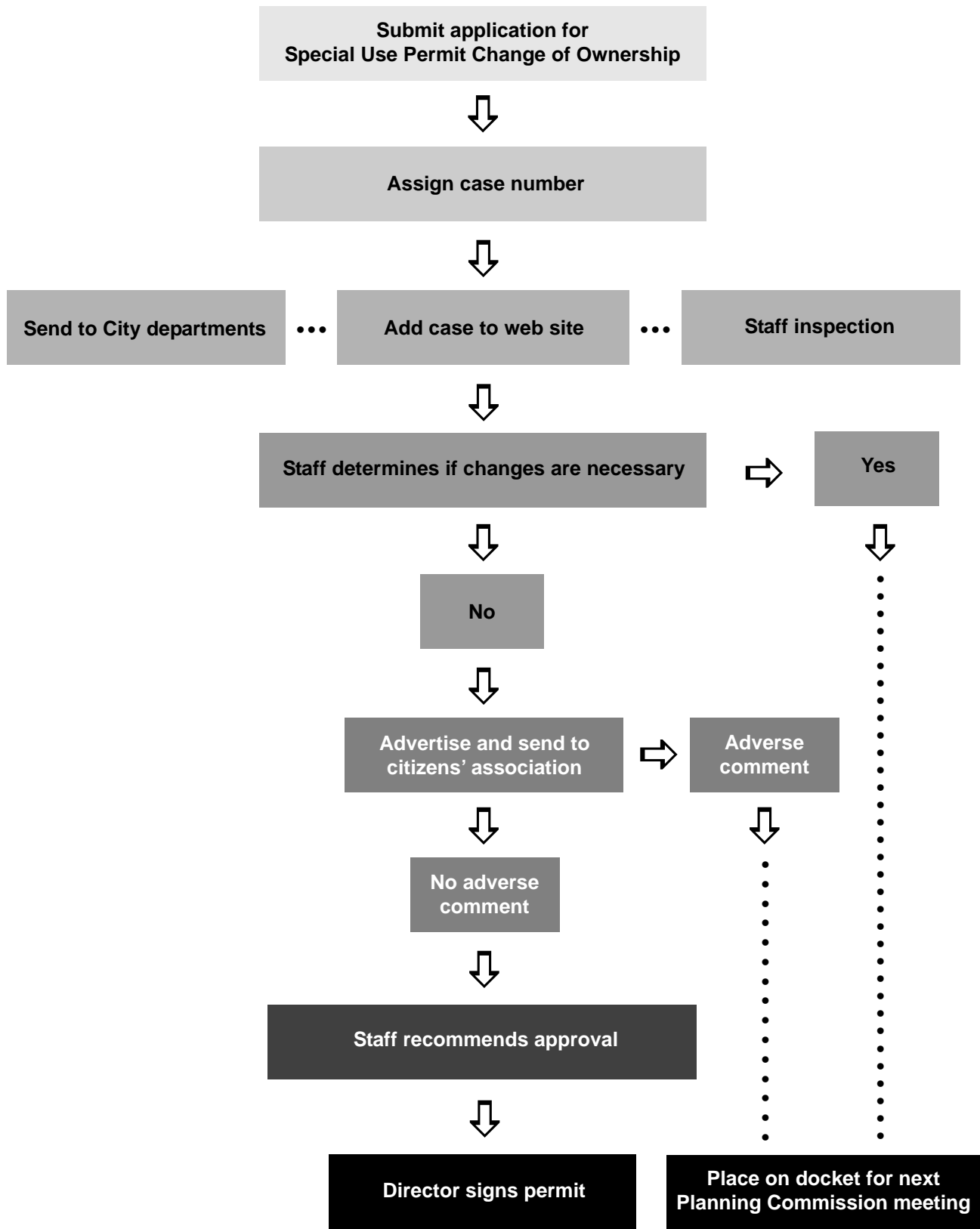
- 1) He/She has received written or oral complaints that the use is in violation of the zoning ordinance;
- 2) at the time the special use permit was approved, opposition was presented to the Planning Commission or City Council; or
- 3) new conditions or amendments to existing conditions are necessary.

Notice of the application is published in a newspaper of general circulation in the City and is sent to docket subscribers.

## Approval Process

For both change in ownership and minor amendment special use permits, the approval process generally takes between four and six weeks from the time an application is submitted. During that time, staff will review the application, inspect the subject property for compliance with special use permit conditions and advertise the proposed change in the newspaper to provide an opportunity for citizens to comment on the change and, in the case of minor amendments, send notice to the Planning Commission and City Council members. If the Director determines that the Planning Commission and City Council must consider the application, he/she will docket the application for the next available Planning Commission and City Council hearings. At that time, the Director may require additional information regarding the application.

# PROCESS FLOW CHART: Change of Ownership SUP



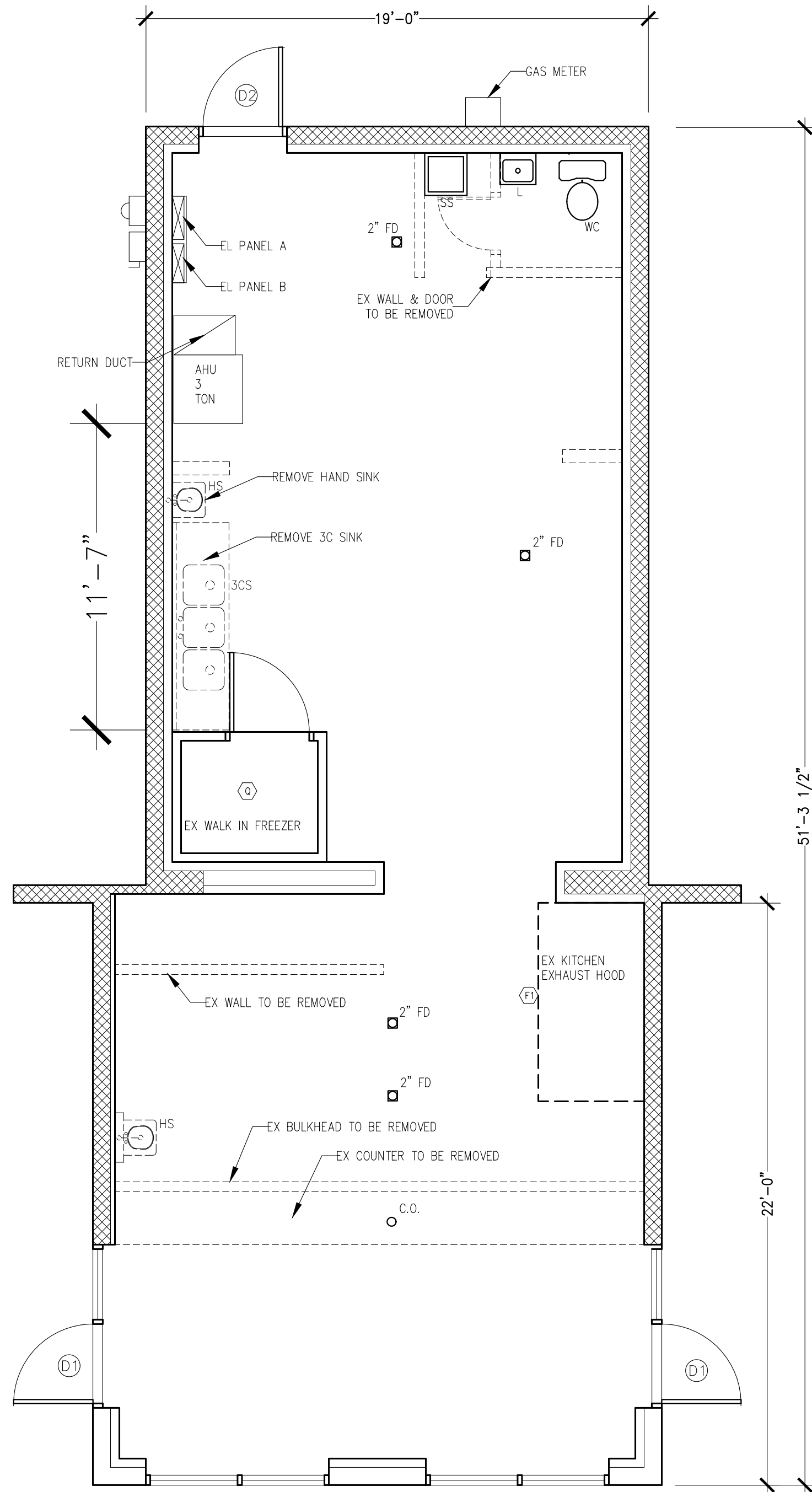




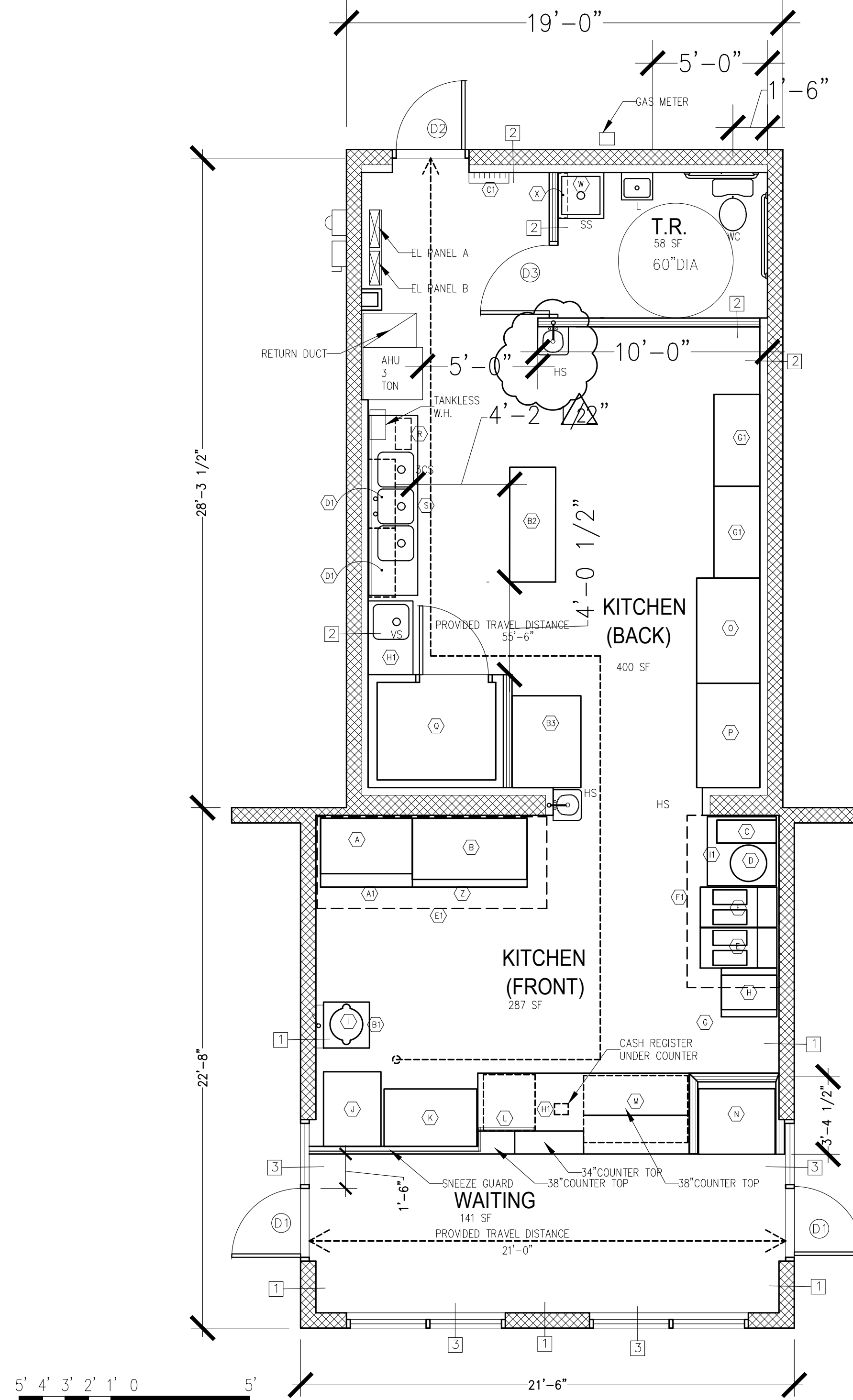
**LIFE SAFETY NOTES:**

- ① VBC 2018 SECTION 1006.2.1, SPACES WITH ONE EXIT. WITHOUT SPRINKLER. OCCUPANCY M 75'-0". OCCUPANCY B 100'-0". PROVIDED 55'-6".
- ② VBC 2018 SECTION 1005.3.3 DOORS OCCUPANT LOAD 32x0.2 = 6.2", PROVIDED 36".

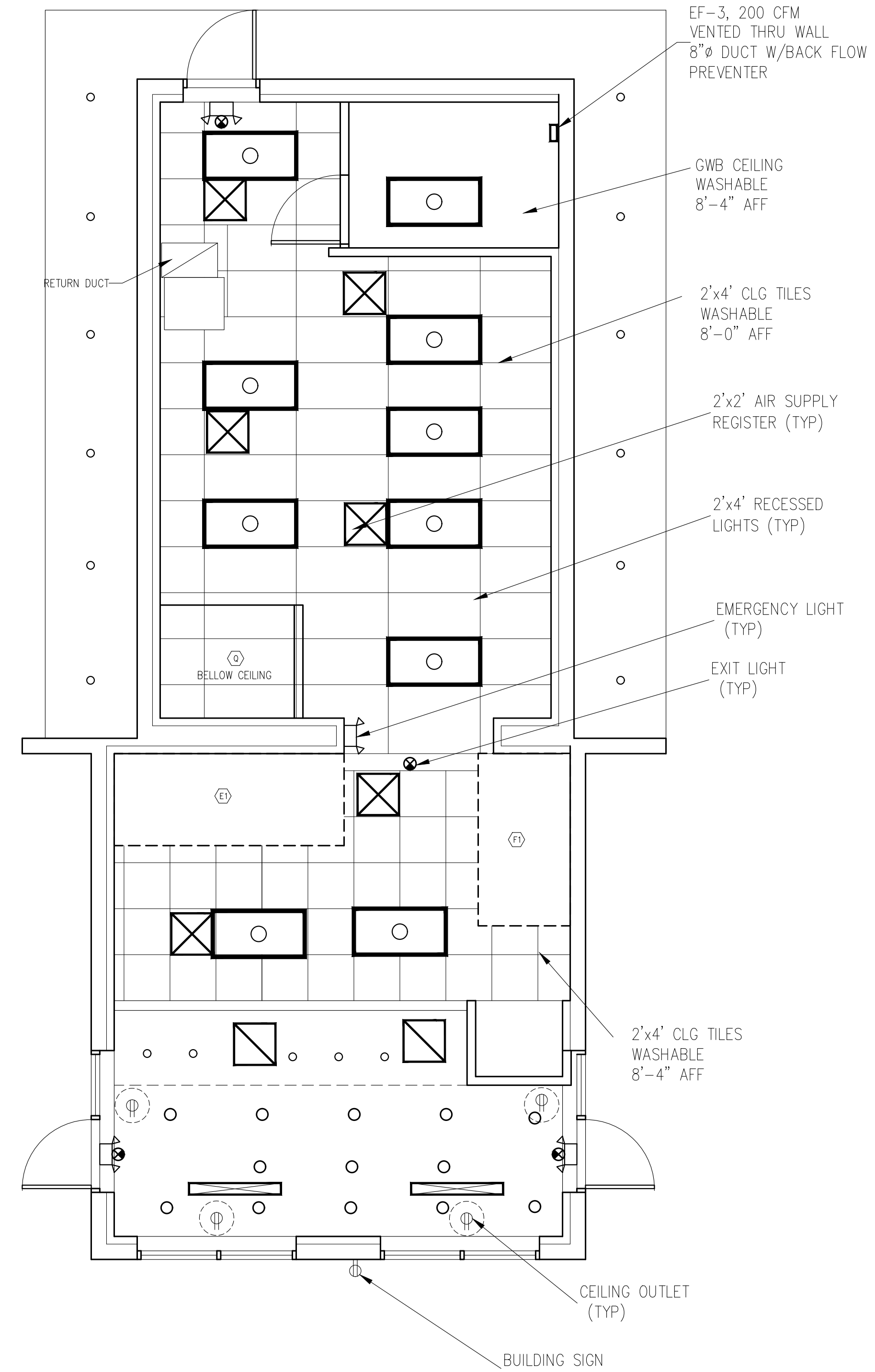
NOTE:  
FOR EQUIPMENT SCHEDULE  
SEE DRAWING A102



②  
A101  
3/16" = 1'-0"



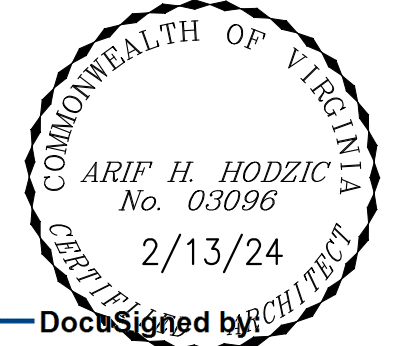
①  
A101  
1/4" = 1'-0"



①  
A101  
1/4" = 1'-0"

5' 4' 3' 2' 1' 0 5'  
SCALE 1/4" = 1'-0"

**HODZIC ARCHITECTS, P.A.**  
3345 GLENSHANE WAY  
ORMOND BEACH, FL 32174  
PHONE: 410.271.6733  
WEB PAGE: HODZICARCHITECTS.COM  
E-MAIL: AH@HODZICARCHITECTS.COM



**OMAR'S PITAS & PLATTERS**  
3100 RICHMOND HWY  
ALEXANDRIA, VA 22305

PROJECT TITLE

REVISIONS

No	DATE	ISSUE
2	2/22/24	CORRECTION
1	2/13/24	PERMIT SET

SCALE:  
DATE: 01/05/2024  
DRAWN BY: AH  
CHECKED BY: AH

PROJECT NO. **2401**  
FLOOR PLANS

DRAWING TITLE  
**A101**

DRAWING NO.  
SHEET 2 of 14

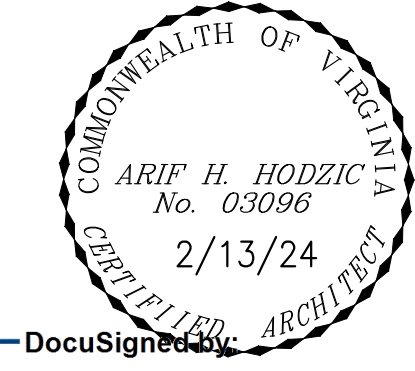
## EQUIPMENT SCHEDULE

ITEM	TYPE OF EQUIPMENT	QUANT	MANUFACTURER	MODEL NUMBER	DIMENSIONS			WATER		WASTE		VOLTS	PHASE	AMPS	WATTS	HP	GAS MBTU/H	REMARKS
					WIDTH	DEPT	HEIGHT	CW	HW	DIR	IND							
A	RADIANT CHAR-BBROILER	1	GARLAND	HEEGM-48CL	48"	29"	14"					120	1	1			150	
B	GAS GRIDDLE	1	MEGIKITCHEN	FG-MKG60	60"	32"	16.5"					120	1	1			135	
C	BURNER GAS RANGE	1	ADVANTCO	CAG-R-2-12	12"	31"	16.5"										50	
D	RICE COOKER	1	RINAI	RER55ASN	24"	19"	18"										35	
E	FRYER 2	1	COPPER BEECH RANGE	CBF2525	16"	35"	46.5"										120	
F	FRYER	1	FRYMASTER	MJ1CF	21"	40"	48"										120	
G	FREEZER LOW BOY	1	CONTINENTAL	SWF32-N-32	32"	30"	46"					115	1	11				
H	FRENCH FRY WARMER	1	CARTER-HOFFMANN	CNH18XD	18"	33"	18"					120	1	15.1				
I	RICE WARMER	1	AVANTCO	177RW90	19"	17"	16"					120	1		105W			
J	STEAM TABLE	1	SERVIT	EST-2WS	30"	31"	34"					120	1	8.3	1000W			
K	SALAD BAR	1	TURBO AIR	JBT-48-N	47.25"	27.5"	34"					115	1	5.8				
L	REFRIGIRATOR LOW BOY	1	BEVERAGE AIR	UCR27AHC-25-104	27"	29.5"	32"					115	1	1.1				
M	DISPLAY COUNTER	1	OASIS	SBZ5452DR	54.5"	35"	34"					115	1	6.8	997 W			
N	SODA MERCHENDIZER	1	AVANTCO	178GDS33HC	40"	30"	84"					115	1	5				
O	EX REFRIGERATOR 1	1	DUKERS	D55R	55"	33"	82"					115	1		750 W			
P	EX REFRIGERATOR 2	1	ES	ER2A-FS	54.5"	30"	82"					115	1	4.3				
Q	EX WALK IN FREEZER	1	BOHN	LET0401F	6'-0"	5'-0"	7'-8"					115	2		2000 W			
R	GREASE TRAP	1	ZURN	GT 2700-25	20	26	17			3"								
S	EX 3 COMP SINK	1	REGENCY	600S318242X	94"	29.5"	44"	1/2"	1/2"		(3)1"							
T	HAND SINK	2	REGENCY	600HS172H	17"	15"	34" AFF	1/2"	1/2"	1-1/2"								
U	CASH REGISTER	1	TOAST (UNDER COUNTER)	FLEX	14"	-	14" SCREEN					115	1		25			
W	EX MOP SINK	1	FIAT	TSB100	20"	20"	30" AFF	1/2"	1/2"	2"								
X	EX SHELF & MOP RACK	1	ADVANCE TABCO	K-245	24"	8"	60" AFF											
Y	WATER HEATER TANKLESS	1	RINNAI	CU199 (REU-N3237FFC-US)	24"	24"	60" AFF	3/4"	3/4"	1"						199	4" VENT	
Z	WORK TABLE	1	RIGENSY	STAINLESS STEEL	60"	36"	34"											
A1	WORK TABLE	1	RIGENSY	STAINLESS STEEL	48"	36"	34"											
B1	EX WORK TABLE	1	STILTON	STAINLESS STEEL	24"	24"	34"											
B2	EX WORK TABLE	1	STILTON	STAINLESS STEEL	60"	30"	34"											
B3	EX WORK TABLE	1	STILTON	STAINLESS STEEL	60"	36"	34"											
C1	COAT HOOKS & SHELF	1	KROWNE	1800 SERIES														
D1	2 WALL SHELVES ABOVE 3C SINK	2	UNIVERSAL	1N1618-RD18	36"	14"	50" AFF											
E1	KITCHEN EXHAUST HOOD NO.1	1	HOOD MART	36D-ECA	10'-2"	4'-0"	24"					230	2	16			SEE SHOP DRAWINGS	
	EX MAU NO.1	1	HOOD MART	SF9-ECM	32"	32"	32"					115	1	9.8			SEE SHOP DRAWINGS	
F1	KITCHEN EXHAUST HOOD NO.2	1	HOOD MART	36D-ECA	8'-2"	4'-0"	24"					230	2	16			SEE SHOP DRAWINGS	
	EX MAU NO.2	1	HOOD MART	SF8-ECM	32"	32"	32"					115	1	9.8			SEE SHOP DRAWINGS	
G1	SHELVES	2	REGENCY	NSF CHROME 5	48"	24"	72"											
H1	VEGETABLE SINK SINK	1	REGENCY	W/DRAIN BOARD	38.5"	23.5"	36.5" AFF	1/2"	1/2"	1-1/2"								
I1	WORK TABLE	1	STILTON	STAINLESS STEEL	34"	36"	34"											

NOTE: FOR EXHAUST HOODS AND MAU-S SEE SHOP DRAWINGS.

**HODZIC ARCHITECTS, P.A.**

3345 GLENSHANE WAY  
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WEB PAGE: HODZICARCHITECTS.COM  
E-MAIL: AH@HODZICARCHITECTS.COM



DocuSign  
**Arif Hodzic**  
568810AE7DFC43F...

