



# Administrative Special Use Permit Application

Department of Planning & Zoning  
301 King Street, Room 2100, Alexandria, Virginia 22314  
Phone: 703.746.4666 | [www.alexandriava.gov/planning](http://www.alexandriava.gov/planning)

---

**PROPERTY LOCATION:** 2040 Jamieson Avenue, Alexandria, VA 22314

**ZONE:** CDD#1

**TAX MAP REFERENCE:** 073.03-0A-01

## APPLICANT'S INFORMATION:

**Applicant:** Vijay Balusu

**Business/Trade Name:** Fresh Healthy Restaurants DMV LLC

**Address:** 43463 Rockforest Court, Dulles VA 20166

**Phone:** 7039898314

**Email:** vijay.balusu@AmeriVisionReality.com

## PROPOSED USE:

Animal Care with Overnight Accommodations

Auto Trailer Rental or Sales

Catering Operation

Child and Elder Care Homes

Day Care Center

Health and Athletic Club

Light Assembly, Service, and Craft

Light Auto Repair

Live Theater

Massage Establishment

✓ Outdoor Dining (Other than King Street Outdoor Dining Area)

Outdoor Food and Crafts Market

Outdoor Garden Center

Outdoor Display

Public School Trailers

Valet Parking

Vehicle Parking or Storage for More Than 20 Vehicles

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner, I hereby grant the applicant use of 2040 Jamieson Avenue (property address), for the purposes of operating a Fresh Healthy Cafe (use) business as described in this application. I also grant permission to the City of Alexandria to visit, inspect, photograph and post placard notice on my property.

Name: Bingdong Zhao Phone: \_\_\_\_\_  
Authorized Signatory  
Address: \_\_\_\_\_ Email: zhaobingdong@junsoncapital.com  
Signature: *Bingdong Zhao* Date: May 11, 2026

1. The applicant is the (check one):
- Owner
  - Contract Purchaser Lessee or
  - Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner and the percent of ownership.

Vijay Balusu, Fresh Healthy Restaurants DMV LLC (100%)

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

N/A

- Yes. Provide proof of current City business license
- No. The agent shall obtain a business license prior to filing application, if required by the City Code.



B. Please give the number of:

0 Parking spaces on-site

0 Parking spaces off-site

If the required parking will be located off-site, where will it be located?

Street parking.

6. Please provide information regarding loading and unloading for the use:

A. How many loading spaces are available for the use?

N/A

B. Where are off-street loading spaces located?

N/A

C. During what hours of the day do you expect loading/unloading operations to occur?

N/A

D. How frequently are loading/unloading operations expected to occur per day or per week?

N/A

7. If any hazardous materials or organic compounds (for example paint, ink, lacquer thinner, or cleaning or degreasing solvent), as defined by the state or federal government, be handled, stored, or generated on the property, provide the name, monthly quantity, and specific disposal method below:

No

8. What is the square footage the use will be occupying?

square feet

**APPLICANT'S SIGNATURE**

Please read and initial each statement:

- THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff to visit, inspect, and photograph the building premises, land etc., connected with the application.

**Print Name of Applicant or Representative** Vijay Balusu

**Signature**

*Vijay Balusu*  
5fe3408

**Date** 05-06-2026

If this application is being filed by someone other than the business owner (such as an agent or attorney), please provide the information below:

Representative's Address: 43463 Rockforest Court, Dulles VA 20166

Phone: 7039898314

Email: Vijay.Balusu@AmeriVisionReality.com

Fax:



## Department of Planning & Zoning Administrative Special Use Permit New Use Checklist

Application form

Application fee

### Supplemental Worksheet for the following uses:

- Catering Operation
- Child or Elder Care Home
- Day care Center
- Light Automobile Repair, Auto & Trailer Rental or Sales, Vehicle Parking or Storage
- Live Theater
- Outdoor Dining
- Outdoor Display
- Outdoor Food and Crafts Market
- Outdoor Garden Center
- Valet Parking

### Interior floor plan

Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

### Contextual site image

Show subject site, on-site parking area, surrounding buildings, cross streets

### If applicable

Outdoor plan for outdoor uses



**Department of Planning & Zoning**  
**Administrative Special Use Permit New Use**  
**Outdoor Dining Supplemental**

**WORKSHEET – Answer each question. Attach a separate sheet of paper if necessary.**

Describe the outdoor dining arrangement. What type of food service establishment is this associated with?