**OMAR'S PITAS & PLATTERS**

3100 RICHMOND HWY  
ALEXANDRIA, VA 22305

PROJECT TITLE

REVISIONS

No	DATE	ISSUE

2/22/24 CORRECTION  
1/2/13/24 PERMIT SET

No | DATE | ISSUE

SCALE:

DATE: 01/05/2024

DRAWN BY: AH

CHECKED BY: AH

PROJECT NO. **2401**

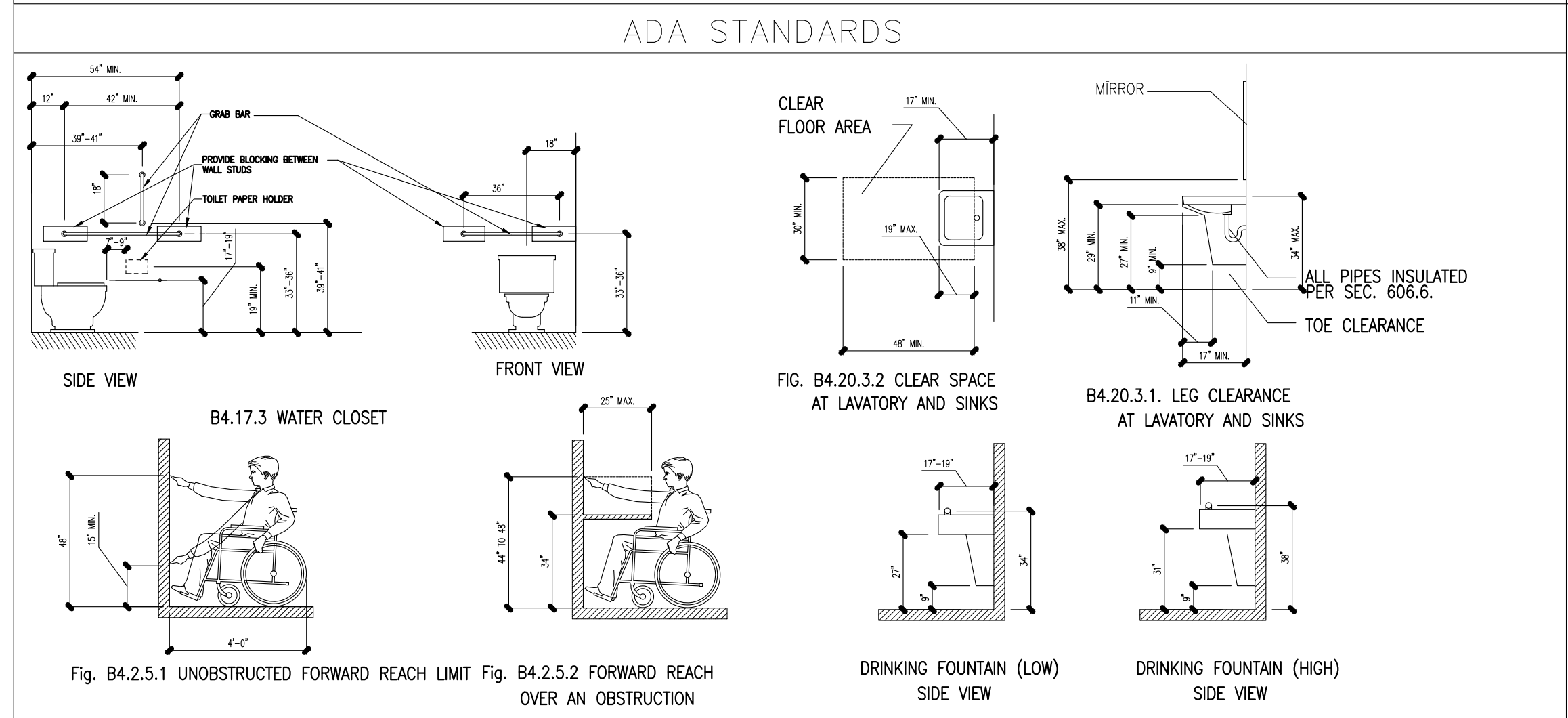
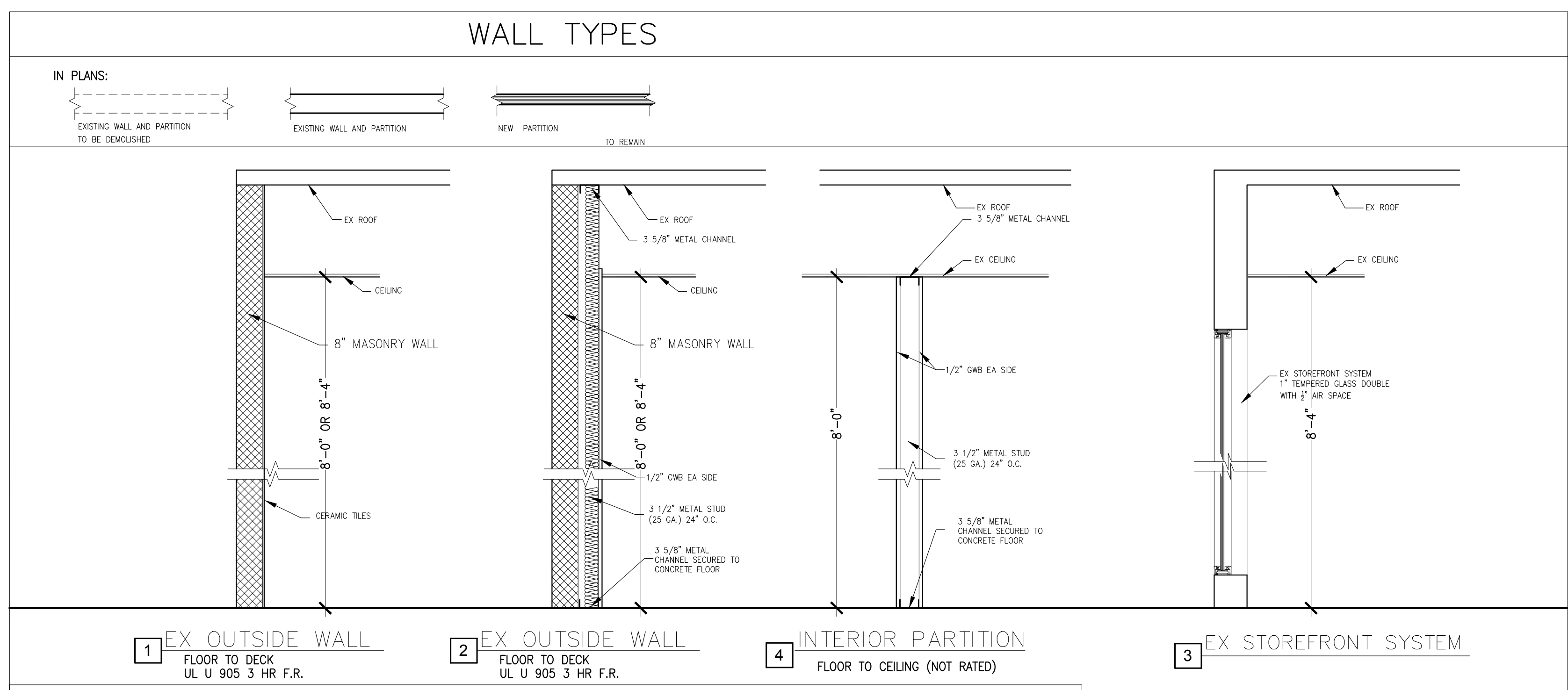
**EQUIPMENT SCHEDULE**

DRAWING TITLE

**A102**

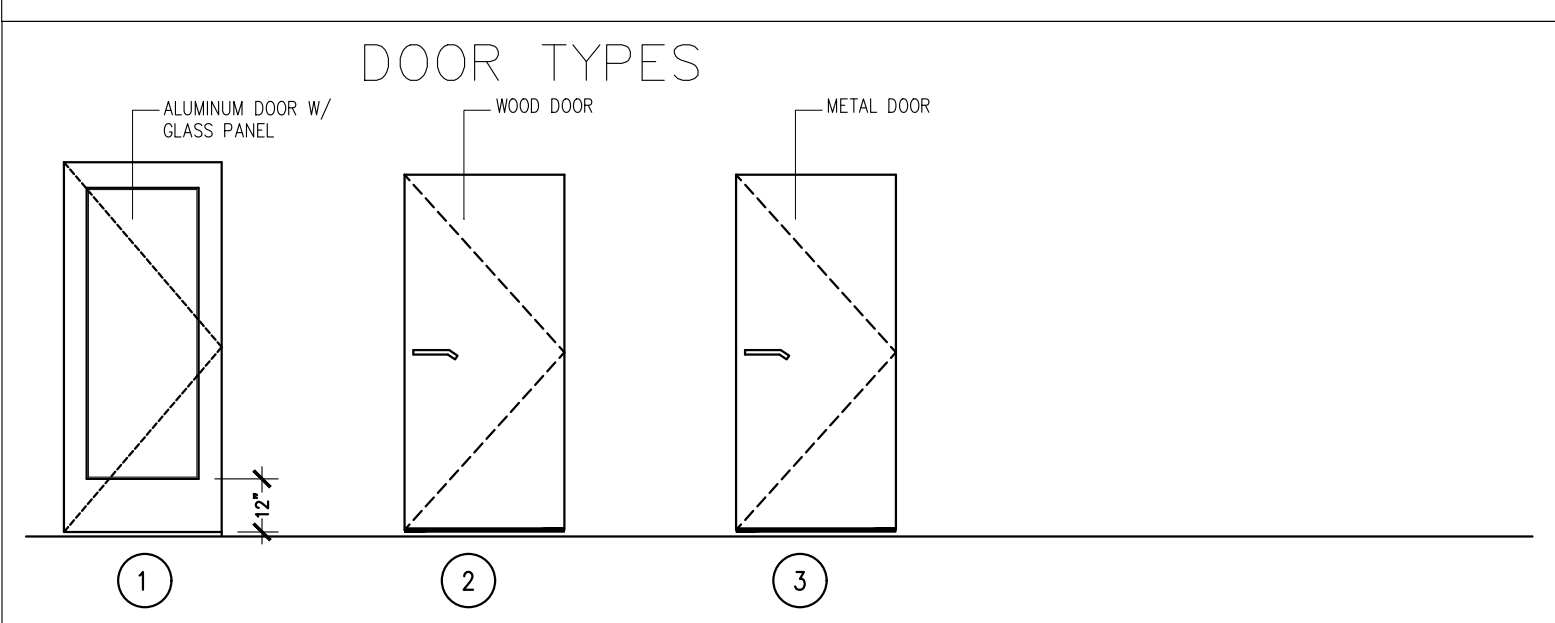
DRAWING NO.

SHEET 3 of 14



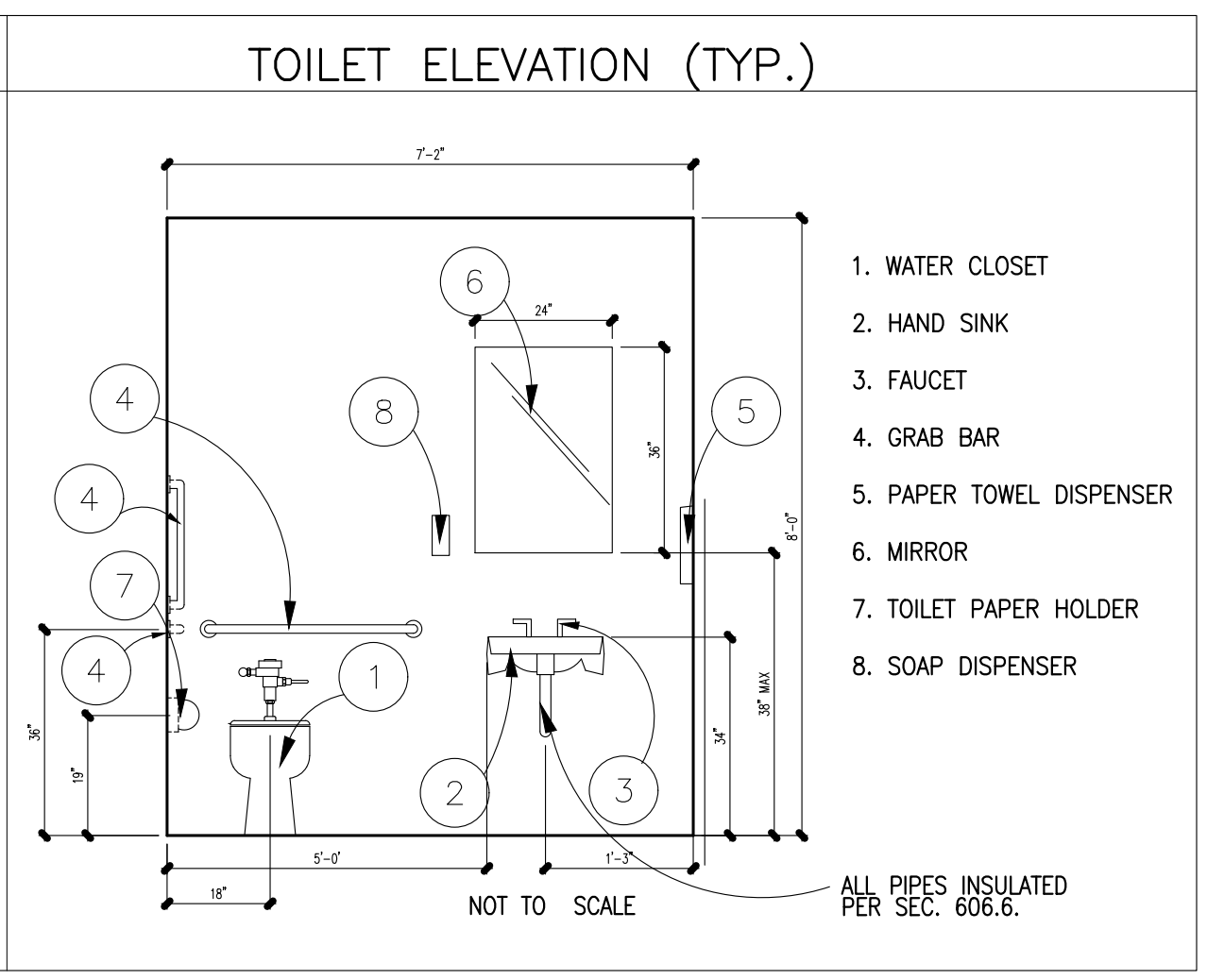
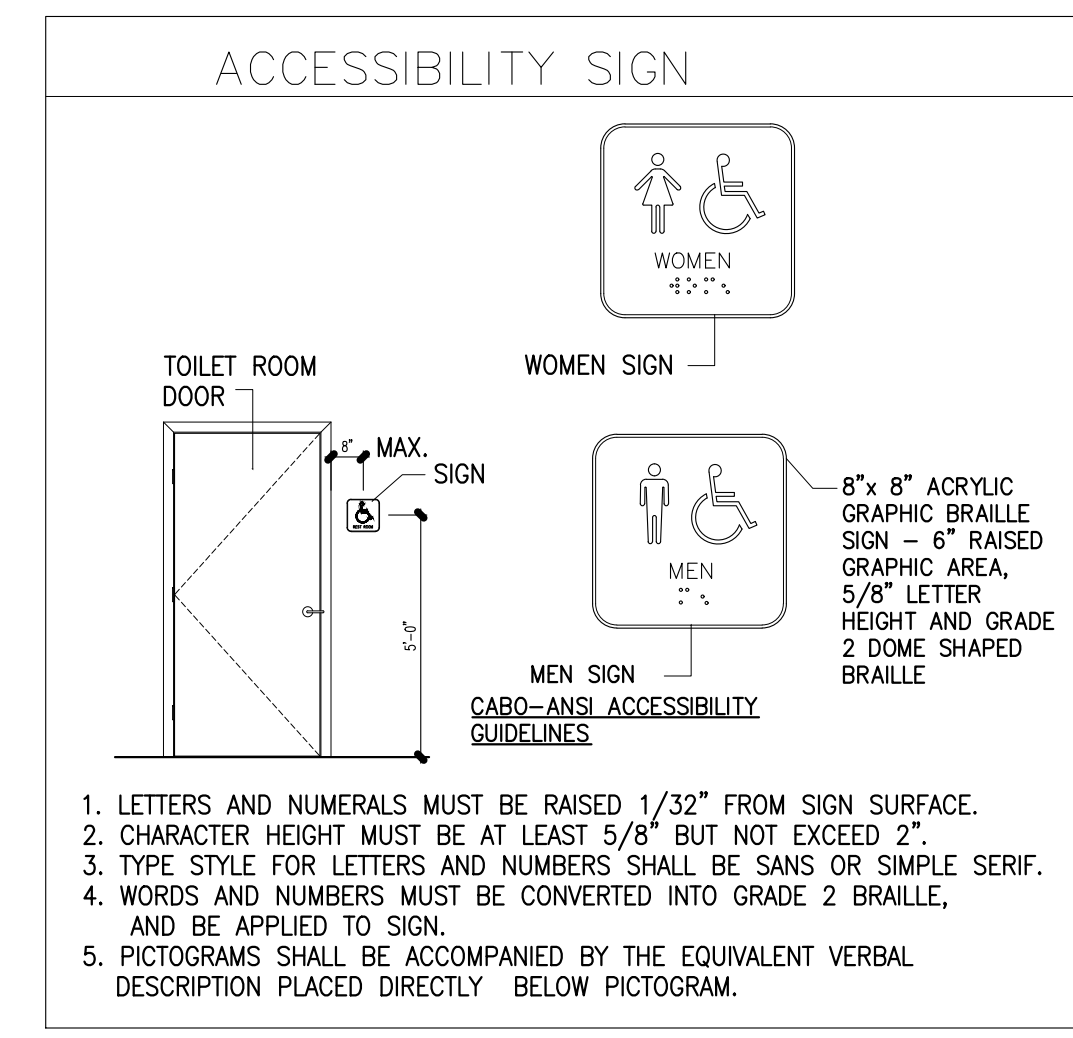
#### DOOR SCHEDULE

DOOR NUMBER	SIZE	FIRE RATING	DOOR MATER'L	FRAME MATER'L	DOOR TYPE	HARDWARE	REMARKS
D1	3'-0" x 7'-0"	-	1	1	1	1	EXISTING DOOR
D2	3'-0" x 6'-8"	2 HRS	4	2	3	1	EXISTING DOOR
D3	3'-0" x 6'-8"	-	3	2	2	3	



DOOR MATERIAL	FRAME MATERIAL
1. ALUMINUM W/ GLASS PANEL 2. WOOD/HOLLOW 3. WOOD, SOLID 4. STEEL 18 GA	1. ALUMINUM STOREFRONT SYSTEM 2. STEEL 18 GA 3. WOOD, SOLID

- #### HARDWARE TYPES:
- A. DOOR HINGES  
B. LOCK SET - KEY LOCK OUTSIDE- PANIC HARDWARE INSIDE  
C. THRESHOLD  
D. AUTOMATIC CLOSER
  - A. (3) DOOR HINGES  
B. LOCK SET - LEVER HANDLES, PASS BOTH INSIDES  
C. DOOR STOP
  - A. (3) DOOR HINGES  
B. LOCK SET - LEVER HANDLE, KEY OUTSIDE- PASS INSIDE (PRIVACY SET)  
C. DOOR STOP  
D. AUTOMATIC CLOSER



#### FINISH SCHEDULE

ALL FINISH MATERIALS SHALL COMPLY WITH IBC SECTION 803 & TABLE 803.9

ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
FRONT KITCHEN	TILES	TILES	GWB PTD * OR TILES	EX 2'x4' SUSPENDED CLG SYSTEM W/WASHABLE TILES	* STAINLESS STEEL PLATE WALL AROUND EXHAUST HOOD
BACK KITCHEN	TILES	TILES	GWB PTD OR TILES SEE A101	EX 2'x4' SUSPENDED CLG SYSTEM W/WASHABLE TILES	
WAITING	TILES	VINYL	GWB PTD	GWB W/WASHABLE PAINT	
TOILET ROOMS	TILES	VINYL	GWB PTD	GWB W/WASHABLE PAINT	

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COMMONWEALTH OF VIRGINIA  
ARIF H. HODZIC  
No. 03096  
2/13/24  
REGISTERED ARCHITECT

DocuSigned by:  
*Arif Hodzic*  
568810AE7DFC43F...

**OMAR'S PITAS & PLATTERS**  
3100 RICHMOND HWY  
ALEXANDRIA, VA 22305

PROJECT TITLE

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REVISIONS

No	DATE	ISSUE
1	2/13/24	PERMIT SET

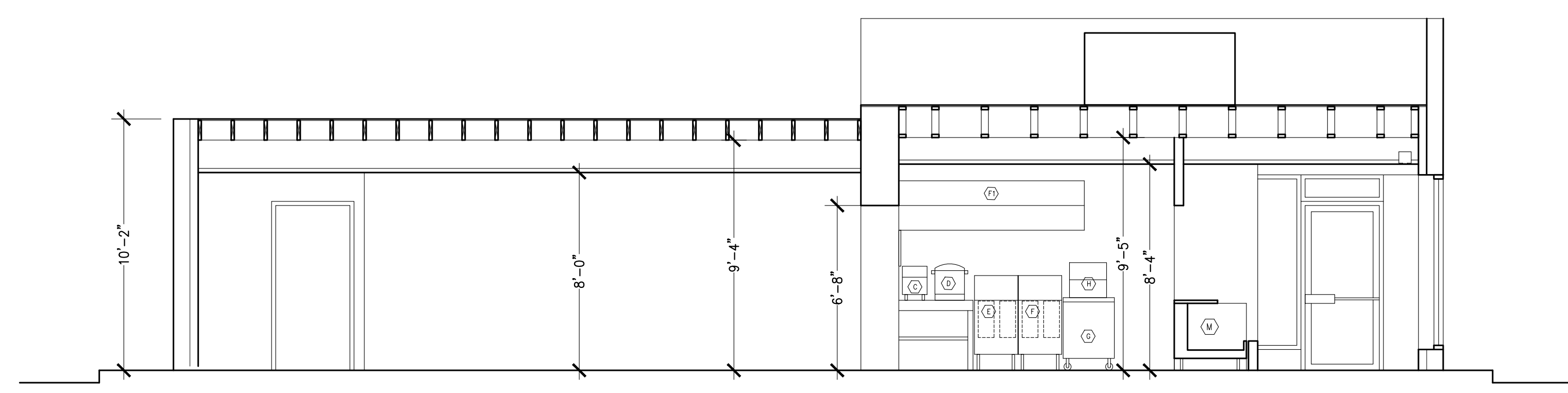
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DATE: 01/05/2024  
DRAWN BY: AH  
CHECKED BY: AH

PROJECT NO. **2401**

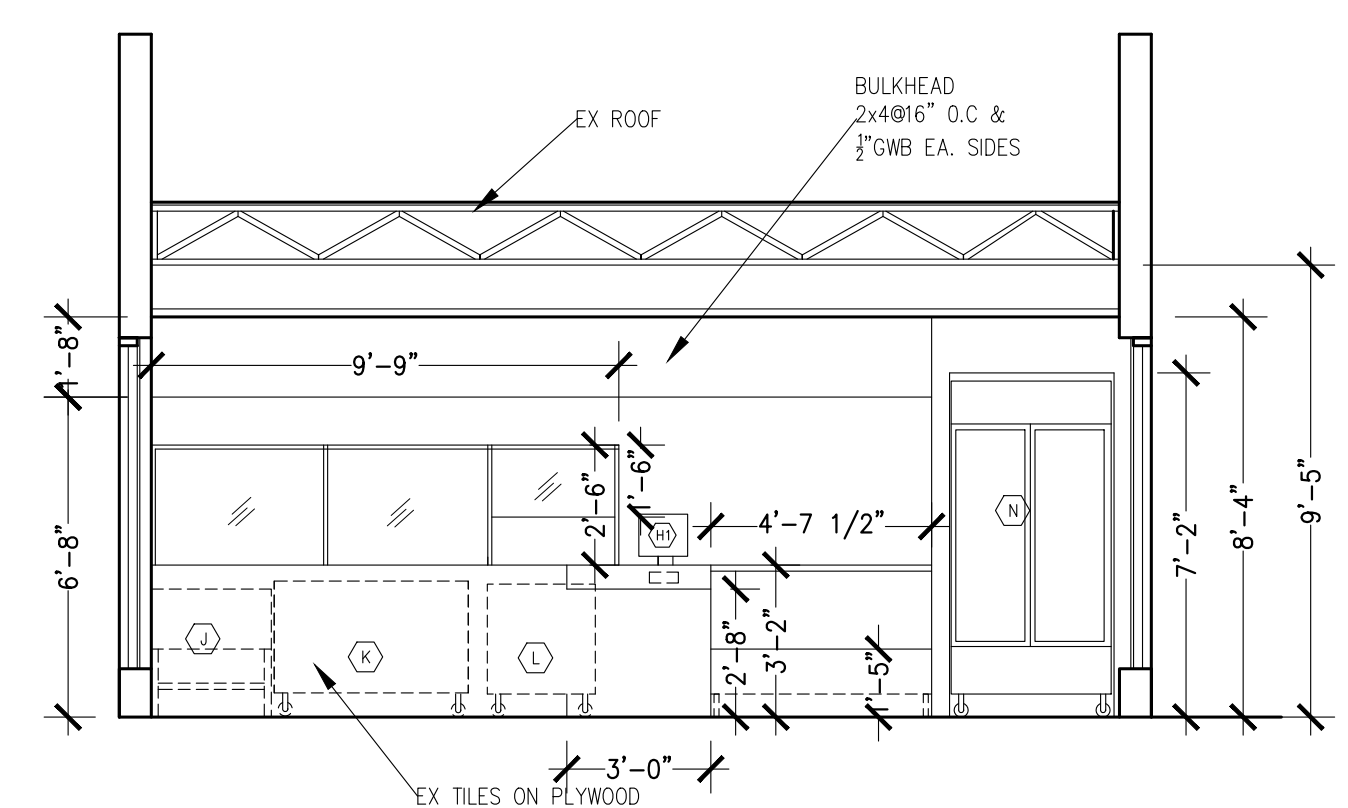
**WALL SECTIONS & SCHEDULES**

DRAWING TITLE

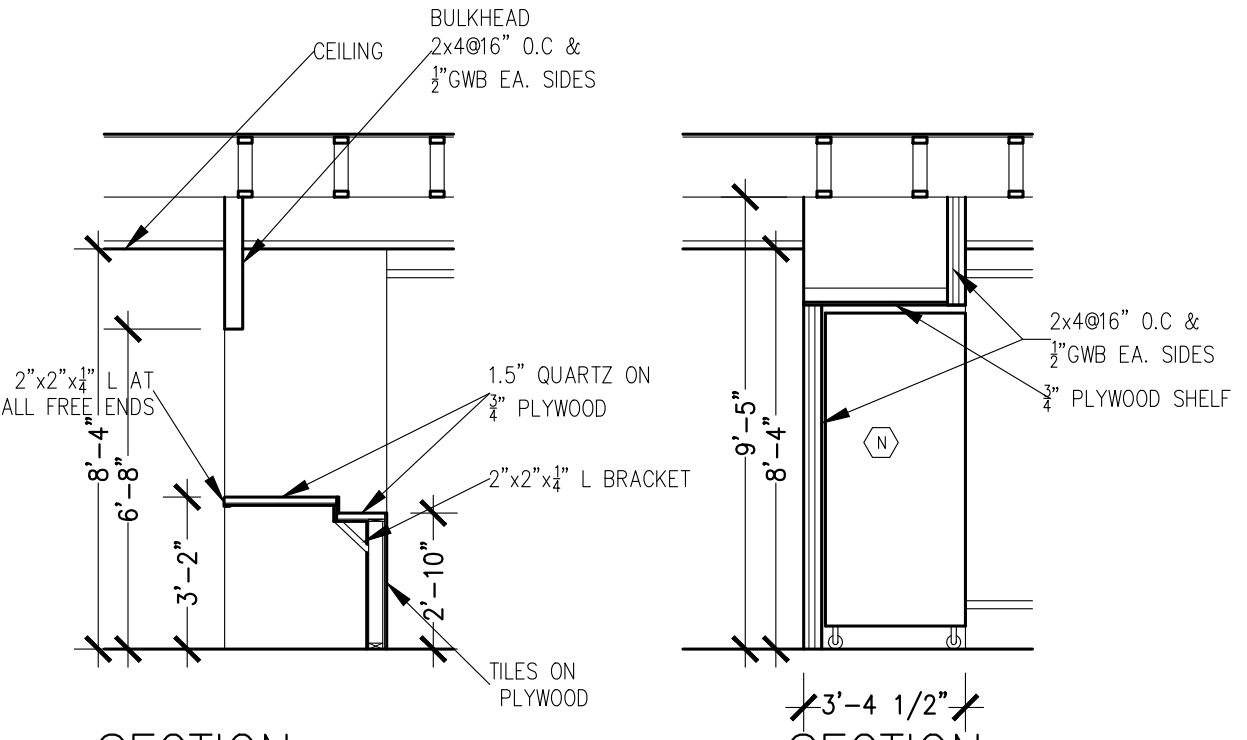
# A103



**LONGITUDINAL SECTION**  
2  
A104  
1/4" = 1'-0"

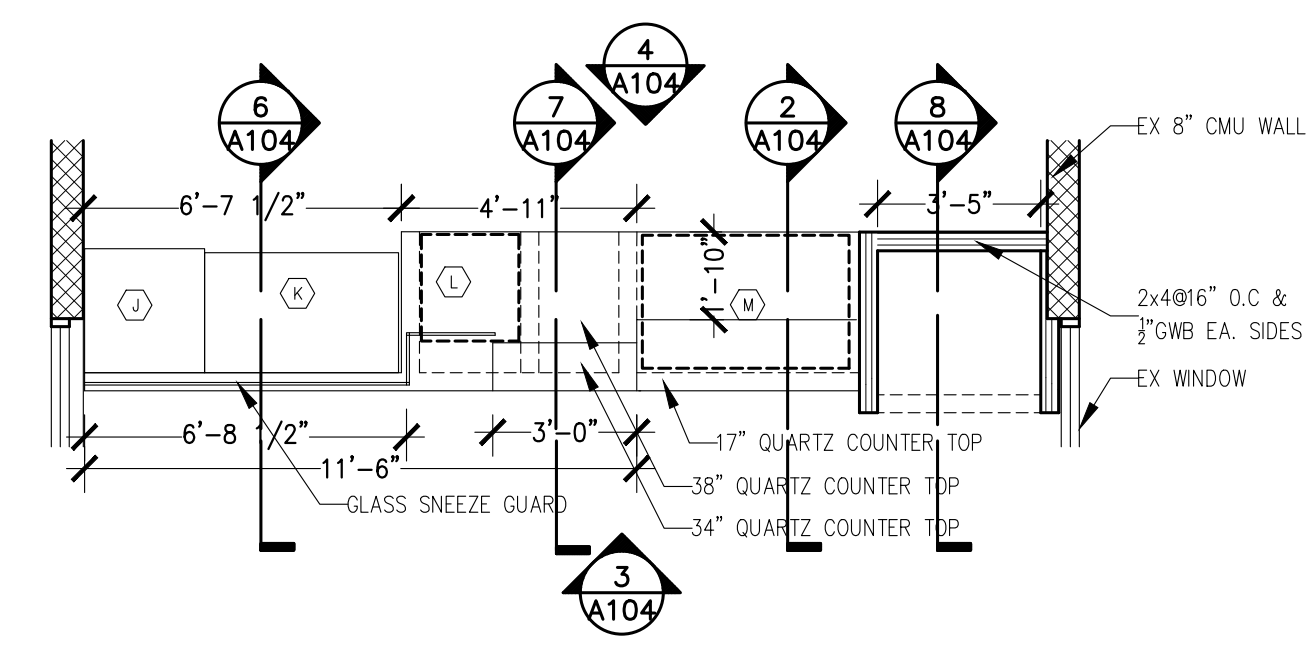


**CROSS SECTION**  
3  
A104  
1/4" = 1'-0"

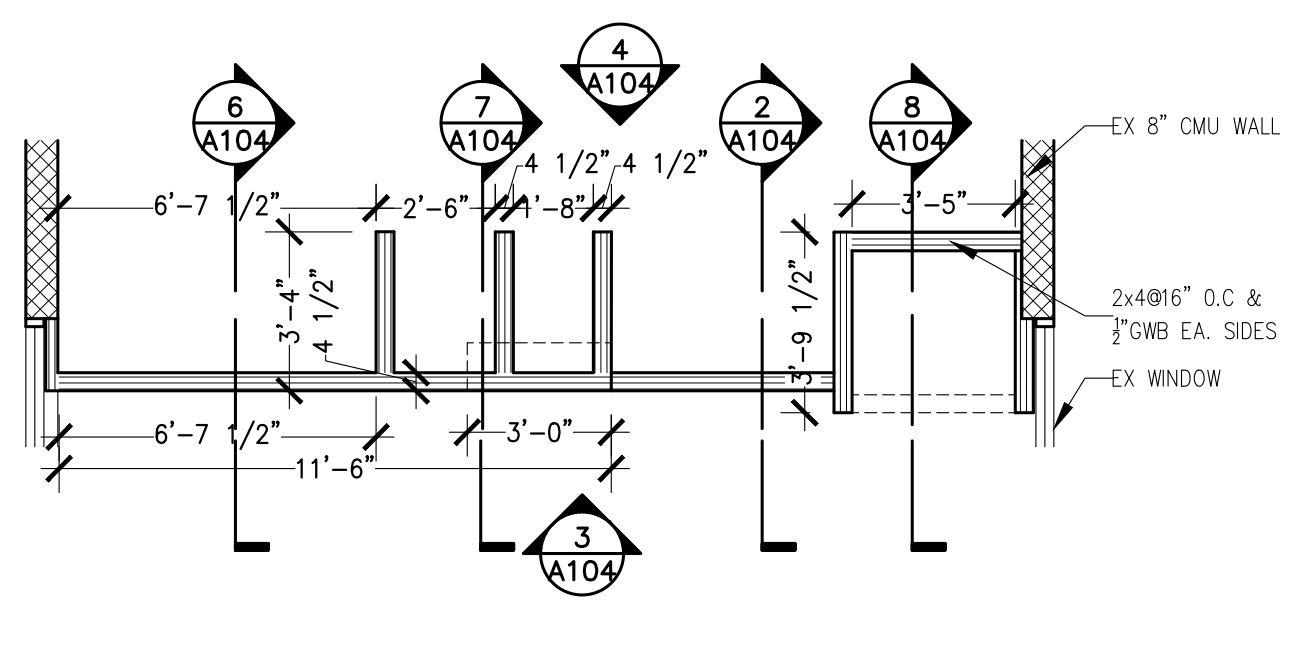


**SECTION**  
7  
A104

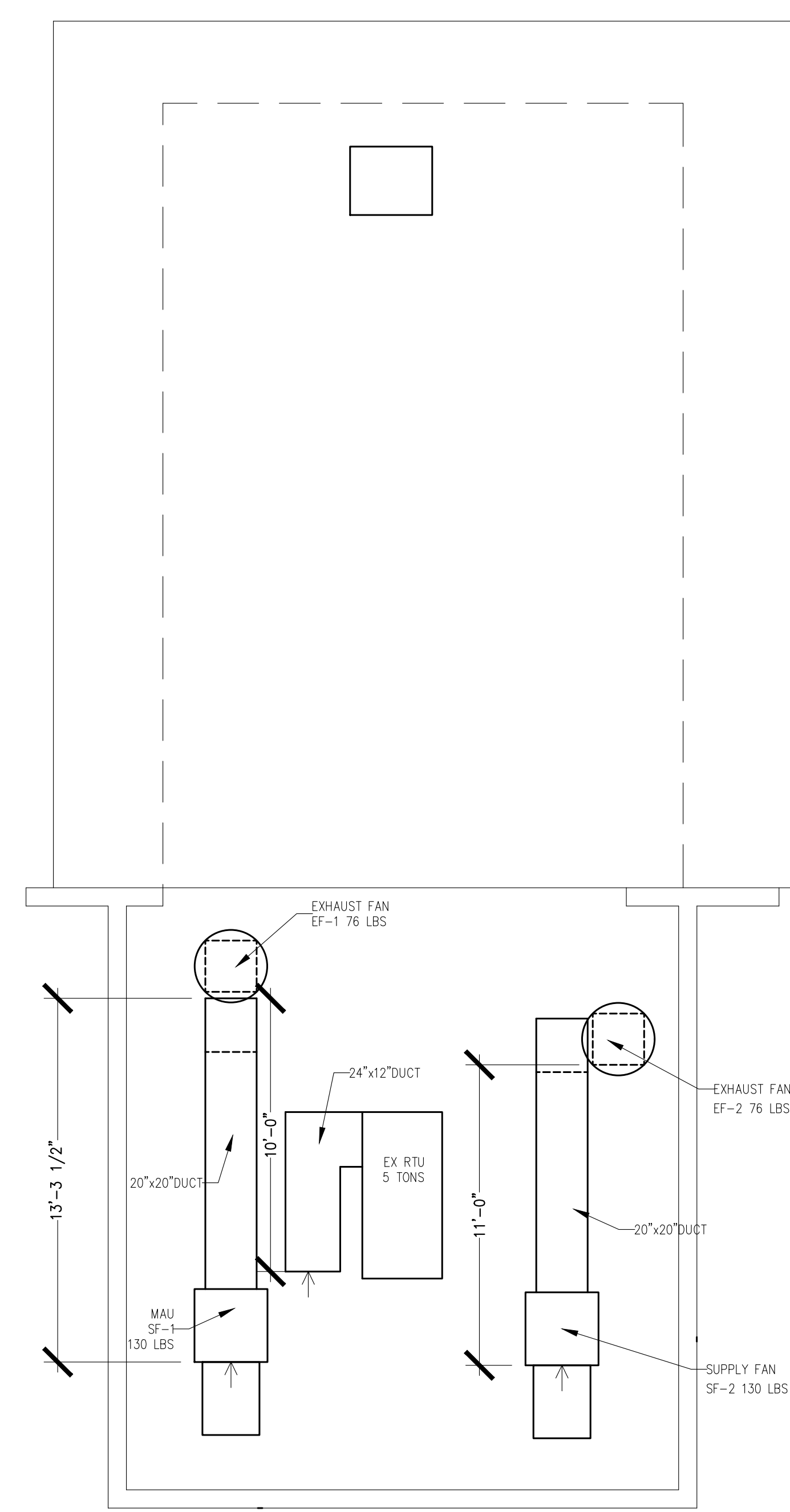
**SECTION**  
8  
A104



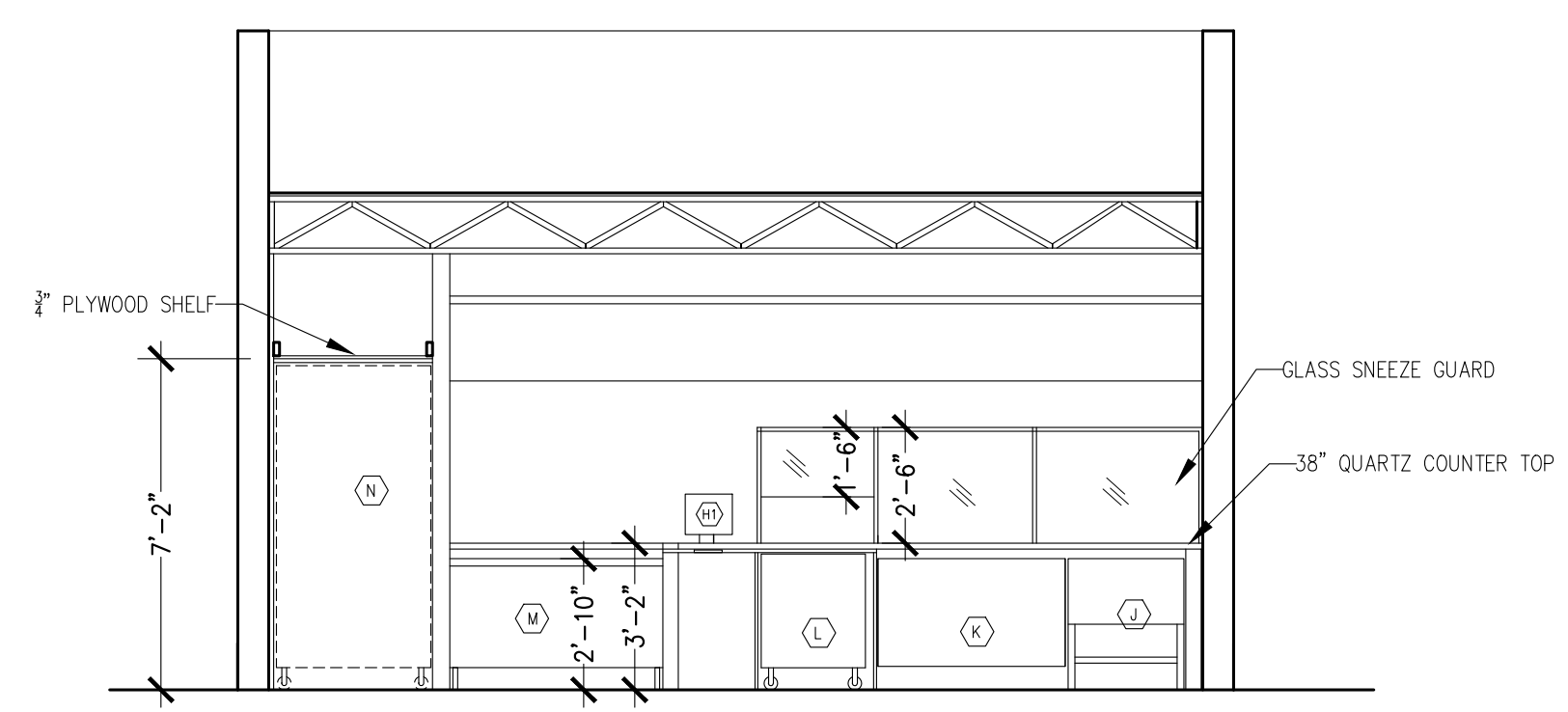
**PART FLOOR PLAN**  
5  
A104  
1/4" = 1'-0"



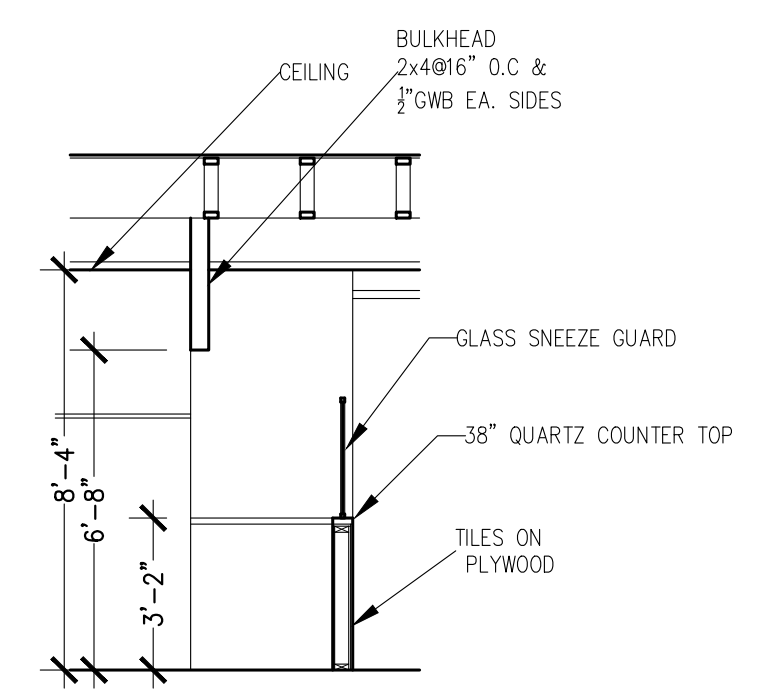
**FLOOR PLAN 12" AFF**  
7  
A104  
1/4" = 1'-0"



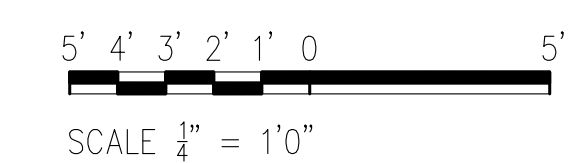
**ROOF PLAN**  
1  
A104  
1/4" = 1'-0"



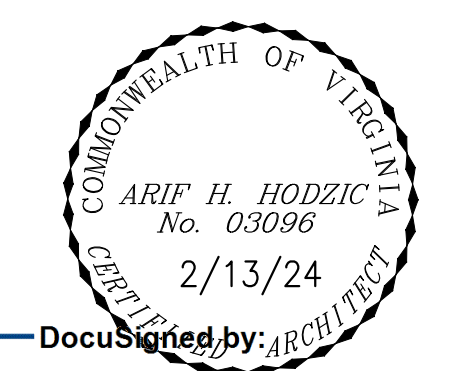
**CROSS SECTION**  
4  
A104  
1/4" = 1'-0"



**SECTION**  
6  
A104



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PROJECT TITLE

REVISIONS

No	DATE	ISSUE
1	2/13/24	PERMIT SET

No | DATE | ISSUE

SCALE:  
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DRAWN BY: AH  
CHECKED BY: AH

PROJECT NO. **2401**

**SECTIONS & ROOF PLAN**

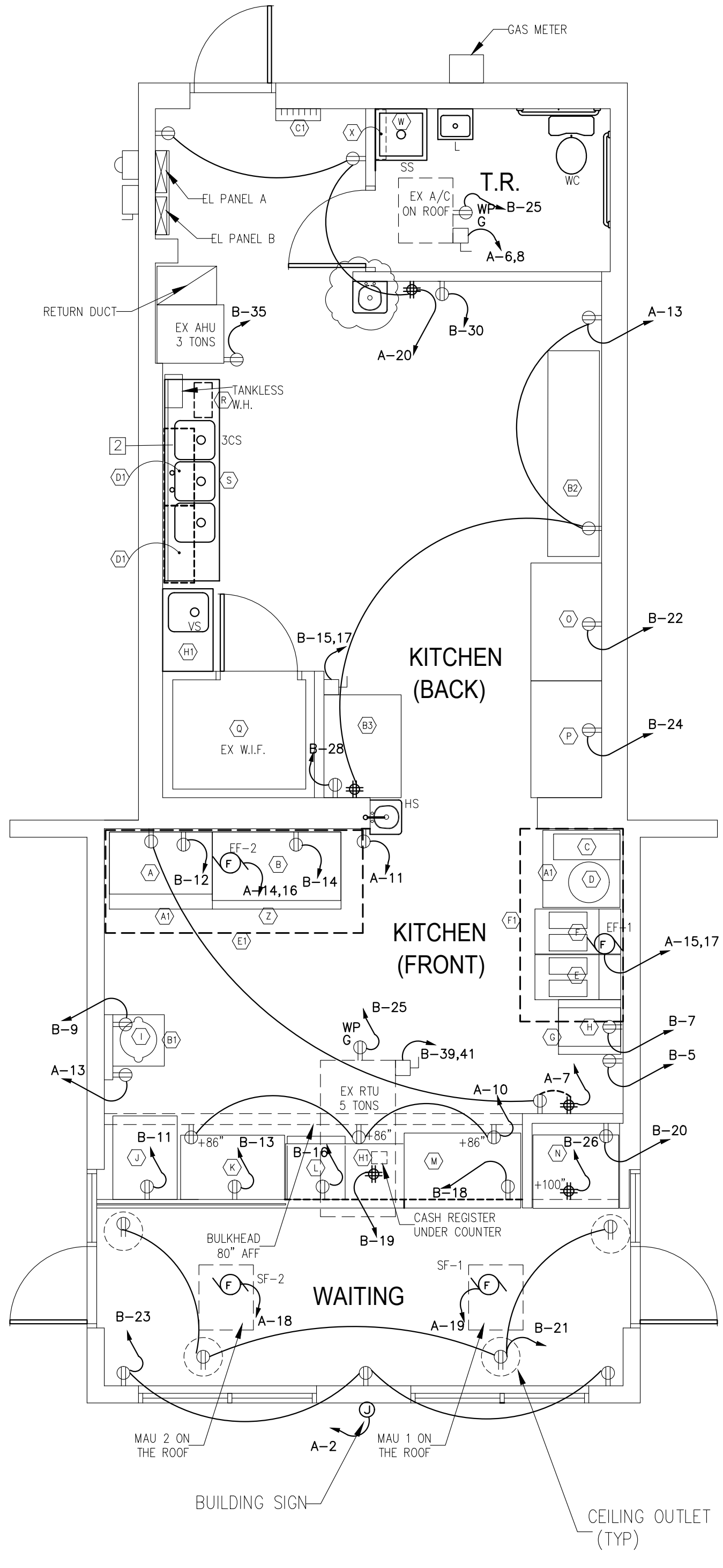
DRAWING TITLE

**A104**

DRAWING NO.  
SHEET 5 of 13

NOTE:  
FOR EQUIPMENT SCHEDULE  
SEE DRAWING E102

- ELECTRICAL NOTES:**
1. LIGHTING FIXTURES & SWITCHES ARE NEW.
  2. WALL AND CEILING OUTLETS ARE NEW.
  3. HVAC SYSTEMS ARE EX TO REMAIN.
  4. EX WALK IN FREEZER SHALL REMAIN.
  5. NEW THANKLESS WH SHALL BE INSTALLED.
  6. ADD EQUIPMENT RECEPTACLES AS SHOWN.
  7. ALL WIRES ARE IN BX CABLE OR CONDUITS.