Limited outdoor seating in front of the restaurant (Fresh Healthy Cafe) serving smoothies, paninis, bowls, fresh juice, coffee, tea and ancillary snacks

**HOURS**

What are the proposed hours for the outdoor dining?

7 AM - 7 PM

**LOCATION ON PRIVATE PROPERTY**



**Outdoor dining, including seats, planters, wait stations and barriers, must be located on private property unless authorized by an encroachment ordinance.**

Will the outdoor dining be located only on private property? What is the square footage of the outdoor dining area?

Submit a drawing indicating the layout for tables, seats, planters, wait stations and barriers.

*Included. Two small table, each table with two chairs*

**NUMBER OF SEATS**



**Only 20 seats may be located at outdoor tables in front of the restaurant.**

How many seats will be included in the outdoor seating?

Four (4)

**ALCOHOL SERVICE**



**Alcohol service, to the extent allowed for indoor dining, is permitted; no off-premise alcohol sales are permitted.**

Is on-premise alcohol service proposed?

NO ALCHOHOL

**OUTDOOR DINING PLAN**

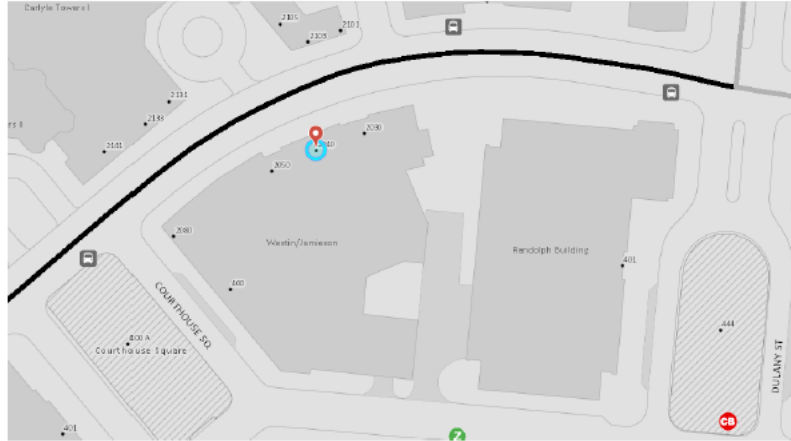


**Please submit a detailed plan with your application**

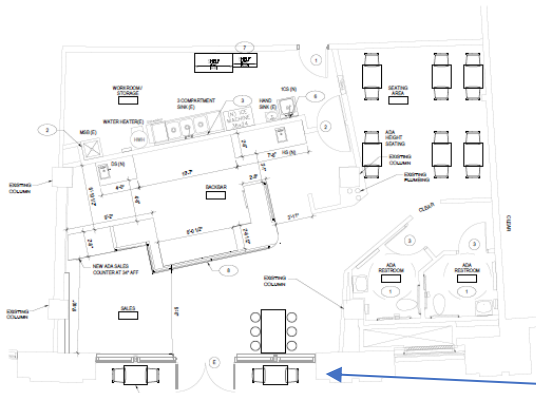
A plan for layout of the outdoor dining must be submitted for review and approval by the director. The business must maintain compliance with the approved layout. Any changes to the approved layout may require further review by staff.

# Fresh Healthy Café - 2040 Jamieson Avenue, Alexandria, VA 22314

## General Location Map



## Outdoor Dining – Seating Schematic – 2 Tables, 4 Chairs



**Proposed Outdoor Seating**

**NEW WORK PLAN**  
1/8" = 1'-0"

**KEY NOTES**  
1. EXISTING AREA RESTROOM TO REMAIN WITH ALL ACCESSORIES INCLUDING ADA COMPLIANT AND ACCESSIBLE SHOWERING  
2. EXISTING TO REMAIN W/ P. BACK ABOVE CEILING TO REMAIN W/ P. AND SIGN