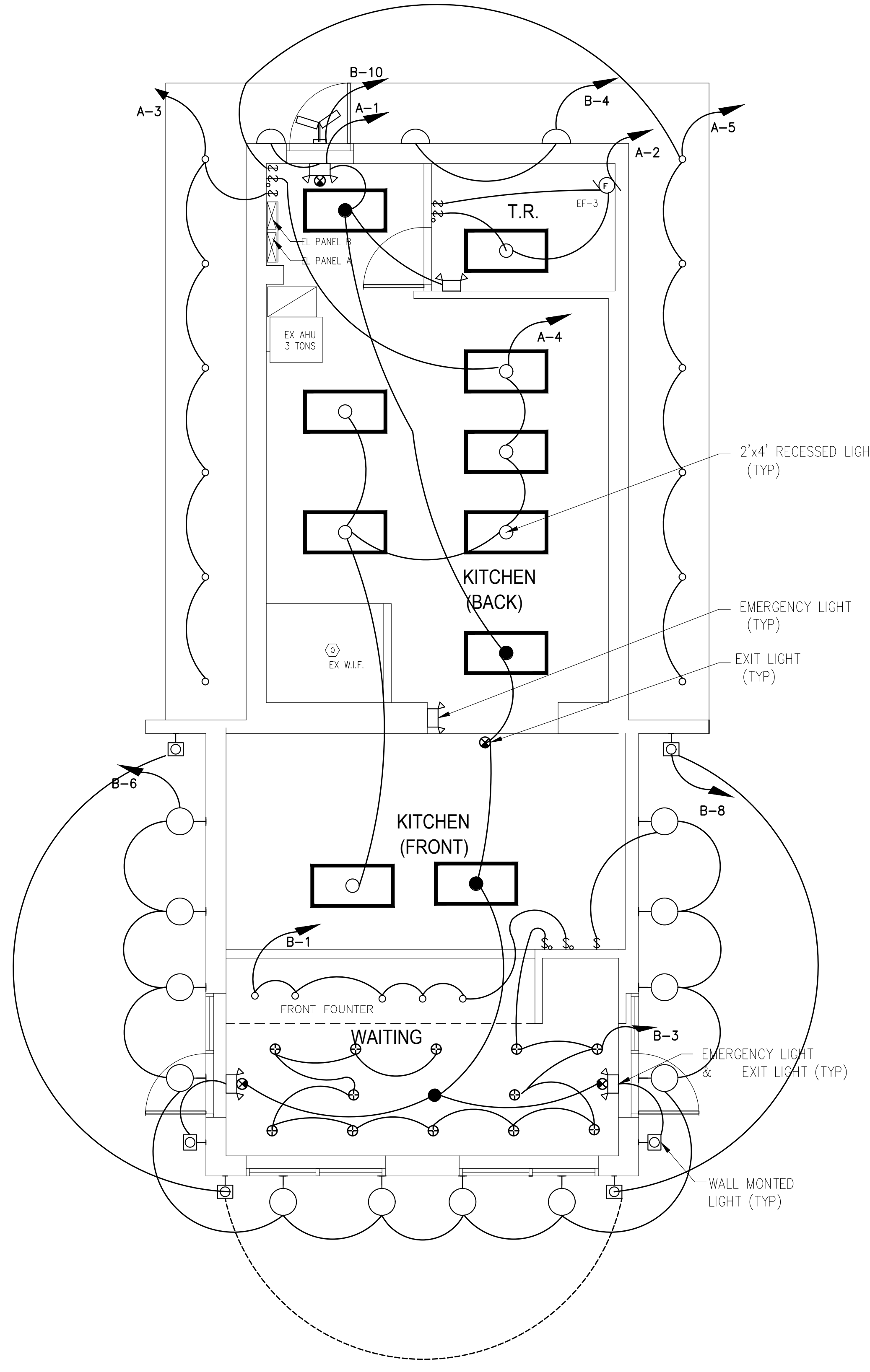
**LIGHTING FIXTURE SCHEDULE**

SYMBOL	MARK	DESCRIPTION	LAMP	MODEL NO.	MANUFACTURER
○	A	2'x4' 120 V	LED 50W	DCL 4.0 PREMIUM	LUME GEN
○	B	WALL MOUNTED LIGHT DUSK TO DOWN OUTDOOR	LED 15 W	14"	GOALPLUS
⊗	EX	EMERGENCY EXIT LIGHT W/ BATTERY BACK-UP	LED 2x2.5 W	MOBPELXWRWB1	MOBERN LIGHTING
⊗	EX	EMERGENCY DUAL LAMP W/ BATTERY BACK-UP INSTALL 84" AFF	LED 2x2.5 W	MOBPELXWRWB2	MOBERN LIGHTING
⊕	C	UP AND DOWN LIGHT WALL MOUNTED	LED 24 W	B07YBWHKSM	CLOUDY BAY
⊕	D	SECURITY LIGHT MOTION SENSOR DUSK TO DOWN OUTDOOR	LED 36 W	FLOOD LIGHT	SANSI
○	E	OVAL LED OUTDOOR WALL MOUNTED	LED 24 W	8.5" EXCLUSIVE	HAMPTON BAY
○	F	4" RECESSED DOWN LIGHT	LED 10 W	HLA4	HALO
○	G	6" RECESSED DOWN LIGHT	LED 12 W	002-4-12W-24	INFOBRITE

**SYMBOLS**

○	2'x4' FLUORESCENT LIGHTING FIXTURE RECESSED GLG PARABOLIC LENS	⊕	DISCONNECT SWITCH
●	2'x4' FLUORESCENT LIGHTING FIXTURE RECESSED GLG PARABOLIC LENS EMERGENCY WHITE	⊗	EXIT LIGHT
⊕	EMERGENCY LIGHT BATTERY PAC	⊕	DUPLEX RECEPTACLE OUTLET
⊕	EXIT LIGHT	⊕	EX RECEPTACLE OUTLET
⊕	EMERGENCY WHITE LIGHT	⊕	GROUND FAULT INTERRUPTOR
⊕	SWITCH WITH MOTION SENSOR	⊕	DUPLEX RECEPTACLE OUTLET BEMAFF
⊕	SWITCH	⊕	220V 220V OUTLET
○	WALL MOUNTED EXTERIOR LIGHT	⊕	QUAD RECEPTACLE OUTLET
○	WALL MOUNTED EXTERIOR LIGHT	⊕	JUNCTION BOX
○	4" RECESSED EXTERIOR LIGHT	⊕	EXHAUST OR SUPPLY FAN
○		⊕	WALL MOUNTED EXTERIOR LIGHT UP AND DOWN
		⊕	WALL MOUNTED EXTERIOR LIGHT MOTION SENSOR
		⊕	6" RECESSED CEILING LIGHT

**COMPLIANCE WITH ELECTRICAL ENERGY CODE:**  
 CARRY OUT 1,650 SF  
 16 LED CEILING LIGHTS @ 50 W = 800 W  
 6 EMERGENCY & EXIT LIGHTS @ 5 W = 30 W  
 2 EXTERIOR LIGHT FIXTURES @ 15 W = 30 W  
 TOTAL LIGHTING 860 W  
 ALLOWED 1,650 SF x 1.4 = 2,310 W > 860 W = OK



5' 4' 3' 2' 1' 0'  
SCALE 1/4" = 1'-0"

**POWER PLAN**  
1  
E101  
1/4" = 1'-0"

5' 4' 3' 2' 1' 0'  
SCALE 1/4" = 1'-0"

**LIGHTING PLAN**  
2  
E101  
1/4" = 1'-0"

**HODZIC ARCHITECTS, P.A.**  
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COMMONWEALTH OF VIRGINIA  
 ARCHITECT  
 No. 03096  
 2/13/24  
 DocuSigned by:  
 Arif Hodzic  
 568810AE7DFC43F...

**OMAR'S PITAS & PLATTERS**  
 3100 RICHMOND HWY  
 ALEXANDRIA, VA 22305

PROJECT TITLE

REVISIONS

2/22/24 CORRECTION  
 1/2/13/24 PERMIT SET  
 No DATE ISSUE

SCALE:  
 DATE: 01/05/2024  
 DRAWN BY: AH  
 CHECKED BY: AH

PROJECT NO. **2401**

**ELECTRICAL FLOOR PLANS**

DRAWING TITLE  
**E101**

DRAWING NO.  
 SHEET 6 of 15

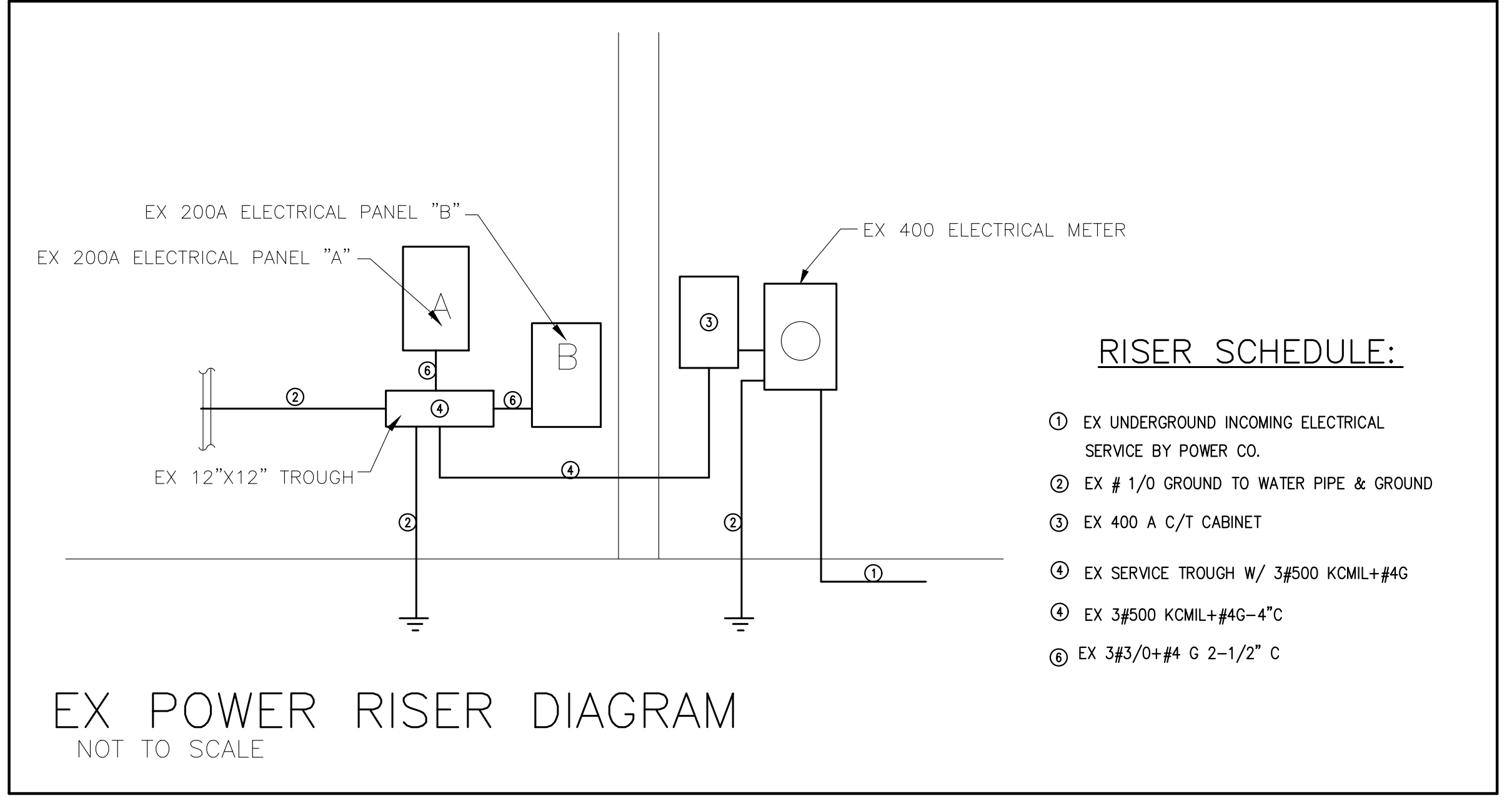
### EX ELECTRICAL PANEL "A"

200A, 240Y/120V, 1Ø, 3W, M.L.O. SURFACE MTD. A.I.C. 10,000

WIRE SIZE	LOAD DESCRIPTION	LOAD KVA		CKT. POLE	BKR. TRIP	CKT. NO.	PHASE		CKT. NO.	BKR. TRIP	CKT. POLE	LOAD KVA		LOAD DESCRIPTION	WIRE SIZE
		A PH	B PH				A	B				A PH	B PH		
* #12	EXIT& EMERG LIGHTS	1.0		1	20	1	⊖		2	20	1	1.5		TOILET LIGHT & EF 3	#12
#12	LIGHT CANOPY LEFT		0.06	1	20	3	⊖		4	20	1	0.3		LIGHTS KITCHEN	#12
#12	LIGHT CANOPY RIGHT	0.06		1	20	5	⊖		6	30	2	1.0		EX A/C ON ROOF	#10
#12	FRONT KITCHEN OUTLETS		0.45	1	20	7	⊖		8	-	-	1.0			**
#12	BECK KITCHEN OUTLETS	0.6		1	20	9	⊖		10	20	1	0.45		CEILING & BULKHEAD OUTLETS	#12
#12	KITCHEN OUTLET NEAR HOOD		0.5	1	20	11	⊖		12	20	1	0.45		WAITING OUTLETS	#12
#12	KITCHEN OUTLET LEFT WALL	0.5		1	20	13	⊖		14	20	2	0.96		EF-2	#10
#10	EF-1		0.96	1	20	15	⊖		16	-	-	0.96			
			0.96	1	20	17	⊖		18	20	1	1.0		SF-2	#12
#12	SF-2		1.0	1	20	19	⊖		20	20	1	0.6		BACK KITCHEN OUTLET NEAR PANELS	#12
		3.12	2.97					CONNECTED KVA 14.31 KVA				4.91	3.31		

\* LOCK ON BREAKER  
\*\* EX CIRCUITS TO REMAIN

TOTAL CONNECTED KVA = 14.31; 0.24 (VOLTAGE)= 59.62 AMPS X 1.25(NEC)= 89.44 AMPS



- RISER SCHEDULE:**
- ① EX UNDERGROUND INCOMING ELECTRICAL SERVICE BY POWER CO.
  - ② EX # 1/0 GROUND TO WATER PIPE & GROUND
  - ③ EX 400 A C/T CABINET
  - ④ EX SERVICE TROUGH W/ 3#500 KCMIL+#4G
  - ⑤ EX 3#500 KCMIL+#4G-4\"/>

### EX ELECTRICAL PANEL "B"

200A, 240Y/120V, 1Ø, 3W, M.L.O. SURFACE MTD. A.I.C. 10,000

WIRE SIZE	LOAD DESCRIPTION	LOAD KVA		CKT. POLE	BKR. TRIP	CKT. NO.	PHASE		CKT. NO.	BKR. TRIP	CKT. POLE	LOAD KVA		LOAD DESCRIPTION	WIRE SIZE
		A PH	B PH				A	B				A PH	B PH		
#12	LIGHTS ABOVE COUNTER	0.6		1	20	1	⊖		2	20	1	1.5		SIGN	#12
#12	LIGHTS WAITING		0.15	1	20	3	⊖		4	20	1	0.05		LIGHTS BACK WALL	#12
#12	Ⓞ FREEZER LOW BOY	1.32		1	20	5	⊖		6	20	1	0.18		LIGHTS WALL OUTSIDE FRONT	#12
#12	Ⓞ FRENCH FRY WARMER		1.85	1	20	7	⊖		8	20	1	0.1		LIGHTS WALL OUTSIDE UP/DN	#12
#12	Ⓞ RICE WARMER	0.15		1	20	9	⊖		10	20	1	0.04		LIGHT OUTSIDE SAFETY	#12
#12	Ⓞ STEAM TABLE		1.0	1	20	11	⊖		12	20	1	0.1	Ⓞ RADIANT CHAR-BROILER	#12	
#12	Ⓞ SALAD BAR	0.7		1	20	13	⊖		14	20	1	0.1	Ⓞ GAS GRIDDLE	#12	
* #10	Ⓞ EX W. IN FREEZER		1.0	2	20	15	⊖		16	20	1	0.15	Ⓞ REFRIG LOW BOY	#12	
			1.0	-	-	17	⊖		18	20	1	1.0	Ⓞ DISPLAY COUNTER	#12	
#12	Ⓞ CASH REGISTER		0.1	1	20	19	⊖		20	20	1	0.6	Ⓞ SODA MERCHENDIZER	#12	
#12	OUTLETS AT CLG	0.6		1	20	21	⊖		22	20	1	0.75	Ⓞ EX REFRIGERATOR 1	#12	
#12	OUTLETS WAITING		0.45	1	20	23	⊖		24	20	1	0.62	Ⓞ EX REFRIGERATOR 2	#12	
#12	OUTLETS ON ROOFG	0.3		1	20	25	⊖		26	20	1	0.3	OUTLET ABOVE REFRIG	#12	
	SPARE					27	⊖		28	20	1	0.3	OUTLET NEXT TO WIC	#12	
	SPARE					29	⊖		30	20	1	0.3	OUTLET BACK KITCHEN		
	SPARE					31	⊖		32				SPARE		
	SPARE					33	⊖		34				SPARE		
* #14	EX AHU	1.0		1	20	35	⊖		36				SPARE		
	SPARE					37	⊖		38				SPARE		
* #4	EX RTU		4.0	2	60	39	⊖		40				SPARE		
			4.0	-	-	41	⊖		42				SPARE		
		9.67	8.55					CONNECTED KVA 24.31 KVA				4.17	1.92		

\* LOCK ON BREAKER  
\*\* EX CIRCUITS TO REMAIN

TOTAL CONNECTED KVA = 24.31; 0.24 (VOLTAGE)= 101.29 AMPS X 1.25(NEC)= 126.16 AMPS

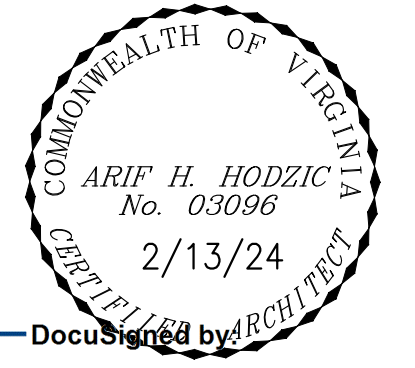
#### EQUIPMENT SCHEDULE

ITEM	TYPE OF EQUIPMENT	QUANT	MANUFACTURER	MODEL NUMBER	VOLTS	PHASE	AMPS	WATTS	HP	GAS MBTU/H	REMARKS
Ⓞ	RADIANT CHAR-BROILER	1	GARLAND	HECOM-48CL	120	1	1			150	
Ⓞ	GAS GRIDDLE	1	MESKITCHEN	FG-MG60	120	1	1			135	
Ⓞ	FREEZER LOW BOY	1	CONTINENTAL	CP250	115	1	11				
Ⓞ	FRENCH FRY WARMER	1	CARTER-HOFFMANN	CM180	120	1	15.1				
Ⓞ	RICE WARMER	1	AVANTO	177890	120	1		105W			
Ⓞ	STEAM TABLE	1	SERVAT	EST-2WS	120	1	6.3	1000W			
Ⓞ	SALAD BAR	1	TRIE	J81-48-W	115	1	5.8				
Ⓞ	REFRIGERATOR LOW BOY	1	AVANTO	WR274C-25-104	115	1	1.1				
Ⓞ	DISPLAY COUNTER	1	DASIS	S8254520R	115	1		1000W			
Ⓞ	SODA MERCHENDIZER	1	AVANTO	17820533HC	115	1	5				
Ⓞ	EX REFRIGERATOR 1	1	DUKERS	D55R	115	1		750 W			
Ⓞ	EX REFRIGERATOR 2	1	ES	ER2A-FS	115	1	4.5	516 W			
Ⓞ	EX WALK IN FREEZER	1	BOHN	LE1940F	115	2		2000 W			
Ⓞ	GREASE TRAP	1	ZURN	GT 2700-25							
Ⓞ	CASH REGISTER	1	TELST (UNDER COUNTER)	FLAX	115	1		25			
Ⓞ	KITCHEN EXHAUST HOOD NO.1	1	HOOD MART	360-EC4	230	2	16				SEE SHOP DRAWINGS
Ⓞ	EX WAU NO.1	1	HOOD MART	SF3-ECM	115	1	9.8				SEE SHOP DRAWINGS
Ⓞ	KITCHEN EXHAUST HOOD NO.2	1	HOOD MART	360-EC4	230	2	16				SEE SHOP DRAWINGS
Ⓞ	EX WAU NO.2	1	HOOD MART	SF3-ECM	115	1	9.8				SEE SHOP DRAWINGS

- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DEVICE LOCATION/ HEIGHTS.
- ALL RECEPTACLES IN KITCHEN PREPARE/MILLWORK SHALL BE GFCI GROUND FAULT CIRCUIT-INTERRUPTER TYPE. BY N.E.C. ARTICLE 210-8 (B) (2).
- COORDINATE WITH ARCHITECT ANY AND ALL EQUIPMENT WHICH REQUIRES OTHER THAN 120V(5-20R) ADJUST WIRING/CIRCUIT BREAKER AS REQUIRED
- ALL RECEPTACLES WITHIN 6" OF A WET AREA SHALL BE GROUND FAULT INTERRUPTER TYPE

**HODZIC ARCHITECTS, P.A.**

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**OMAR'S PITAS & PLATTERS**  
3100 RICHMOND HWY  
ALEXANDRIA, VA 22305

REVISIONS

No	DATE	ISSUE
1	2/13/24	PERMIT SET

SCALE:  
DATE: 01/05/2024  
DRAWN BY: AH  
CHECKED BY: AH

PROJECT NO. **2401**  
**ELECTRICAL PANELS & POWER RISER DIAGRAM**

DRAWING TITLE  
**E102**





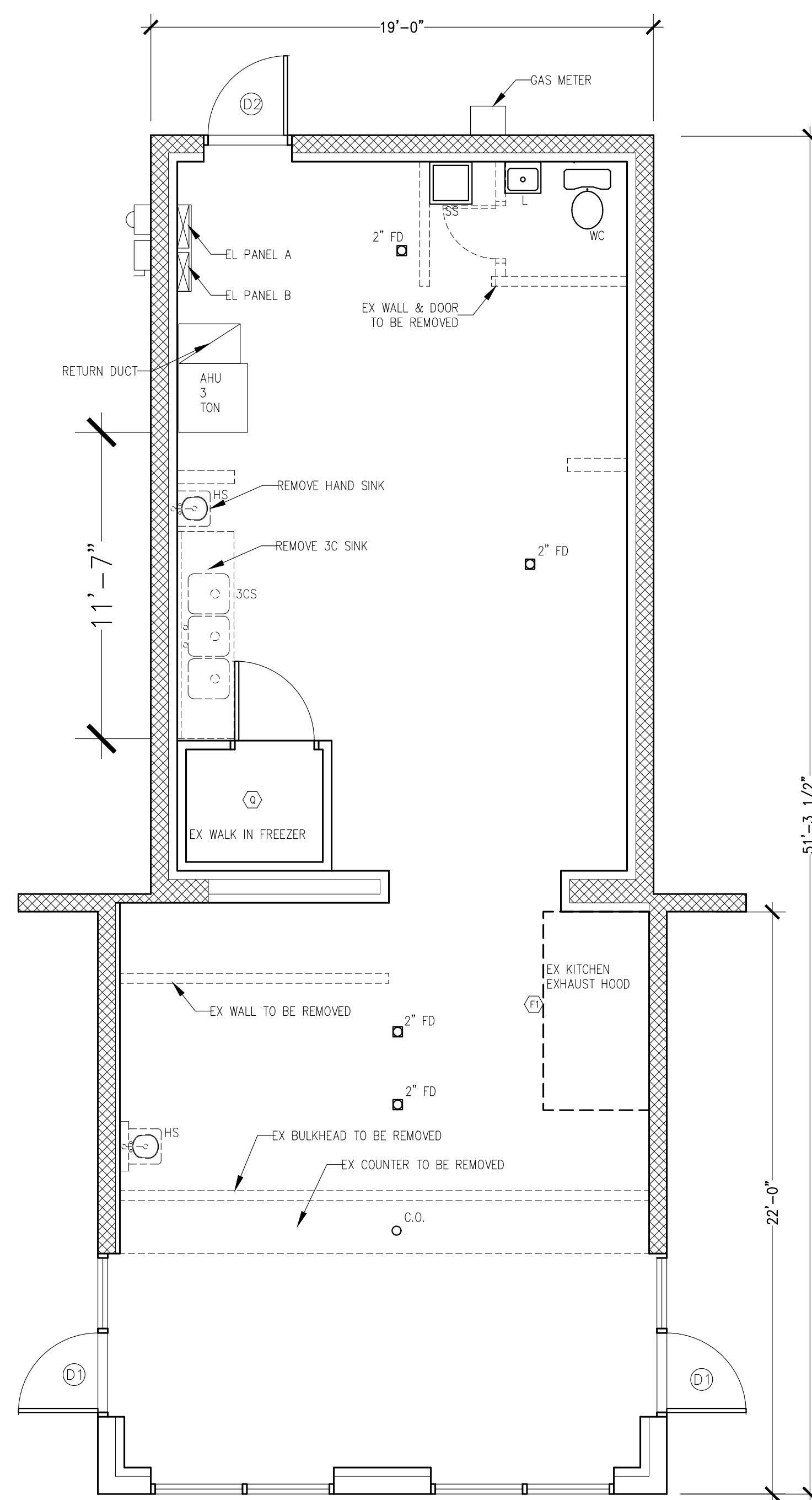
LEGEND	
SANITARY SEWER	—
VENT PIPES	- - - - -
COLD WATER	—
HOT WATER	—
GAS PIPES	—
POINT OF CONNECTION	⊕

FIXTURE CONNECTION SCHEDULE						
MARK	FIXTURE	WASTE	VENT	CW	HW	TW
WC	WATER CLOSET	3"	1 1/2"	1/2"	-	-
L	LAVATORY	2"	1 1/2"	1/2"	-	1/2"
SS	SERVICE SINK	2"	1 1/2"	1/2"	1/2"	-
3CS	3 COMPARTMENT SINK	(3) 1 1/2" INDIRECT	1 1/2"	1/2"	1/2"	-
FS	FLOOR SINK	2"	1 1/2"	-	-	-
HS	HAND SINK	1 - 1/2"	1 1/2"	1/2"	1/2"	-
VS	VEGETABLE SINK	1 - 1/2"	1 1/2"	1/2"	1/2"	-

FLOOR SINK FS BY JOSEM MODEL NO. 49320A 12"SW 6" DEEP

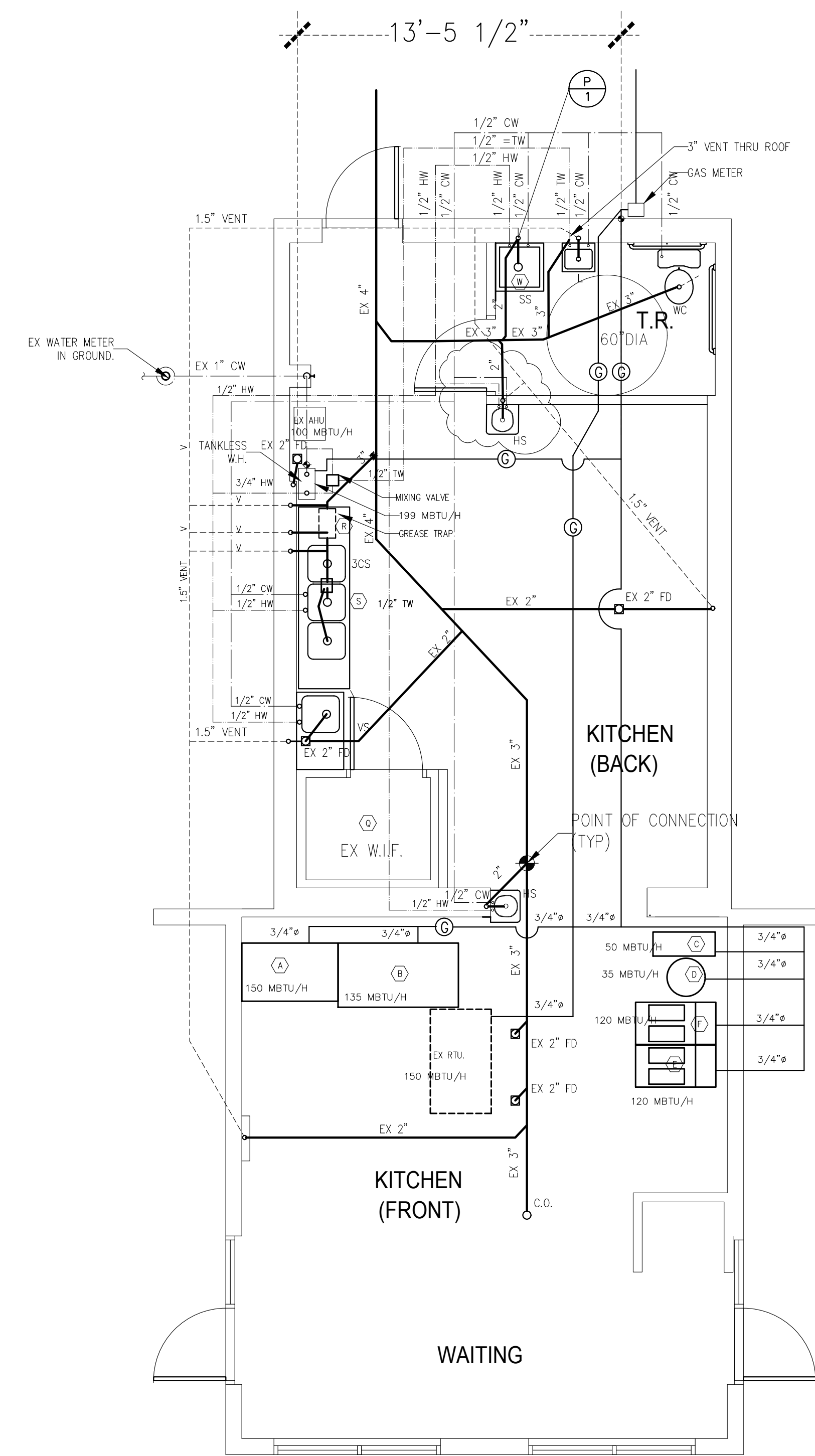
**PLUMBING NOTES:**

- VPC 403.1 REQUIRES ONE TOILET ROOM FOR MEN AND ONE FOR WOMEN, ONE SERVICE SINK AND DRINKING FOUNTAINS.
- VPC 403.3, EXCEPTION 2. PUBLIC TOILETS ARE NOT REQUIRED FOR TAKE OUT OF 300 SF OR LESS.
- VPC 2902.6 SMALL OCCUPANCIES. DRINKING FOUNTAINS ARE NOT REQUIRED OCCUPANCY LOAD OF 15 OR FEWER.
- VPC 2902.7 SUBSTITUTION. DRINKING WATER IN CONTAINER IS FREE OF CHARGE. DRINKING FOUNTAIN NOT REQUIRED.
- EXISTING WATER CLOSET SHALL REMAIN. ADD GRAB BARS.
- EXISTING LAVATORY AND SERVICE SINK SHALL BE RELOCATED.
- EXISTING 3C SINK SHALL BE RELOCATED.
- EXISTING HAND SINK SHALL BE RELOCATED.
- NEW THANKLESS WH SHALL BE INSTALLED, FEEDING ALL KITCHEN FIXTURES, SET AT 120° F.
- NEW MIXING VALVE SHALL BE INSTALLED, FEEDING LAVATORY.
- PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL PLUMBING FIXTURES COMPLETE AS LISTED IN "PLUMBING FIXTURE SCHEDULE"
- PLUMBING CONTRACTOR MAY USE SCHEDULE 40 OR 80 TYPE 1, GRADE 1, POLYVINYL CHLORIDE PIPE FOR ALL SOIL, WASTE AND VENT PIPING WHERE PERMITTED BY LOCAL CODES. WHERE PVC PIPING IS NOT PERMITTED BY LOCAL CODES, USE STANDARD WEIGHT CAST IRON PIPING.
- BEFORE START TO WORK CONTRACTOR HAS TO VERIFY ALL LOCATIONS OF EXISTING SEWER & WATER LINES.
- PROVIDE STOP VALVES FOR EACH PLUMBING FIXTURE UNLESS FIXTURES ARE EQUIPPED WITH FLUSH VALVES WITH INTEGRAL STOP.
- PROVIDE SHUT-OFF VALVES FOR CONNECTION TO EACH APPLIANCE AND/OR EQUIPMENT.
- GREASE TRAP SHALL BE INSTALLED AT 3 COMP SINK.



**2**  
P101 **DEMO PLUMBING PLAN**  
1/4" = 1'-0"

5' :  
SC



5' 4' 3' 2' 1' 0 5'  
SCALE 1/4" = 1'0"

**1**  
P101 **PLUMBING PLAN**  
1/4" = 1'-0"

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COMMONWEALTH OF VIRGINIA  
ARIF H. HODZIC  
No. 03096  
2/13/24  
Documented by: ARCHITECT  
*Arif Hodzic*  
568810AE7DFC43F...

**OMAR'S PITAS & PLATTERS**  
3100 RICHMOND HWY  
ALEXANDRIA, VA 22305

PROJECT TITLE

REVISIONS

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1/2/13/24 PERMIT SET

No. DATE ISSUE

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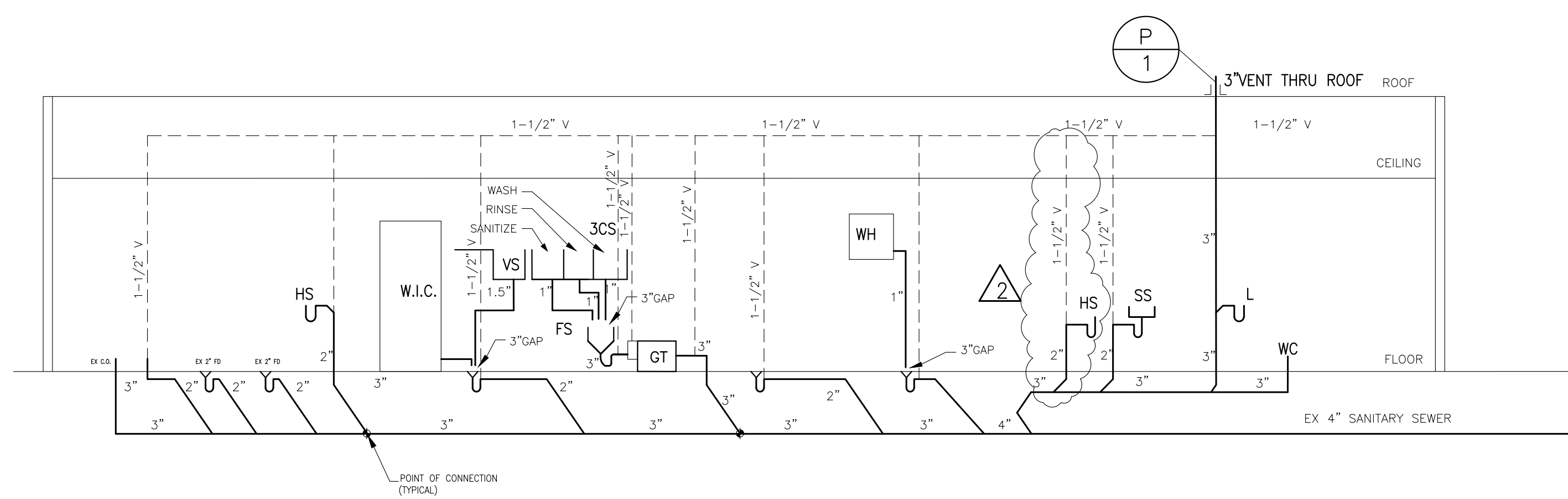
PROJECT NO. **2401**  
**PLUMBING PLANS**

DRAWING TITLE  
**P101**

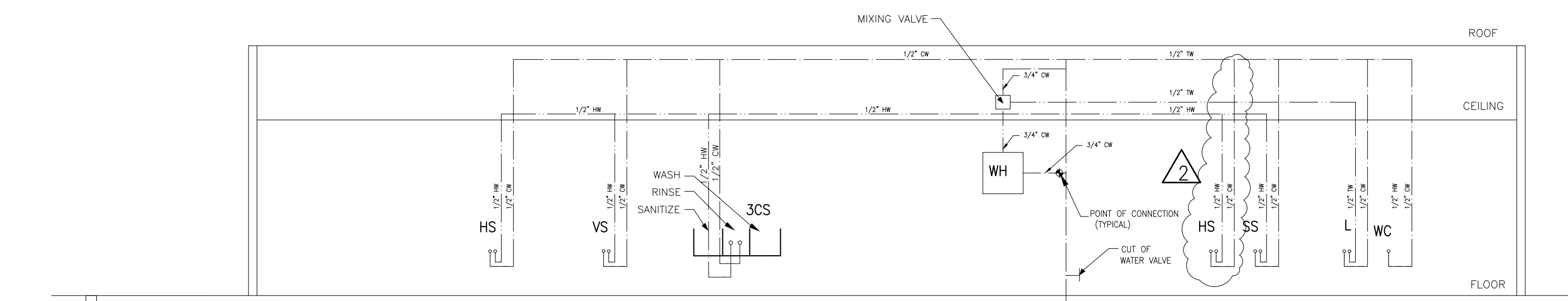
DRAWING NO.  
SHEET 9 of 14

FROM TABLE VPC 403.1 MINIMUM NUMBER AND TYPE OF FITURES						
	WATER CLOSET		LAVATORIES		DRINKING FOUNTAINS	OTHER SERVICE SINK
	M	F	M	F		
REQUIRED FOR MERCANTILE OCCUPANCY 17	1/500		1/750		1/1000	1
PROVIDED	1		1		0	1 NOTE 7:

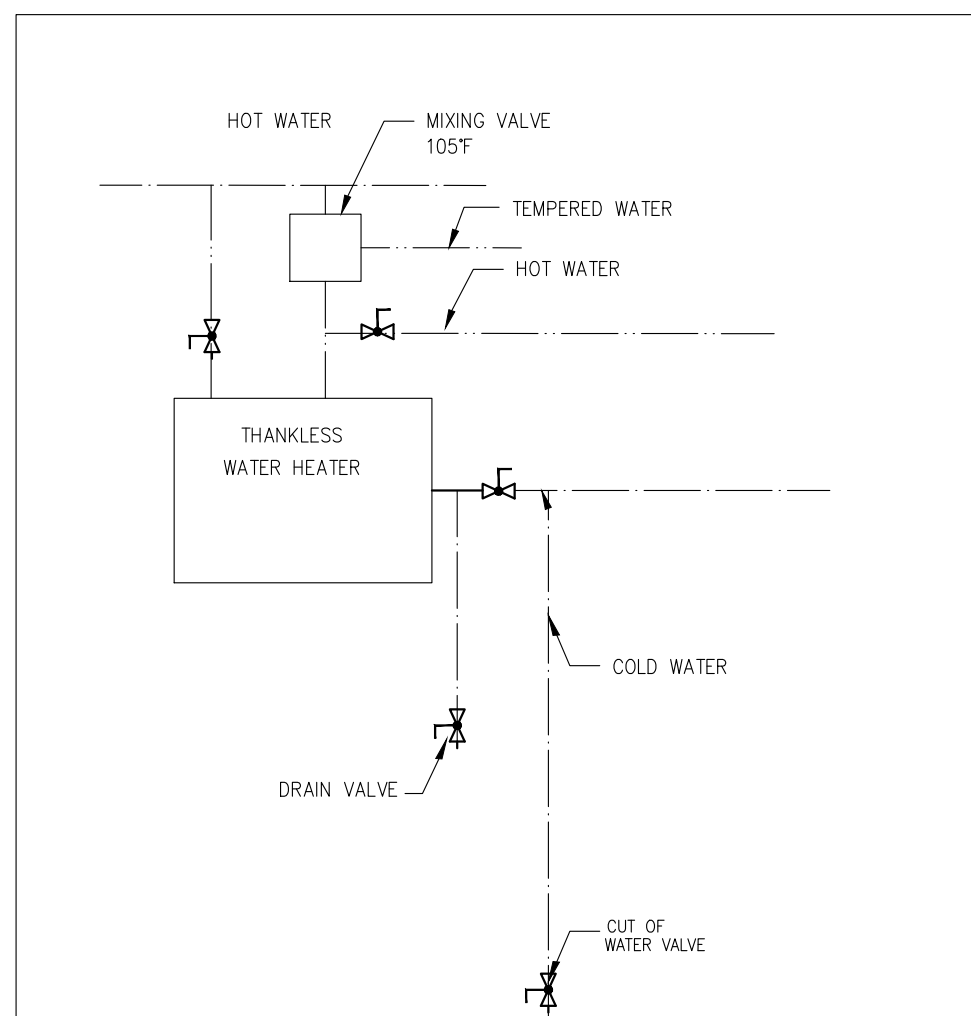
- VPC 403.1 REQUIRES ONE TOILET ROOM FOR MEN AND ONE FOR WOMEN, ONE SERVICE SINK AND DRINKING FOUNTAINS.
- VPC 403.3, EXCEPTION 2. PUBLIC TOILETS ARE NOT REQUIRED FOR TAKE OUT OF 300 SF OR LESS.
- VPC 2018 SECTION 402.2 EXCEPTION 3. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH OCCUPANT LOAD IS 100 OR LOWER.
- VPC 2902.7 SUBSTITUTION. DRINKING WATER IN CONTAINER IS FREE OF CHARGE. DRINKING FOUNTAIN NOT REQUIRED.
- VPC 2902.6 SMALL OCCUPANCIES. DRINKING FOUNTAINS ARE NOT REQUIRED OCCUPANCY LOAD OF 15 OR FEWER.



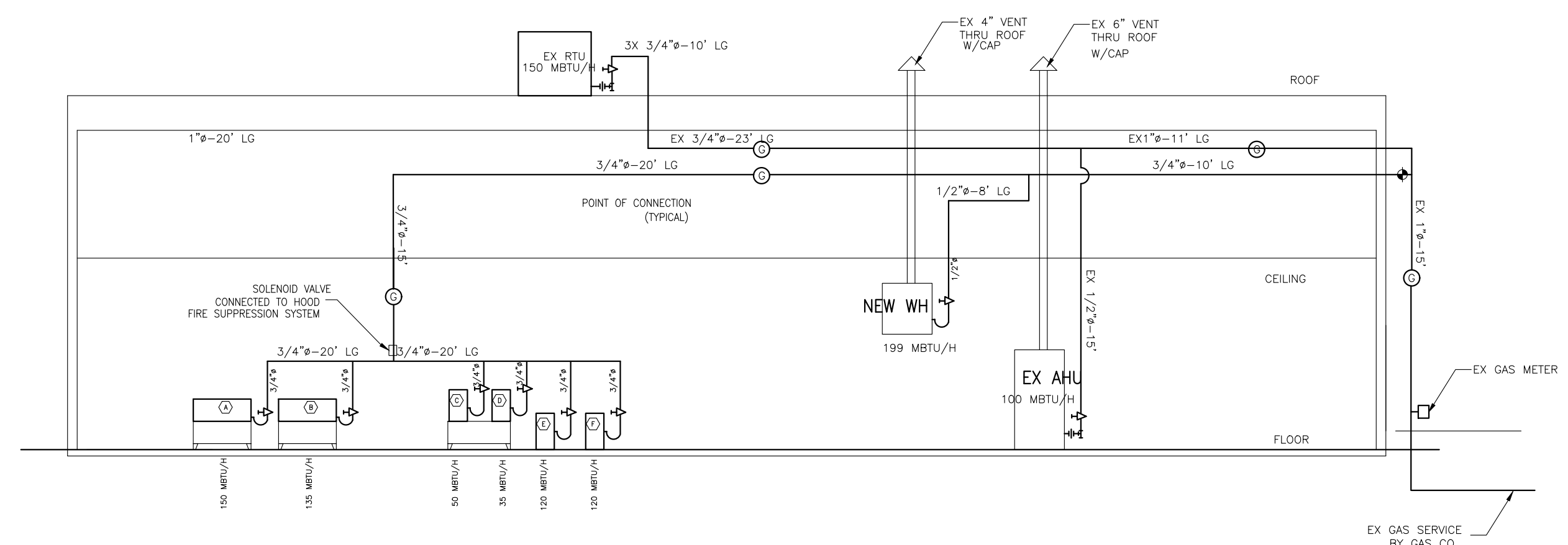
1 SANITARY RISER DIAGRAM  
NOT TO SCALE



2 WATER RISER DIAGRAM  
NOT TO SCALE



4 WATER HEATER  
NO SCALE



3 GAS RISER DIAGRAM  
NOT TO SCALE

**REGENCY**  
Gas Hoses

**Regency 48" Mob Full Port Valve, Re 3/4"**  
#600GKM3448

**Features**

- 48" long hose; 3/4" diameter
- For use with mobile equipment that will be regularly moved for cleaning and maintenance
- Flexible stainless steel corrugated tube with stainless steel braid for stretch prevention
- Yellow PVC coating prevents grease buildup; fittings allow 360 degree rotation at both ends
- Includes (2) elbows, full port valve, restraining device, and quick disconnect

**GREASE TRAP CALCULATION USING ASPE FORMAT FOR 3 COMPARTMENT SINK**

**GIVEN** - GREASE FOR RESTAURANT IS LIMITED TO THE CLEANING OF CONTAINERS THAT HOLD REFRIGERATED PEPPERONI, SAUSAGE PIECES, CHEESE & VEGETABLE OILS. ALL OF THE ARTICLES ARE OF SMALL SIZE & TRACE QUANTITIES.

THERE IS ONE THREE COMPARTMENT SINK, EACH SINK BASIN IS 10" X 14" X 10". THIS IS A GROSS VOLUME 25 GALLONS.

**CALCULATION** -

- DRAINAGE LOAD = 25 GALLON @ 75% FULL (THIS INCLUDES UTENSIL DISPLACEMENT) = 18.7 GAL
- FLOW RATE = 18.7 GAL. = 10 GPM  
2 MIN. DISCHARGE MAX FLOW
- GREASE TRAP = VOLUME  $V = \frac{QP}{VOLUME}$

$V = \frac{(10)(1)}{7.48} \quad V = 1.33 \text{ FT.}^3$

**GREASE TRAP INTERCEPTOR PROVIDED FOR 3 COMPARTMENT SINK**

**ZURNE INDUSTRIES** - STEEL GREASE TRAP INTERCEPTOR, 3 IN, 20 GPM

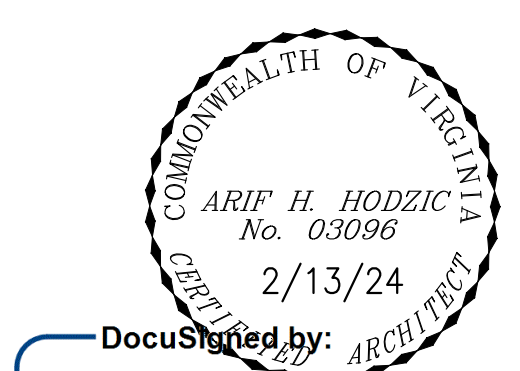
MODEL NO GT2700-20-3NH  
GREASE CAPACITY 40 LBS  
FLOW RATE 20 GPM  
LENGTH 15"  
INLET 3"

NOTE: GREASE INTERCEPTOR SHALL BE EQUIPPED WITH DEVICE TO CONTROL RATE OF WATER FLOW SO THE WATER FLOW DOES NOT EXCEED THE RATED FLOW.

**GAS NOTES:**

- BLACK STEEL, SCHEDULE 40 METALLIC PIPING WITH MALLEABLE THREADED FITTINGS FOR 2 INCH OR SMALLER PIPE. NATURAL GAS PIPING SIZED PER IFGC 402.4(5) INLET PRESSURE 2 PSI, PRESSURE DROP OF 1.0 PSI, SPECIFIC GRAVITY 0.60. MAXIMUM DEVELOPED LENGTH OF 167 FT INCLUDING FITTING PRESSURE LOSSES. PROVIDE WITH REDUCERS AS REQUIRED. TOTAL CAPACITY USED 1,059 MBTU/H.
- GAS REGULATORS SHALL BE EQUIPPED WITH A LEAK-LIMITING DEVICE.

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DocuSigned by:  
**Arif Hodzic**  
568810AE7DFC43F...

**OMAR'S PITAS & PLATTERS**  
3100 RICHMOND HWY  
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PROJECT NO. **2401**

**PLUMBING**  
**RISER DIAGRAMS**

DRAWING TITLE  
**P102**

DRAWING NO.  
SHEET 10 of 14

**BUILDING CODE**  
INTERNATIONAL BUILDING CODE (IBC): 2018  
VIRGINIA UNIFORM STATE WIDE BUILDING CODE : 2018

**LIVE LOADS**  
MINIMUM ROOF LIVE LOAD: 30 PSF  
INTERIOR WALLS AND PARTITIONS: 5 PSF HORIZONTAL  
FLOOR LOADS: 40 PSF  
STAIR LOADS : 40 PSF

**SNOW LOAD CRITERIA**  
Pg (GROUND SNOW LOAD): 25 PSF  
RISK CATEGORY: II  
IMPORTANCE FACTOR I<sub>s</sub>: 1.0  
THERMAL FACTOR C<sub>t</sub>: 1.0  
EXPOSURE FACTOR C<sub>e</sub>: 1.0  
PI (FLAT-ROOF SNOW LOAD): 21 PSF EQUIVALENT UNIFORM LOAD WHEN GREATER THAN FLAT ROOF SNOW LOAD + DRIFTING

**WIND LOAD CRITERIA**  
ULTIMATE WIND SPEED V: RISK CATEGORY II, 111 MPH  
V<sub>50</sub> = 85 MPH  
RISK CATEGORY: II  
EXPOSURE CATEGORY: B  
G<sub>z</sub>: +/-0.18

**SEISMIC LOAD CRITERIA**  
RISK CATEGORY: II  
IMPORTANCE FACTOR I<sub>e</sub>: 1.00  
S<sub>s</sub>: **0.197**  
S<sub>1</sub>: **0.051**  
S<sub>ds</sub>: **0.211**  
S<sub>d1</sub>: **0.081**  
SITE CLASS: **D**  
SEISMIC DESIGN CATEGORY: **B**  
ORDINARY REINFORCED MASONRY SHEAR WALLS (R-2), ORDINARY  
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

**GENERAL**  
1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE STABILITY AND SAFETY DURING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF SHEETING, SHORING, TEMPORARY BRACING, GUYS, AND TIEDOWNS. THE CONTRACTOR SHALL PROVIDE SHORING AND BRACING NECESSARY TO PROTECT EXISTING AND ADJACENT STRUCTURES.  
2. STRUCTURAL DOCUMENTS SHALL BE USED WITH OTHER CONSTRUCTION DOCUMENTS, INCLUDING ARCHITECTURAL, M/E/P, AND SITE DOCUMENTS. COORDINATE WITH THESE DOCUMENTS. ALL FLOOR AND ROOF OPENINGS, DEPRESSIONS, DIMENSIONS, AND SLOPES, ETC. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LIMITING CONSTRUCTION LOADS SUCH THAT THESE LOADS DO NOT EXCEED THE DESIGN LIVE LOADS NOTED ABOVE. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS REQUIRED DURING CONSTRUCTION TO SUPPORT CONSTRUCTION LOADS UNTIL SUCH TIME THAT THE STRUCTURE IS ABLE TO SUPPORT THE DESIGN LIVE LOADS NOTED.  
4. SECTIONS AND DETAILS SHOWN ON THE STRUCTURAL DOCUMENTS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS THAT DO NOT HAVE A SPECIFIC SECTION INDICATED.  
5. TYPICAL DETAILS APPLY AT ALL APPROPRIATE LOCATIONS AND ARE NOT GENERALLY CUT ON PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TYPICAL DETAIL APPLICATIONS.  
6. FOR INCONSISTENCIES BETWEEN GENERAL NOTES, SPECIFICATIONS AND CONSTRUCTION DOCUMENTS, THE STRICTER REQUIREMENT SHALL APPLY, AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.  
7. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND MISCELLANEOUS ITEMS INCLUDING BUT NOT LIMITED TO CLIPS, INSERTS, TIES, ANCHOR STRAPS, HANGERS, BOLTS, AND OTHER FASTENERS REQUIRED TO COMPLETE THE WORK.

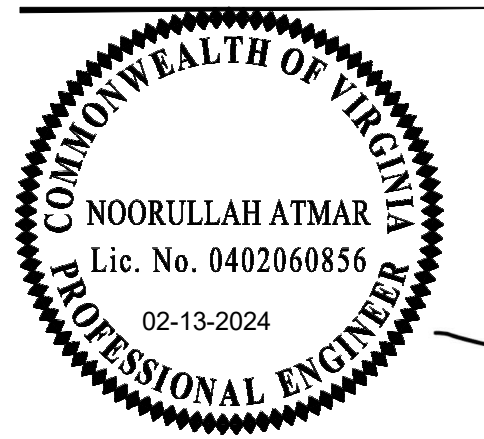
**POST INSTALLED MECHANICAL AND CHEMICAL ANCHORS**  
1. ALL MECHANICAL AND CHEMICAL ANCHORS INDICATED WITHIN THESE DOCUMENTS SHALL BE PROVIDED BY HILTI, POWERS, OR AN STRUCTURA-APPROVED EQUIVALENT. ALTERNATE ANCHORS SHALL BE SUBMITTED TO STRUCTURA FOR APPROVAL. SUBMITTAL MUST INCLUDE ALL RELEVANT TECHNICAL INFORMATION INCLUDING ALLOWABLE LOAD VALUES. THE FOLLOWING ANCHORS WERE ASSUMED DURING DESIGN UNLESS SPECIFICALLY NOTED OTHERWISE:  
A. CHEMICAL ANCHORS: HILTI HAS-E RODS (STANDARD) W/ HILTI HIT-HY 200 ADHESIVE SYSTEM.  
i. 6 5/8" MINIMUM EMBEDMENT  
ii. 6" MINIMUM EDGE DISTANCE FROM FREE EDGE (IN DIRECTION OF LOAD)  
B. EXPANSION ANCHORS: HILTI KWIK BOLT III  
i. 6" MINIMUM EMBEDMENT  
ii. 6" MINIMUM EDGE DISTANCE FROM FREE EDGE (IN DIRECTION OF LOAD)  
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANCHOR LOCATIONS AT ALL MASONRY WALLS. MASONRY WALLS SHALL BE GROUTED SOLID AT ALL ANCHOR LOCATIONS FOR A MINIMUM OF 12 INCHES IN ALL DIRECTIONS FROM ANCHOR CENTERLINE.  
3. ALL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE ANCHOR MANUFACTURER'S SPECIFICATIONS.  
4. UON, ALL ANCHORS SHALL HAVE STANDARD EMBEDMENT DEPTH AS DEFINED BY THE ANCHOR MANUFACTURER.

**LEGEND**  
N = NEW  
E = EXISTING  
O.C. = ON CENTER  
THRU = THROUGH  
MSY = MASONRY  
DIAM = DIAMETER  
FRT = FIRE RETARADANT TREATED WOOD  
MAX = MAXIMUM  
CANT = CANTILEVER

**STRUCTURAL WOOD FRAMING**  
1. STRUCTURAL LUMBER SHALL CONFORM TO AFPA'S NDS "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", WITH SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION". LUMBER GRADING AND IDENTIFICATION SHALL COMPLY WITH PROCEDURES OF DOC PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD".  
2. STRUCTURAL LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT WITH THE FOLLOWING MINIMUM PROPERTIES:  
A. ALL CONDITIONS U.N.O. - SPRUCE PINE FIR NO.1(NO.2 (OR APPROVED ALTERNATE), VISUALLY GRADED, WITH THE FOLLOWING MINIMUM PROPERTIES: F<sub>b</sub> = 875 PSI, E = 1,400,000 PSI, F<sub>c</sub> = 1,150 PSI, F<sub>v</sub> = 135 PSI, F<sub>c</sub> PERP = 425 PSI  
3. LAMINATED VENEER LUMBER (LVL) SHALL BE AS MANUFACTURED BY TRUSS JOIST, OR EQUIVALENT. SHALL NOT BE USED IN EXTERIOR APPLICATIONS. LVL'S SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F<sub>b</sub> = 2,600 PSI, E = 2,000,000 PSI, F<sub>v</sub> = 285 PSI.  
3. PLYWOOD SHALL CONFORM TO APA'S "PLYWOOD DESIGN SPECIFICATION" AND DOC PS 1 "CONSTRUCTION AND INDUSTRIAL PLYWOOD" UNLESS NOTED OTHERWISE. PANELS SHALL BE INSTALLED WITH THE LONG DIMENSION ACROSS SUPPORTS (INCLUDING EXTERIOR WALLS).  
A. PLYWOOD FLOOR SHEATHING SHALL BE 3/4", STURD-I-FLOOR, EXPOSURE 1, WITH TONGUE AND GROOVE EDGES. GLUE AND ATTACH SHEATHING ALONG PANEL EDGES WITH 10d NAILS AT 6" OC AND ALONG INTERMEDIATE FRAMING MEMBERS AT 12" OC. FIELD-GLUE SHALL CONFORM TO APA SPECIFICATION AFG-01.  
B. PLYWOOD ROOF SHEATHING SHALL BE 1/2", STRUCTURAL 1, EXPOSURE 1. ATTACH SHEATHING ALONG PANEL EDGES WITH 8d NAILS AT 6" OC AND ALONG INTERMEDIATE FRAMING MEMBERS AT 12" OC. PROVIDE PANEL CLIPS AT UNSUPPORTED EDGES AT 12" OC, DO NOT PROVIDE PANEL CLIPS ON ROOFS TO RECEIVE A METAL FINISH. ROOF SHEATHING SHALL BE INSTALLED ON MAIN ROOF MEMBERS PRIOR TO THE INSTALLATION OF OVERFRAMING MEMBERS.  
C. PLYWOOD ROOF SHEATHING AT DECKS AND TERRACES SHALL BE 3/4", STURD-I-FLOOR, EXPOSURE 1, WITH TONGUE AND GROOVE EDGES. GLUE AND ATTACH SHEATHING ALONG PANEL EDGES WITH 10d NAILS AT 6" OC AND ALONG INTERMEDIATE FRAMING MEMBERS AT 12" OC. FIELD-GLUE SHALL CONFORM TO APA SPECIFICATION AFG-01.  
D. WHERE NOTED ON PLANS, BLOCKED DIAPHRAGMS SHALL HAVE 2x BLOCKING AT 4 FEET OC (PANEL EDGES). ATTACH SHEATHING ALONG PANEL EDGES WITH 10d NAILS AT 6" OC, ALONG DIAPHRAGM BOUNDARIES AT 4" OC, AND ALONG INTERMEDIATE MEMBERS AT 12" OC.  
4. FASTENERS SHALL CONFORM TO THE FOLLOWING MINIMUM PROPERTIES:  
A. THRU BOLTS SHALL CONFORM WITH ANSIA/SME B18.2.1 WITH A MINIMUM BENDING YIELD STRENGTH F<sub>y</sub> = 45 KSI (OR ASTM A307)  
B. COMMON WIRE NAILS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F1667  
C. CUSTOM STEEL PLATE CONNECTIONS SHALL CONFORM TO ASTM A36, 1/4 INCH MINIMUM THICKNESS, UNLESS NOTED OTHERWISE.  
D. FASTENERS USED WITH PREFABRICATED CONNECTORS SHALL FOLLOW MANUFACTURER LITERATURE AND RECOMMENDATIONS.  
E. CUSTOM STEEL SHEET CONNECTIONS SHALL CONFORM TO ASTM A663, GRADE 33.  
5. ALL FASTENERS AND PREFABRICATED CONNECTORS (HARDWARE) USED WITH PRESERVATIVE TREATED WOOD SHALL HAVE EITHER A HOT-DIP GALVANIZING G185 COATING ACCORDING TO ASTM A153 AND A123 OR SHALL BE STAINLESS STEEL TYPE 304 AND 316.  
6. WALL TOP AND BOTTOM PLATES ARE DESIGNED AS CONTINUOUS. STAGGER SPLICE LOCATIONS OF MULTIPLE MEMBER PLATES. PLATES SHALL BE LAPPED AT ALL BEARING/SHEAR WALL CORNERS. PROVIDE 16 GA COVER PLATES AT WALL INTERSECTIONS, CORNERS AND SPLICE LOCATIONS  
7. PRESSURE TREATED LUMBER AND PLYWOOD SHALL BE IMPREGNATED WITH PRESERVATIVE SYSTEMS HAVING MINIMAL RETENTION LEVELS CONFORMING TO AMERICAN WOOD PRESERVERS ASSOCIATION AWPA STANDARD U1-06 (2006 BOOK OF STANDARDS). PRESERVATIVE PRESSURE TREATED (PT) MATERIAL SHALL CONFORM TO AWPA "USE CATEGORY SYSTEM" (UC) AND SHALL BE USED IN THE FOLLOWING CONDITIONS:  
A. SILL, TOP PLATES, AND LEDGERS IN CONTACT WITH CONCRETE AND MASONRY: UC3B - A  
B. EXPOSED LUMBER NOT IN CONTACT WITH GROUND: UC3B - A  
C. EXPOSED LUMBER IN CONTACT WITH GROUND: UC4A - A  
D. EXPOSED POSTS: UC4A - A  
E. INTERIOR LUMBER & PLYWOOD INTENDED FOR FIRE PROTECTION: UCFA - H  
F. EXTERIOR LUMBER & PLYWOOD INTENDED FOR FIRE PROTECTION: UCFB - H  
8. PENETRATIONS & NOTCHES IN JOISTS, STUDS, BEAMS AND HEADERS ARE NOT PERMITTED WITHOUT APPROVAL OF ENGINEER.

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i. 6 5/8" MINIMUM EMBEDMENT  
ii. 6" MINIMUM EDGE DISTANCE FROM FREE EDGE (IN DIRECTION OF LOAD)  
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3. ALL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE ANCHOR MANUFACTURER'S SPECIFICATIONS.  
4. UON, ALL ANCHORS SHALL HAVE STANDARD EMBEDMENT DEPTH AS DEFINED BY THE ANCHOR MANUFACTURER.

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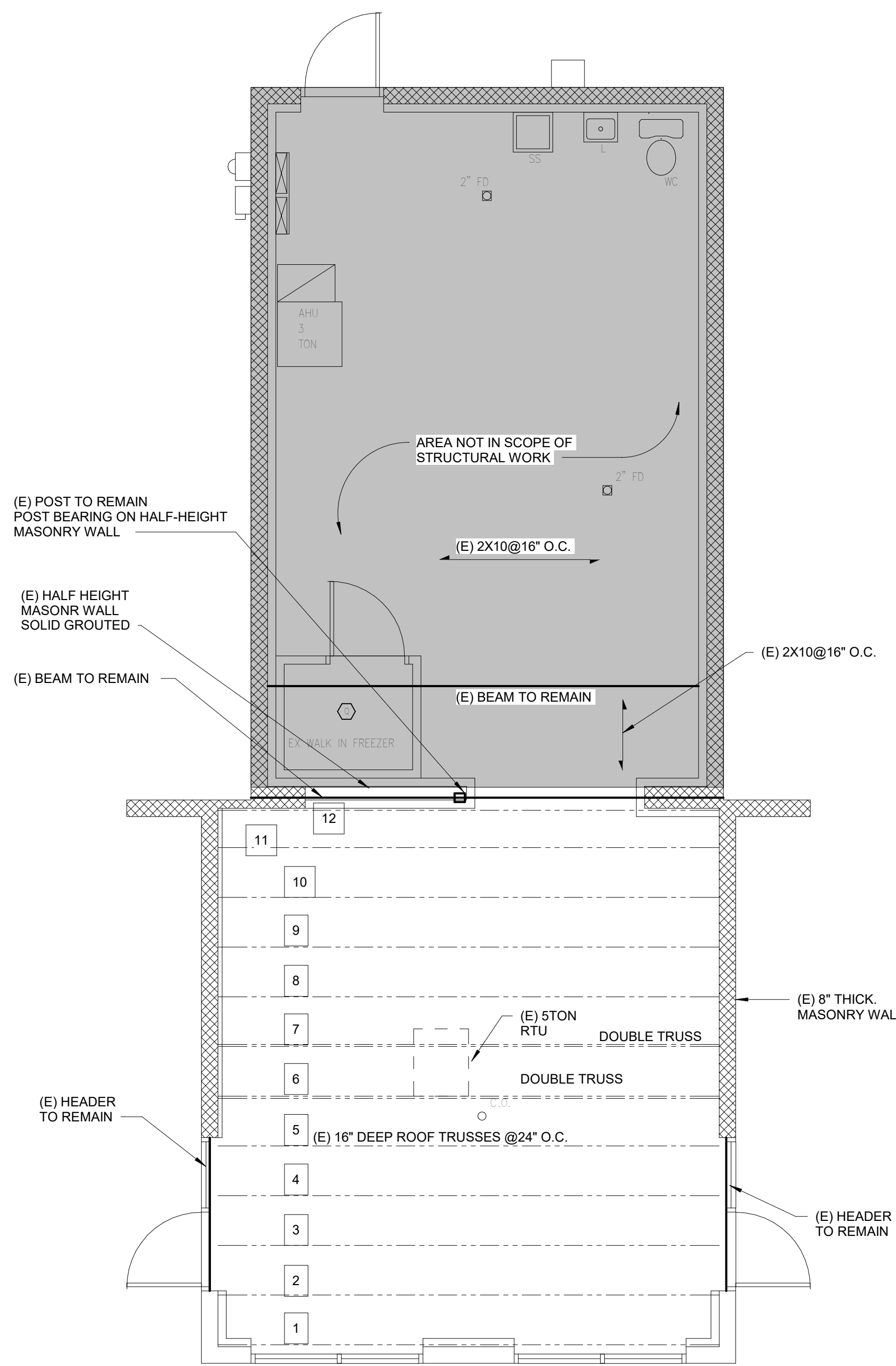
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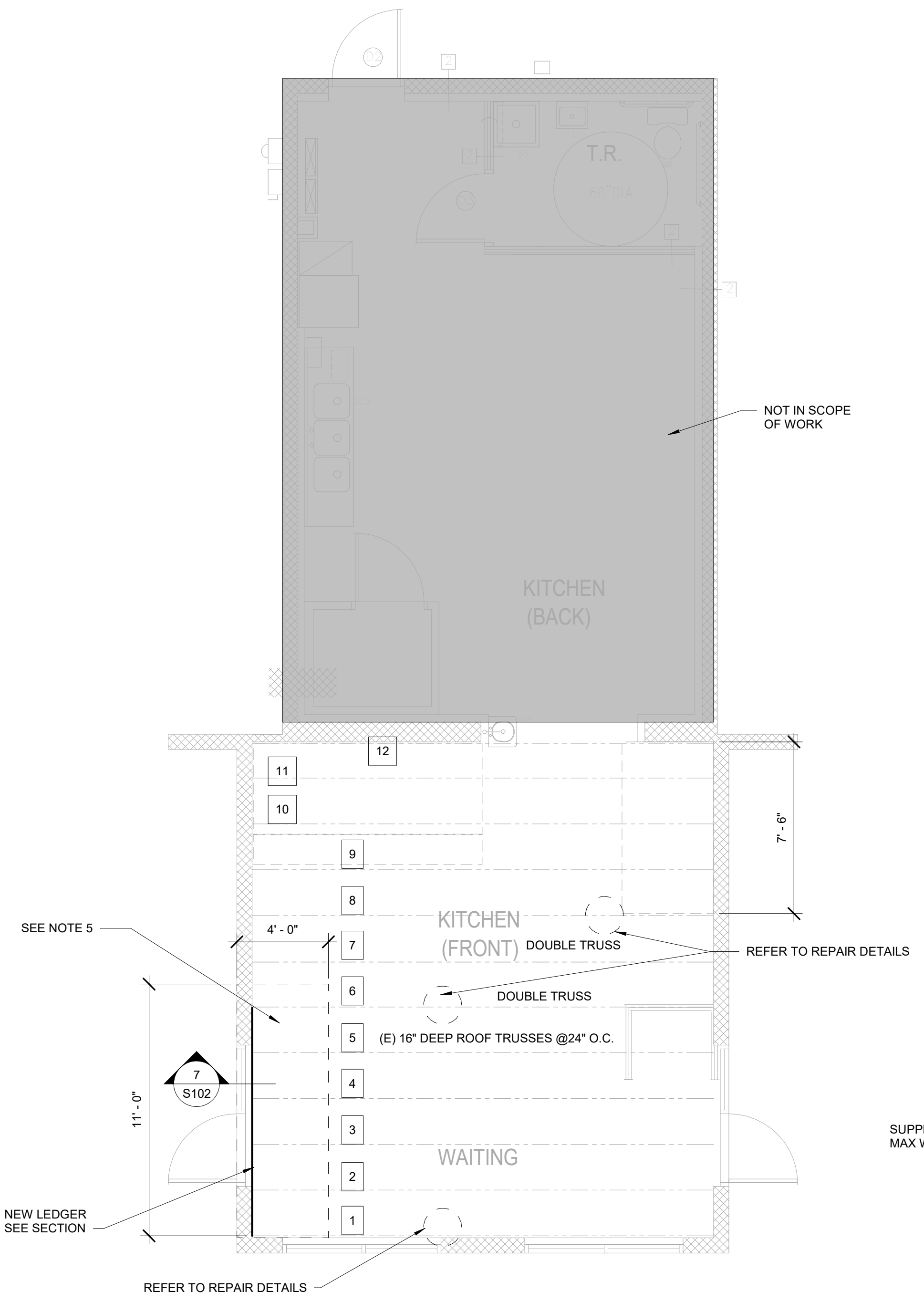
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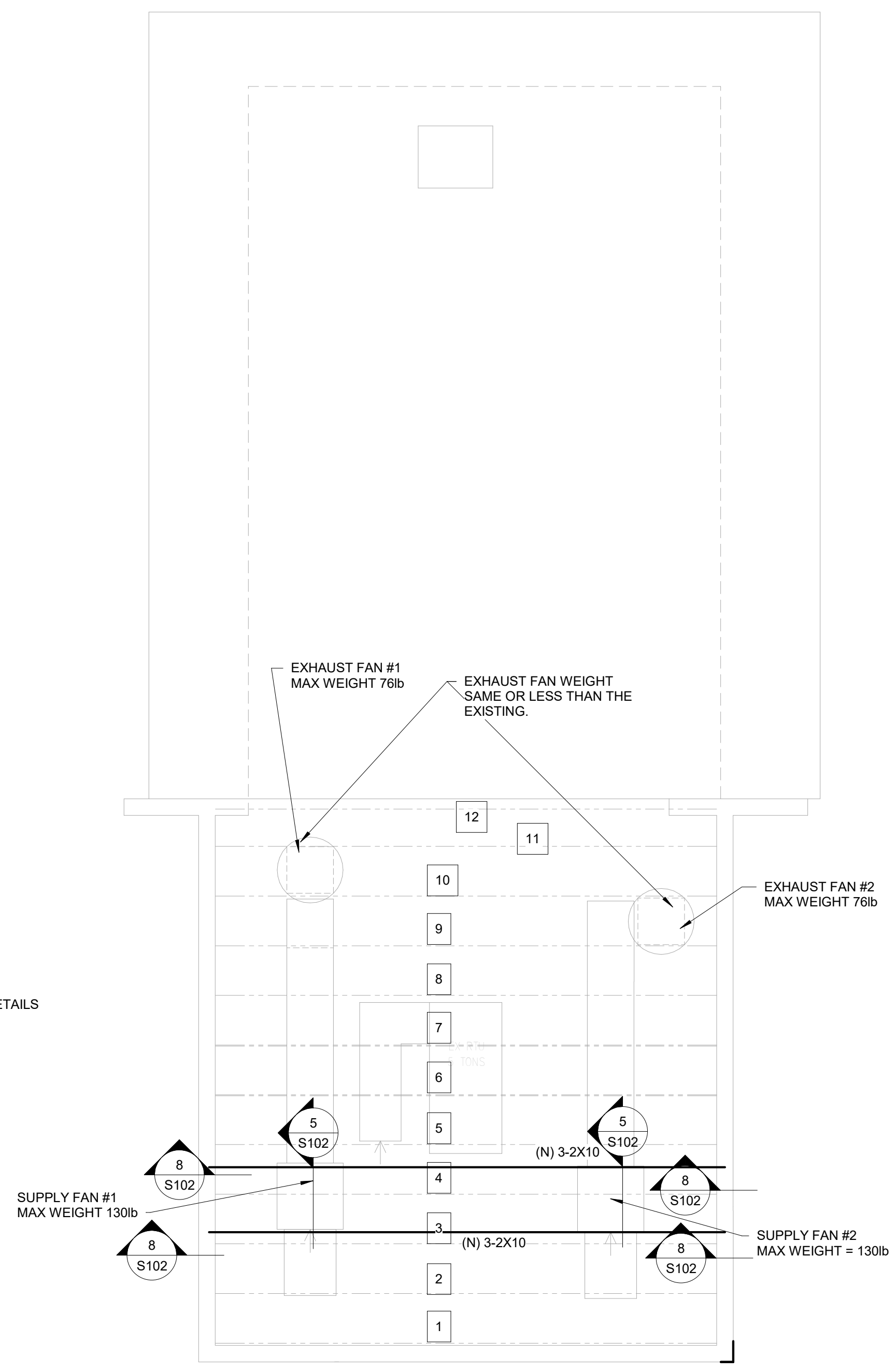
1 EXISTING ROOF FRAMING PLAN  
1/4" = 1'-0"

PLAN NOTES:  
1. EXISTING ROOF TRUSS LOCATIONS SHOWN ON THE PLAN ARE PER THE SITE VISIT OBSERVATIONS AND ARE INTENDED TO SHOW THE EXISTING LOCATIONS OF THE ROOF TRUSSES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND INFORM STRUCTURAL ENGINEER OF RECORD IN CASE OF ANY DISCREPANCIES.



2 (E) ROOF FRAMING REPAIR PLAN  
1/4" = 1'-0"

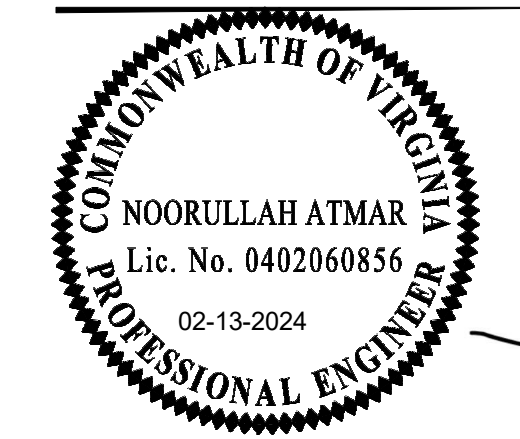
PLAN NOTES:  
1. THIS REPAIR PLAN REPRESENTS THE ROOF TRUSSES THAT WERE OBSERVED TO BE BROKEN AND DAMAGED DURING THE SITE VISIT. REFER TO REPAIR DETAILS FOR ADDITIONAL INFORMATION.  
2. ENGINEER HAS DETERMINED THE TRUSSES THAT NEED REPAIR TO THE BEST OF HIS ABILITY DURING THE SITE VISIT. CONTRACTOR TO PERFORM A FINAL OBSERVATION OF THE ROOF TRUSSES AFTER THE CEILING HAS BEEN COMPLETELY EXPOSED. IN CASE ANY ADDITIONAL TRUSSES NEED REPAIR, CONTRACTOR SHALL CONTACT THE ENGINEER OR APPLY ONE OF THE REPAIR DETAILS SHOWN IN THESE DRAWINGS.  
3. DO NOT DAMAGE EXISTING TRUSSES DURING ANY STAGE OF THE PROPOSED WORK.  
4. DO NOT ALTER, CUT OR DISPLACE TRUSSES WITHOUT ENGINEER'S PERMISSION.  
5. DURING THE SITE VISIT, ROTTING AND DAMAGE TO THE EXISTING ROOF SHEATHING WAS OBSERVED DUE TO RAIN WATER INFILTRATION. IT IS OUR RECOMMENDATION TO REPLACE THE ROOF SHEATHING WITH NEW SHEATHING IN THIS REGION TO AVOID FUTURE WATER DAMAGE TO EXISTING AND NEW FRAMING. IT IS ALSO OUR RECOMMENDATION TO EVALUATE THE GUTTERS, FLASHINGS, WATERPROOFING AND DRAINAGE SYSTEM OF THE BUILDING TO ENSURE SAFETY AGAINST WATER DAMAGES IN FUTURE.



3 ROOF MECHANICAL EQUIPMENT SUPPORT  
1/4" = 1'-0"

PLAN NOTES:  
1. THIS PLAN SHALL BE USED TO SUPPORT ROOF MECHANICAL EQUIPMENTS PROPOSED BY THE NEW SCOPE OF WORK.  
2. PER DISCUSSION WITH CLIENT, THE 76lb EXHAUST FANS SHOWN IN THE PLAN WEIGH LESS THAN THE EXHAUST FANS CURRENTLY LOCATED ON THE TRUSSES. THEREFORE, NO STRENGTHENING OF THE TRUSSES OR ADDITIONAL STRUCTURAL MEMBERS ARE NECESSARY.  
3. SEE STRUCTURAL NOTES FOR ADDITIONAL INFORMATION ON TYPE AND SPECIES OF WOOD MEMBERS USED TO SUPPORT ROOF TOP UNITS.  
4. WATER PROOFING, FLASHING AND DRAINAGE BY OTHERS.  
5. COORDINATE EXACT LOCATIONS OF ROOF TOP MECHANICAL EQUIPMENT WITH MEP DRAWINGS.

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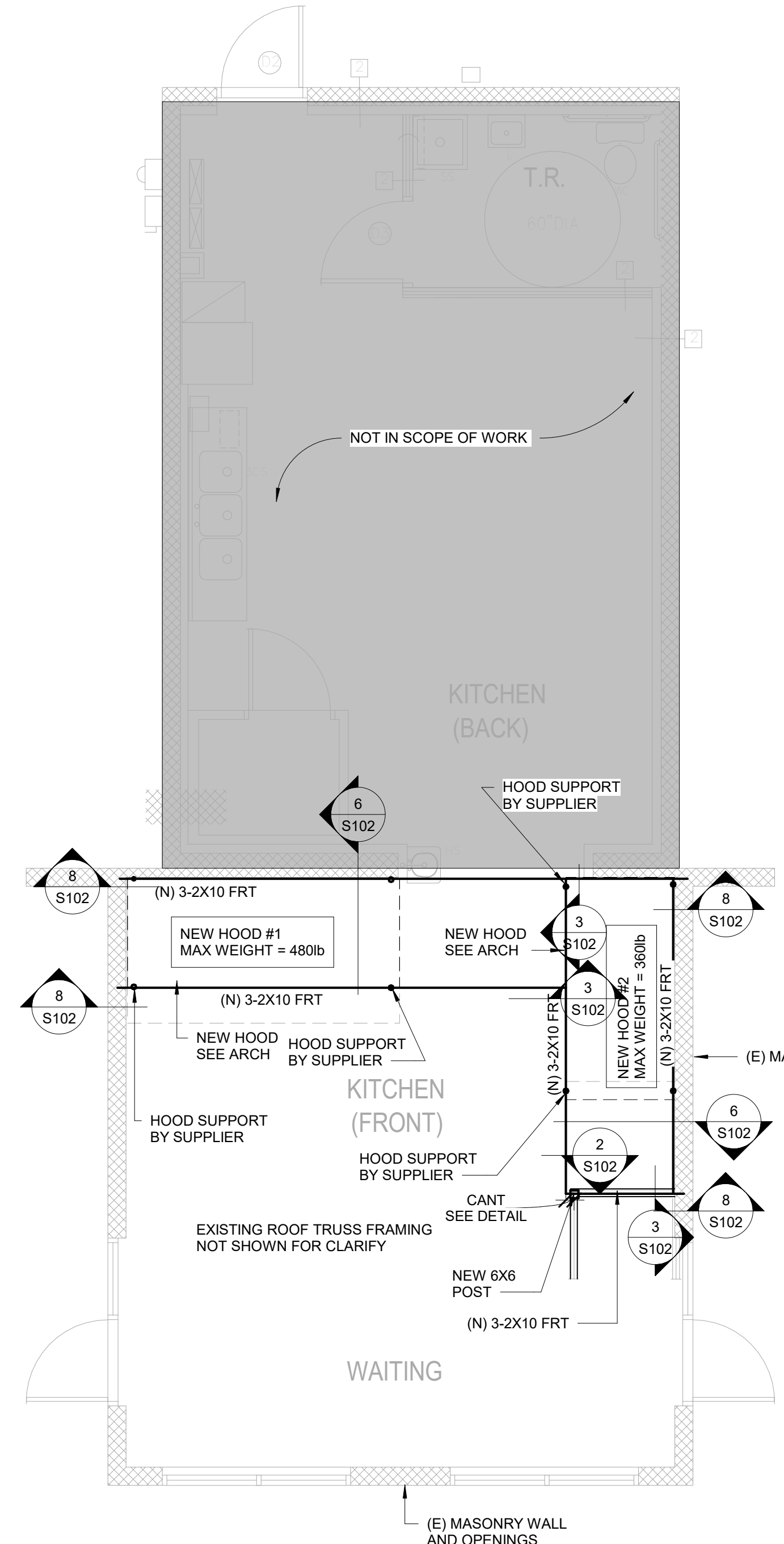
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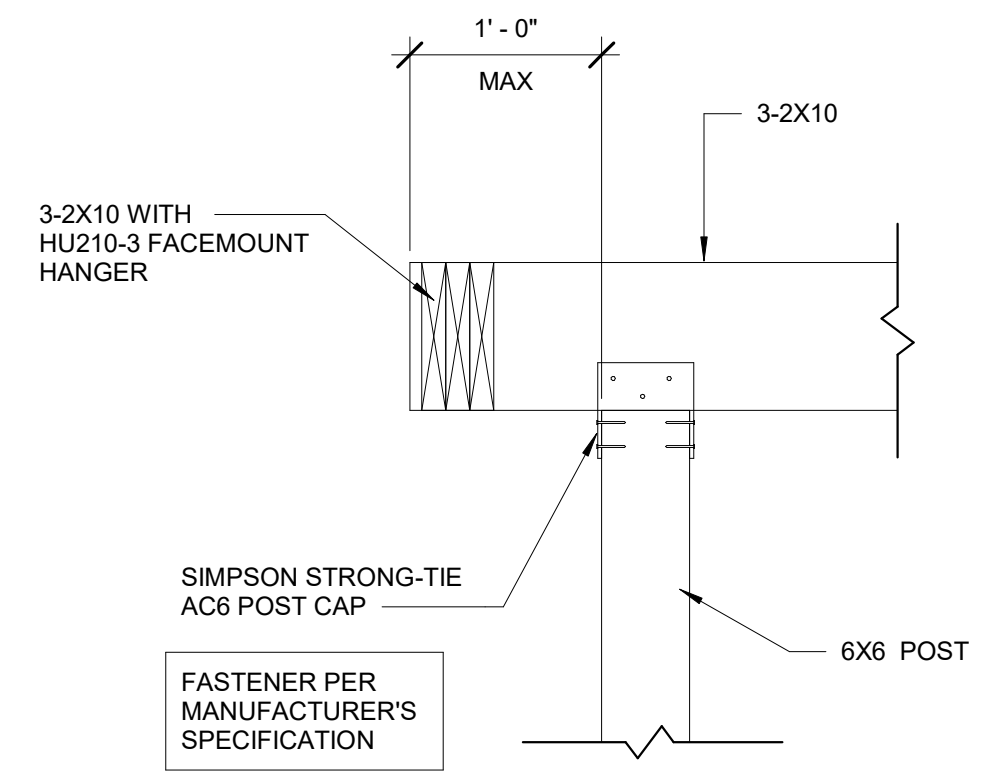
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**EXIST FRAMING AND REPAIR PLANS**

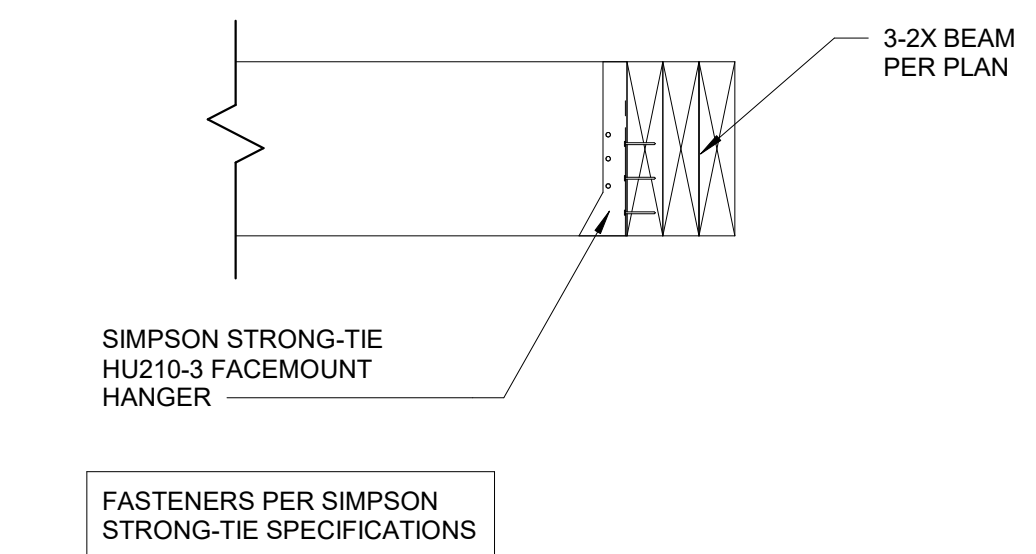
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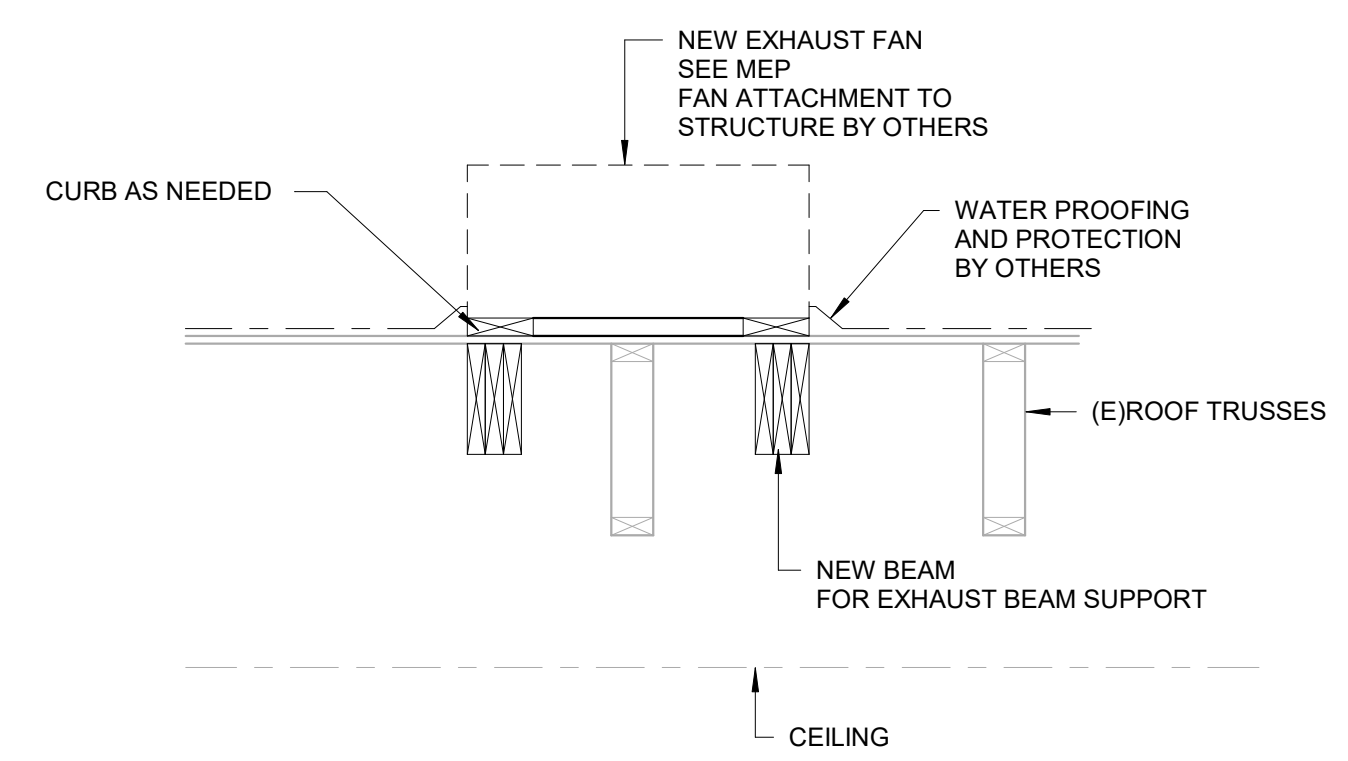
1 NEW HOOD SUPPORT PLAN  
1/4" = 1'-0"



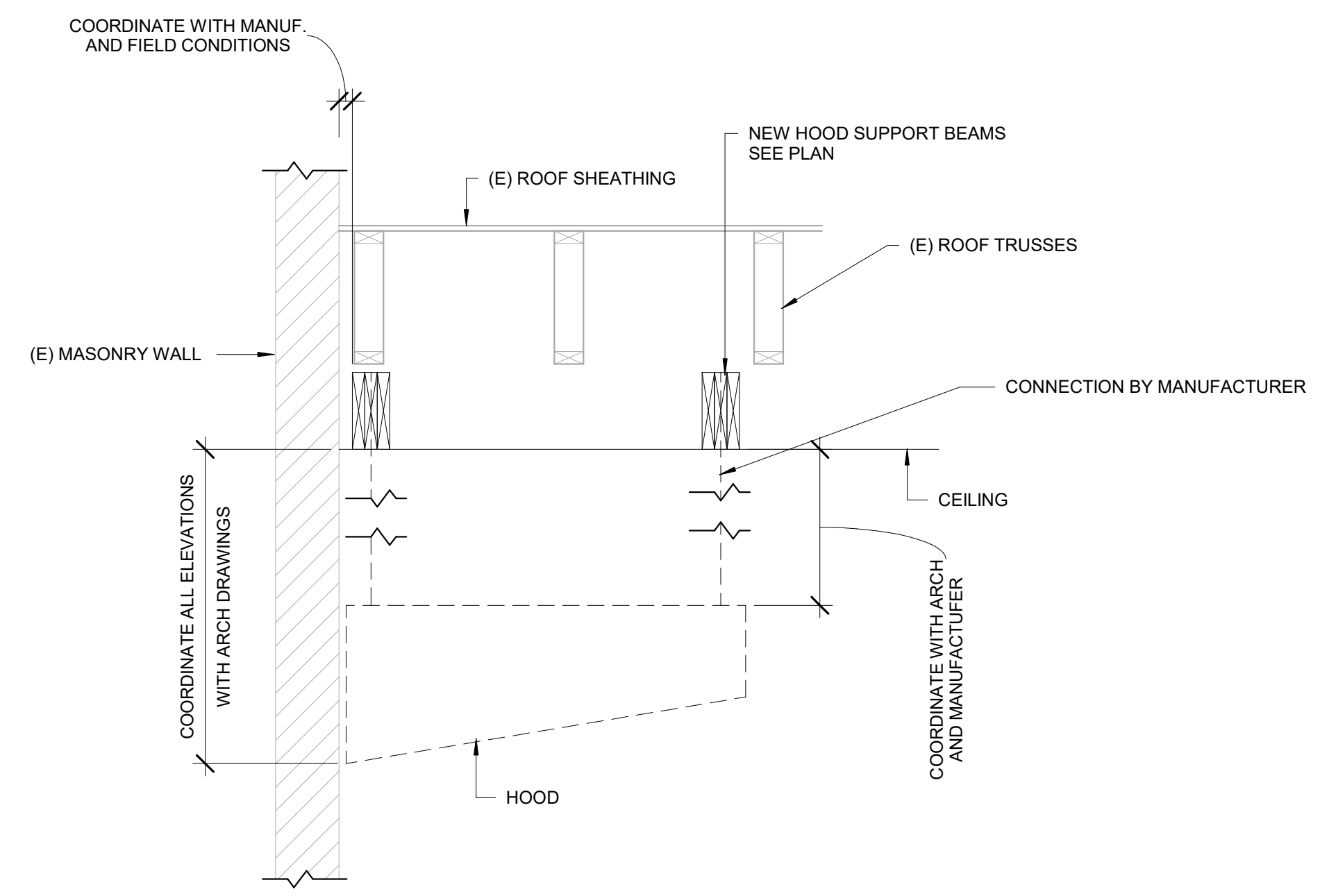
2 CONTINUOUS BEAM OVER POST DETAIL  
1" = 1'-0"



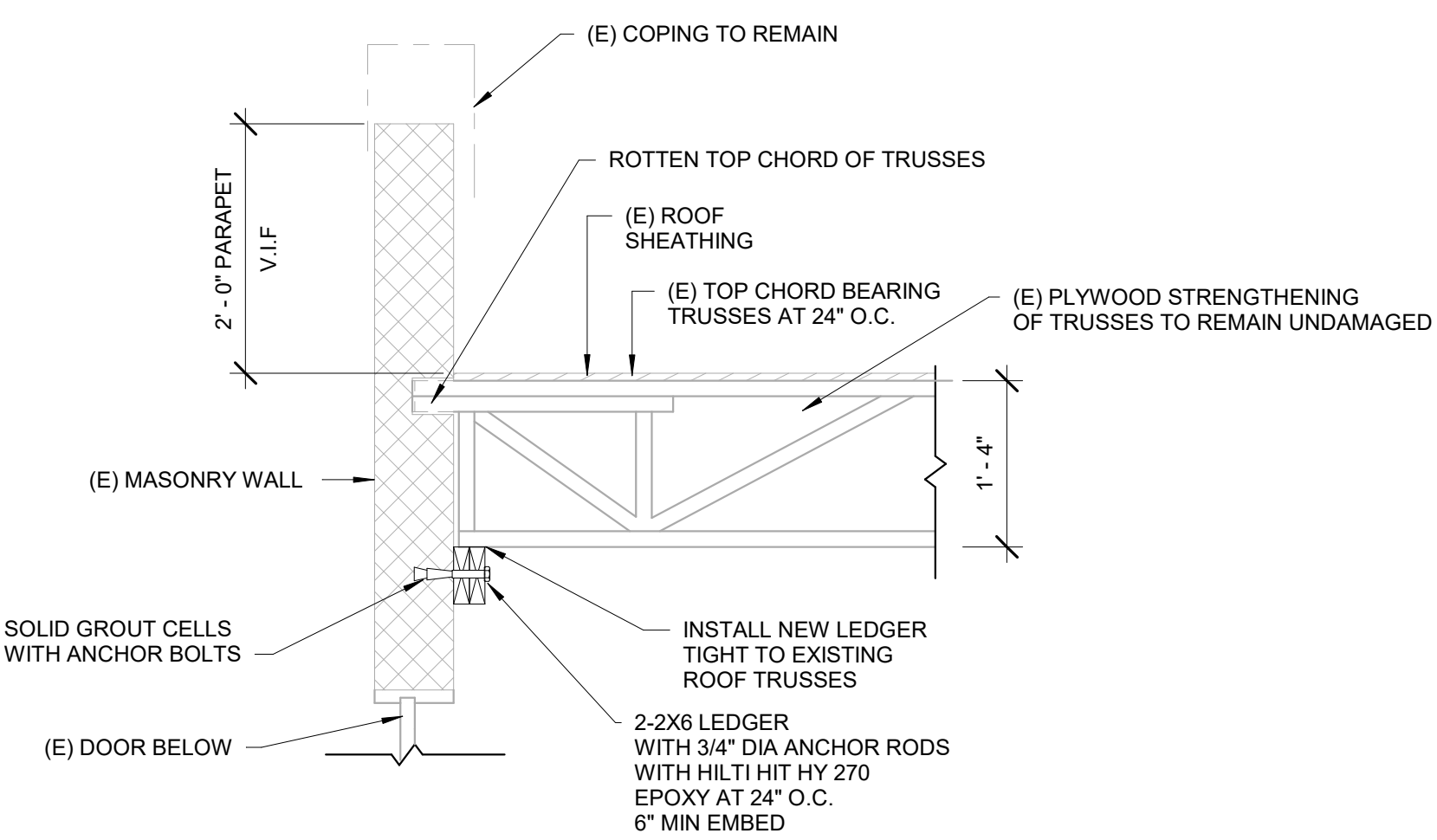
3 JOIST TO BEAM CONNECTION  
1 1/2" = 1'-0"



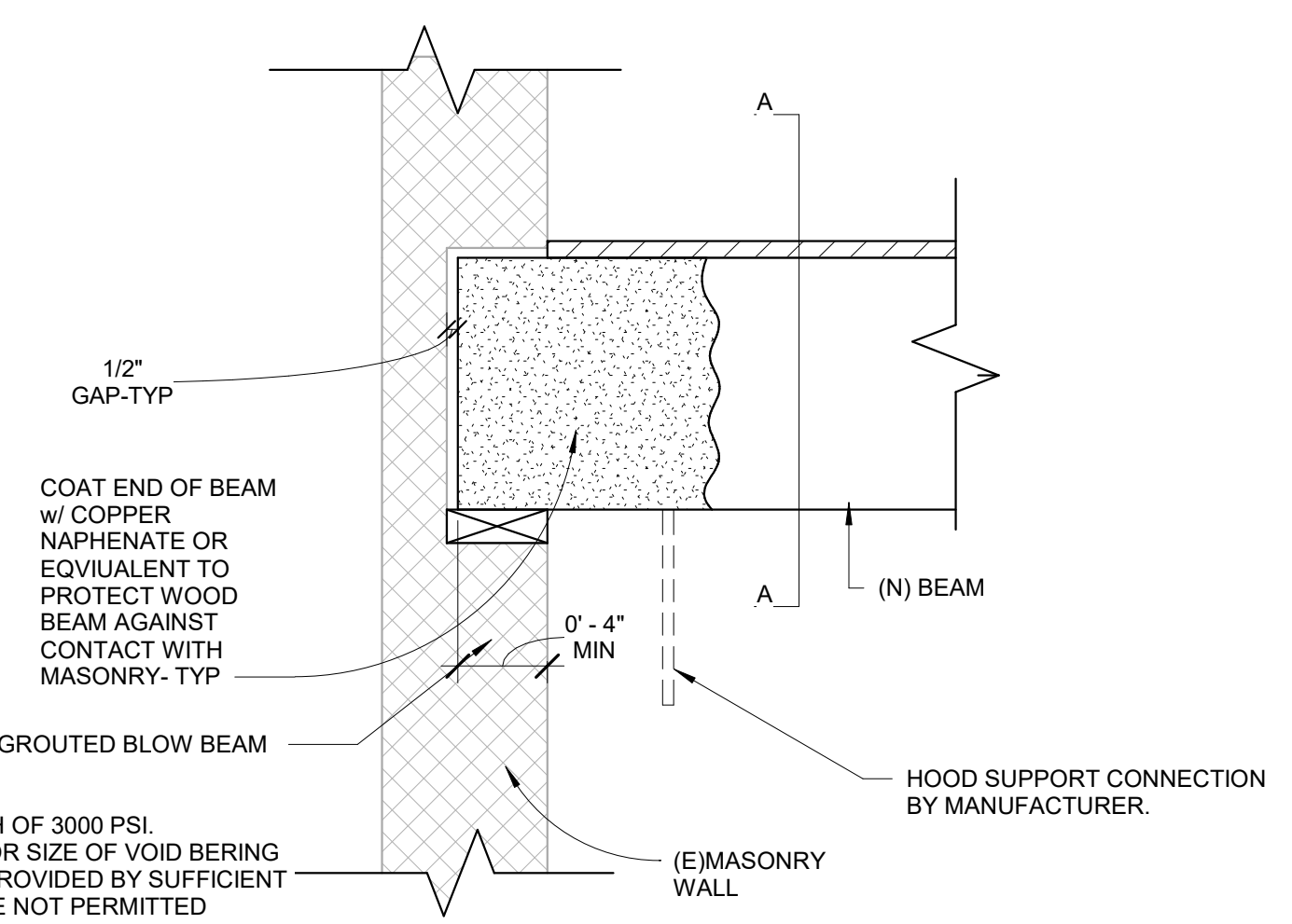
5 SECTION AT SUPPLY FAN SUPPORT  
3/4" = 1'-0"



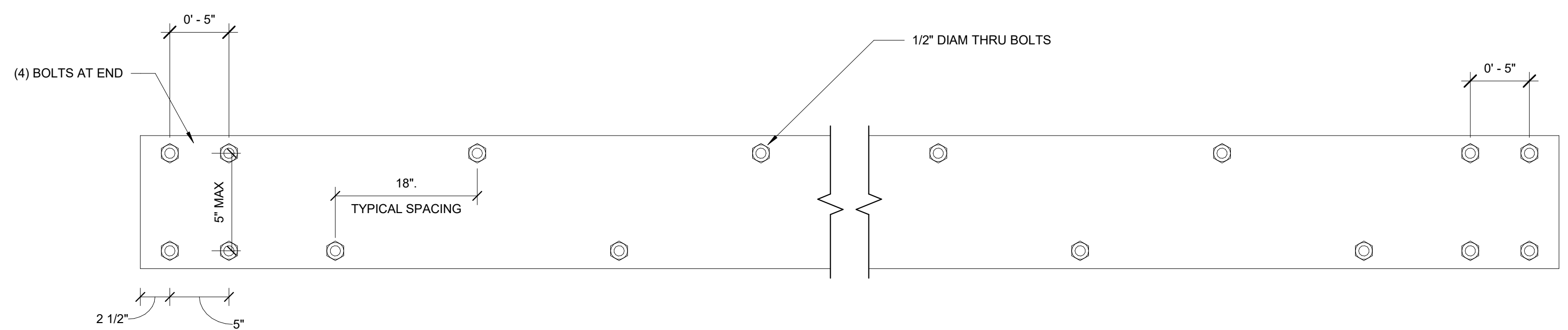
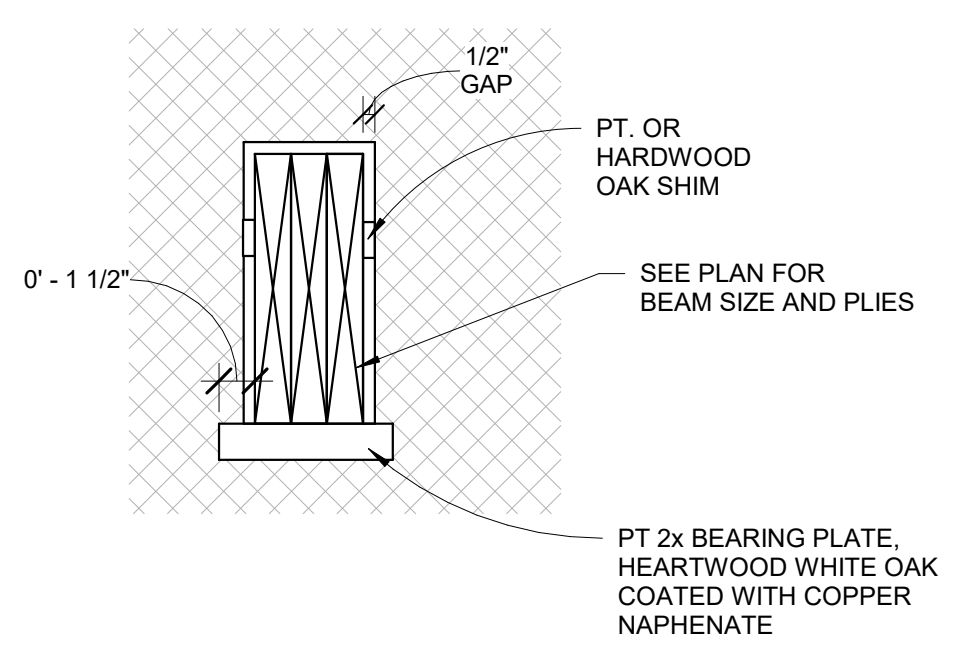
6 TYPICAL SECTION AT HOOD SUPPORT  
3/4" = 1'-0"



7 TYPICAL SUPPORT CONDITION FOR TRUSS WITH NO TOP CHORD  
3/4" = 1'-0"

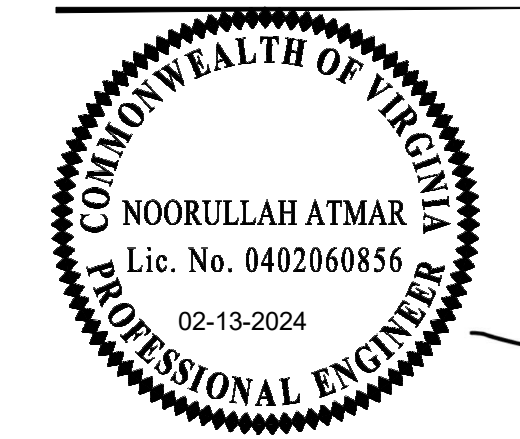


8 WOOD BEAM POCKET IN CONC/MASONRY WALL  
1 1/2" = 1'-0"



4 DETAIL OF ATTACHING THREE PLIES OF WOOD  
1 1/2" = 1'-0"

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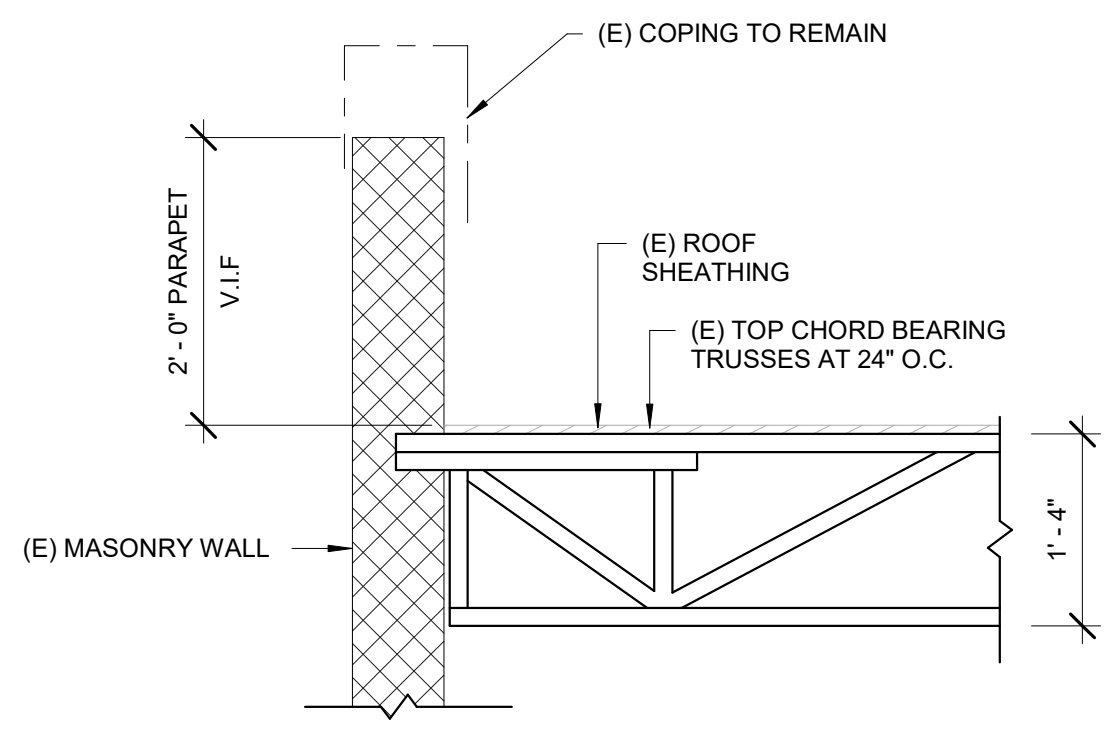
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**NEW PLANS**

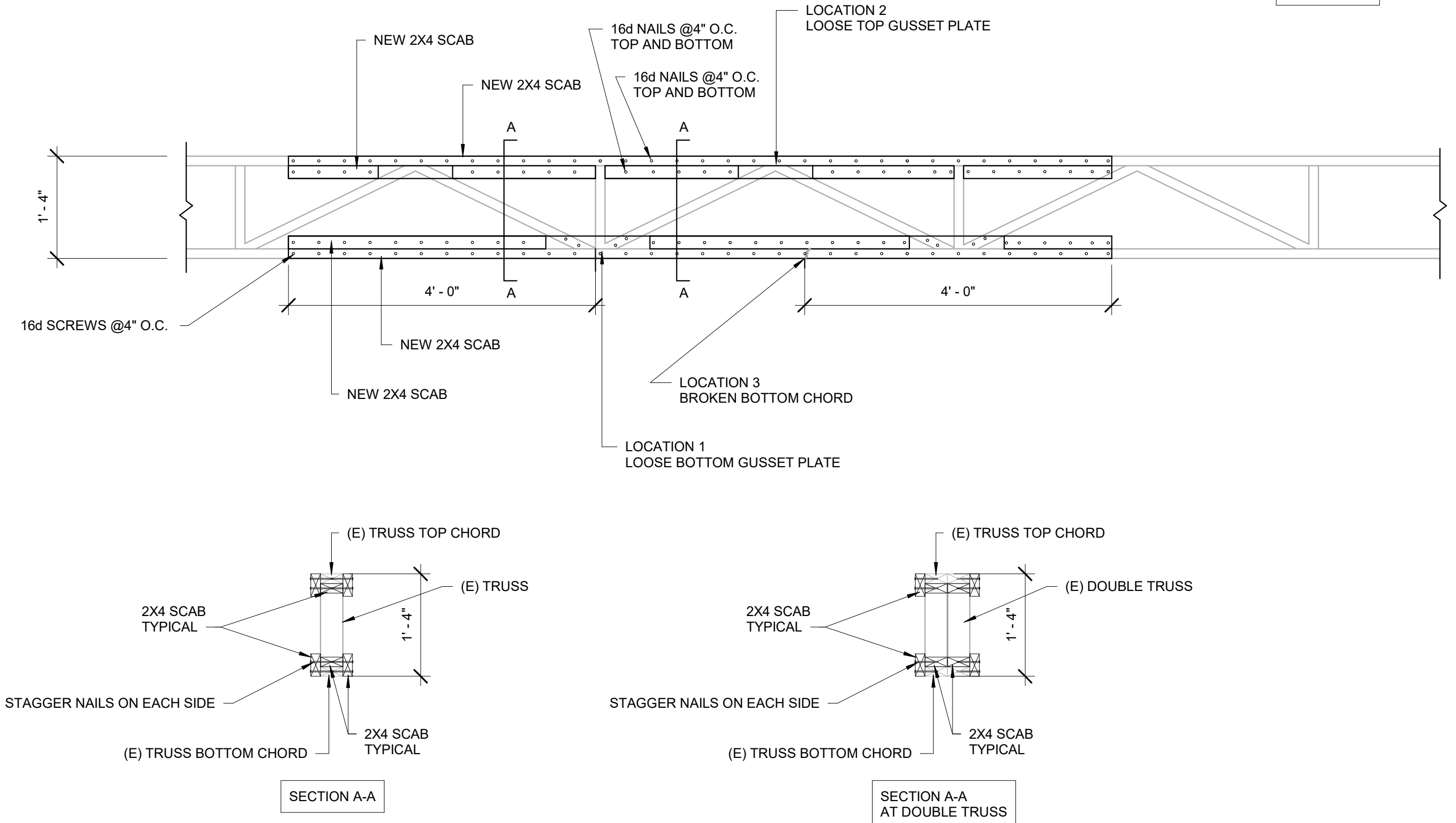
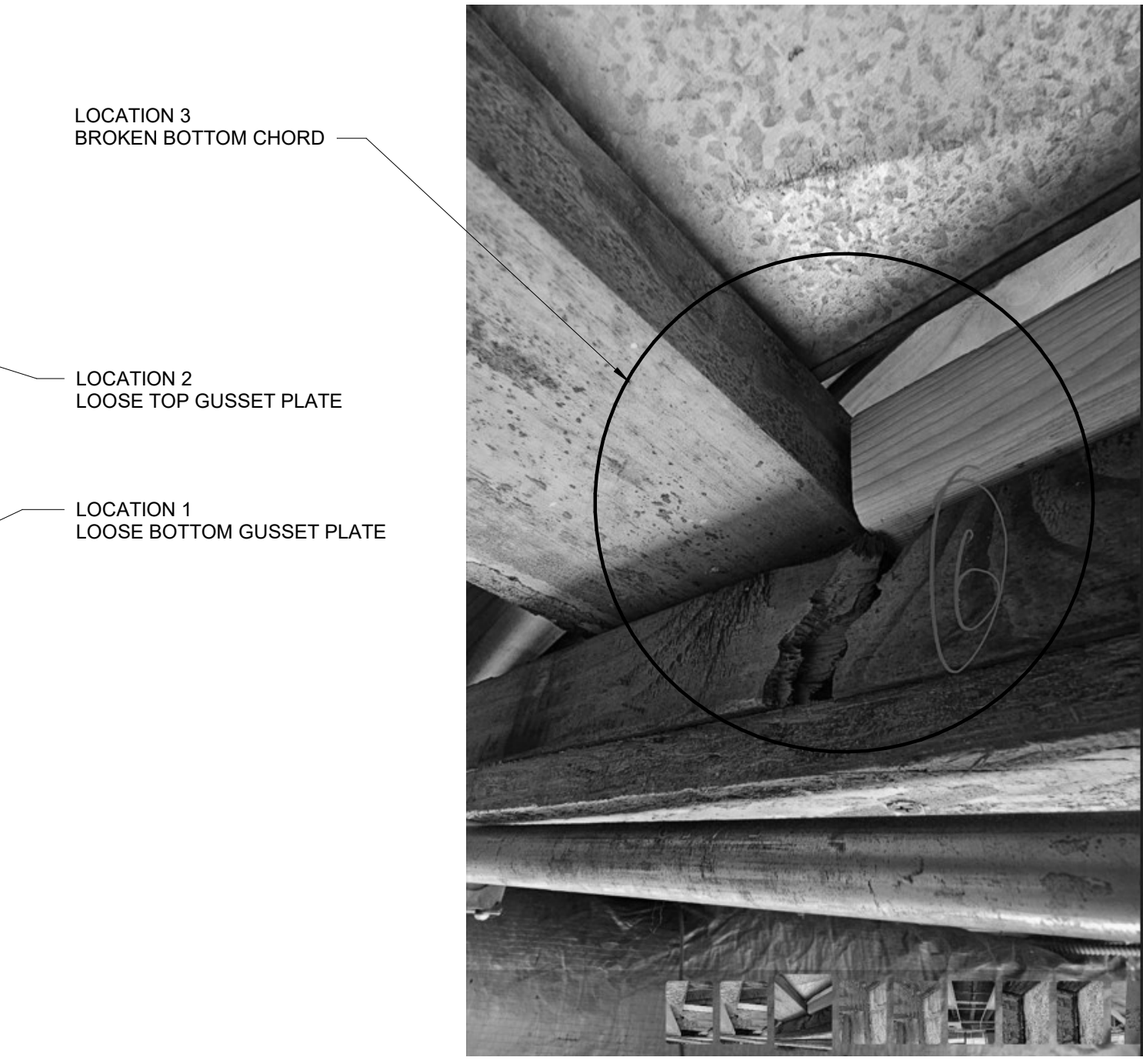
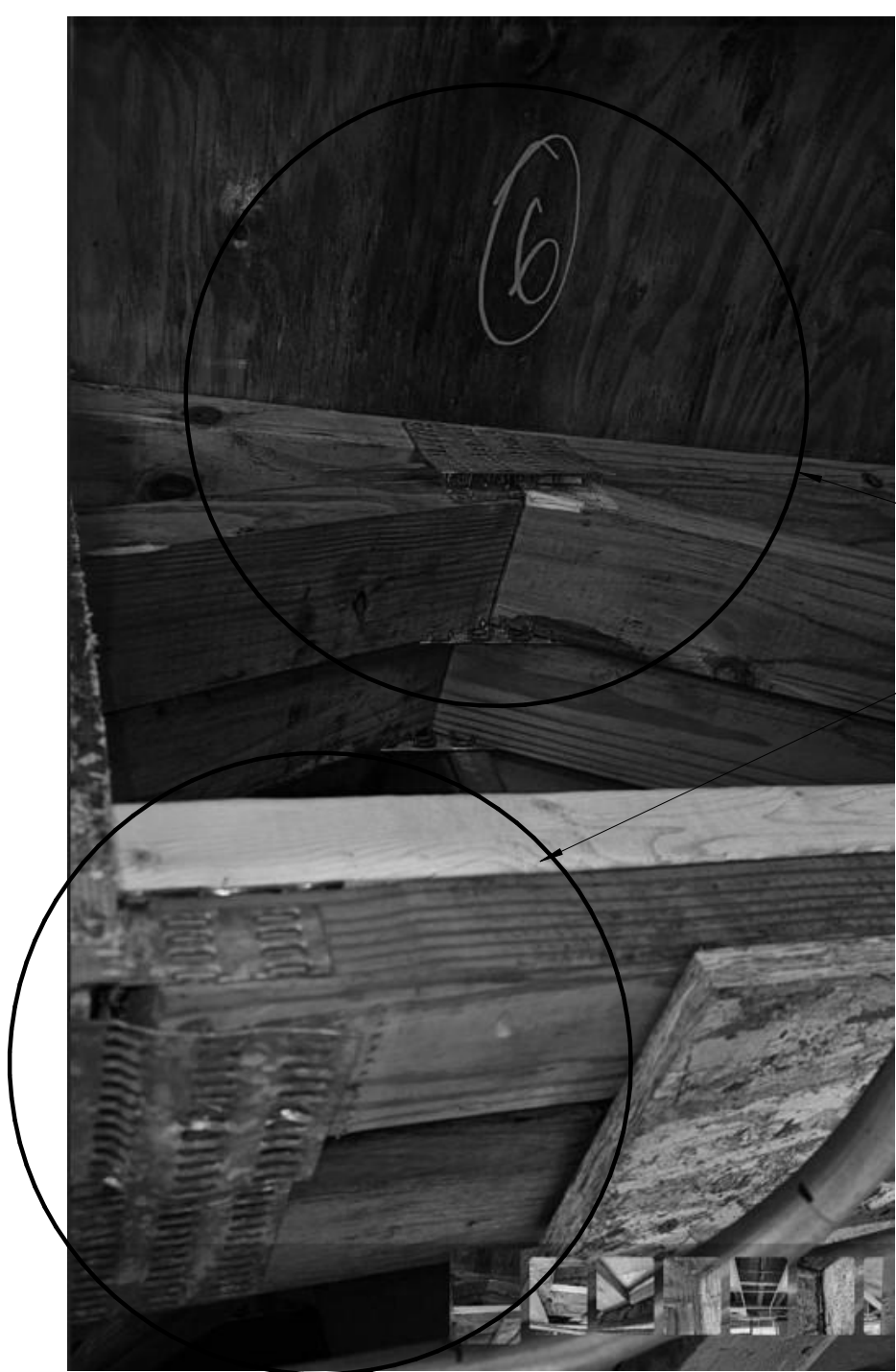
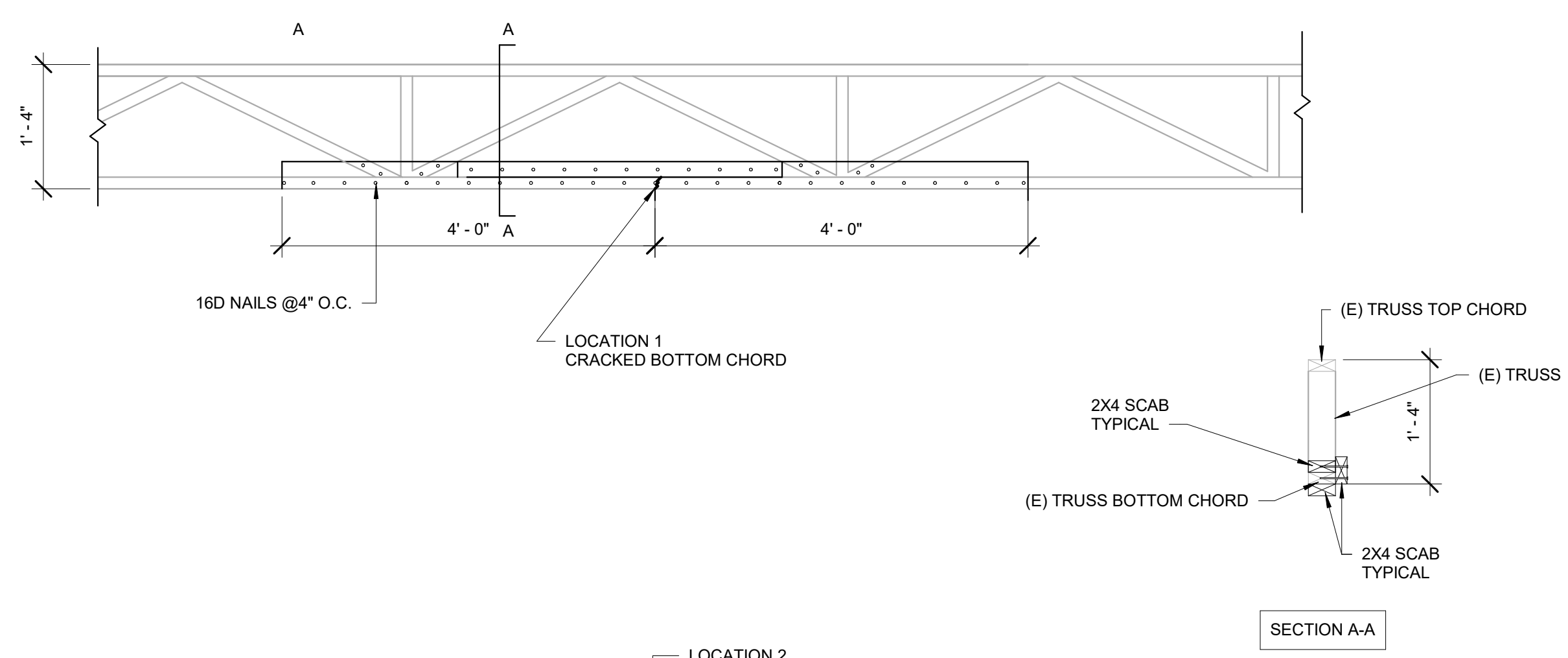
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1 TYPICAL SECTION AT EXISTING TRUSS BEARING  
 3/4" = 1'-0"



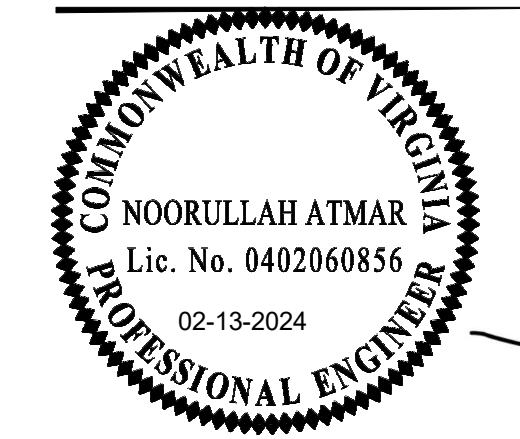
2 TRUSS NO 1 REPAIR DETAIL  
 3/4" = 1'-0"



3 TRUSS 6 AND 8 REPAIR DETAIL  
 3/4" = 1'-0"

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**REPAIR DETAILS**

DRAWING TITLE

**S202**

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