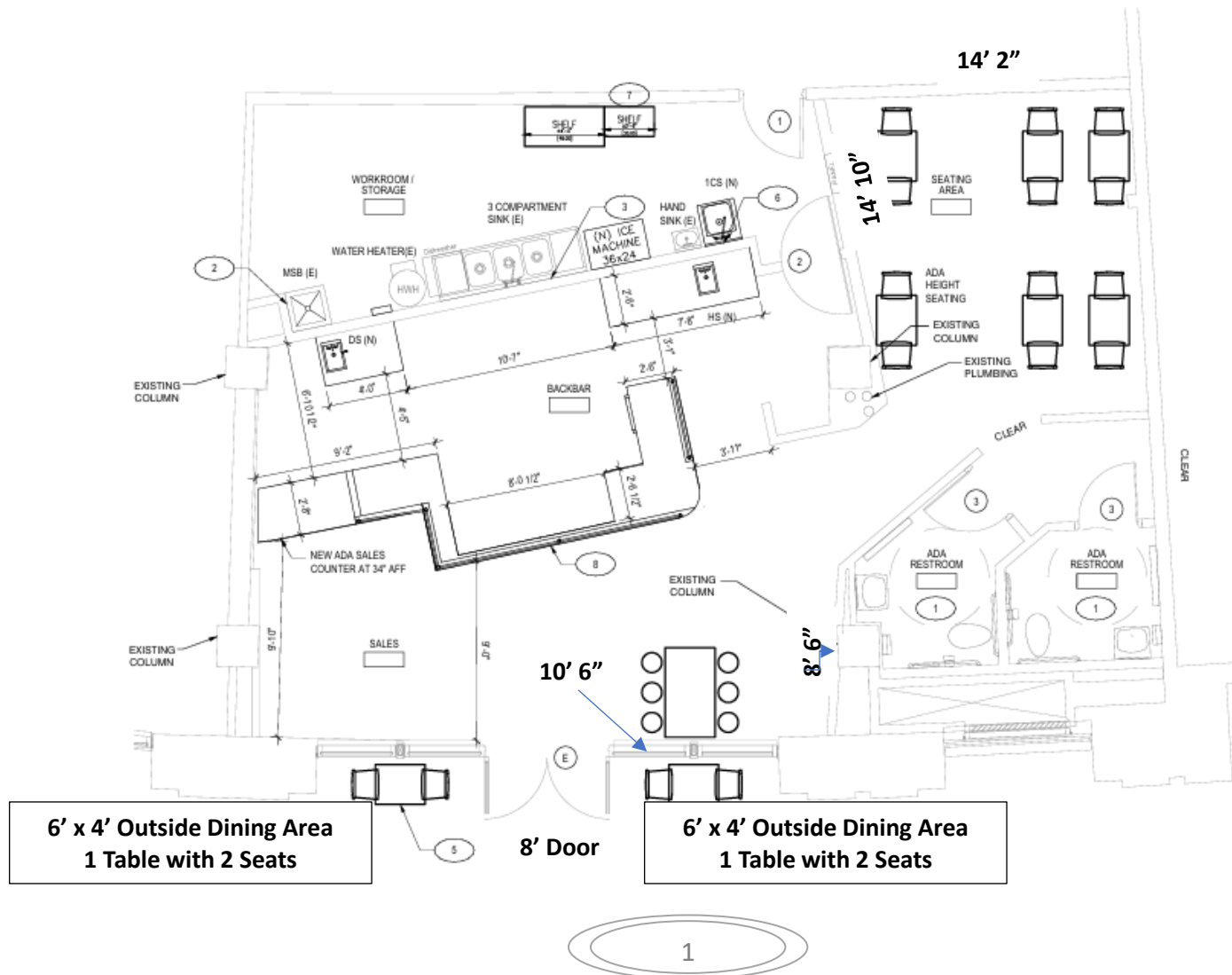
Photos:



**Fresh Healthy Café 2040 Jamieson Avenue, Alexandria, VA 222314  
Administrative Special Use Permit Application New Use (SUP2026-00023)**

Total Area Including the Cleaning Area in the Back: 1,104 SF  
 Total Interior Seating: 12  
 Total Outside Dining Area: 48 SF (2 – 6' x 4' Areas on Either Side of the Front Door)  
 Total Outside Dining Area Seats: 4

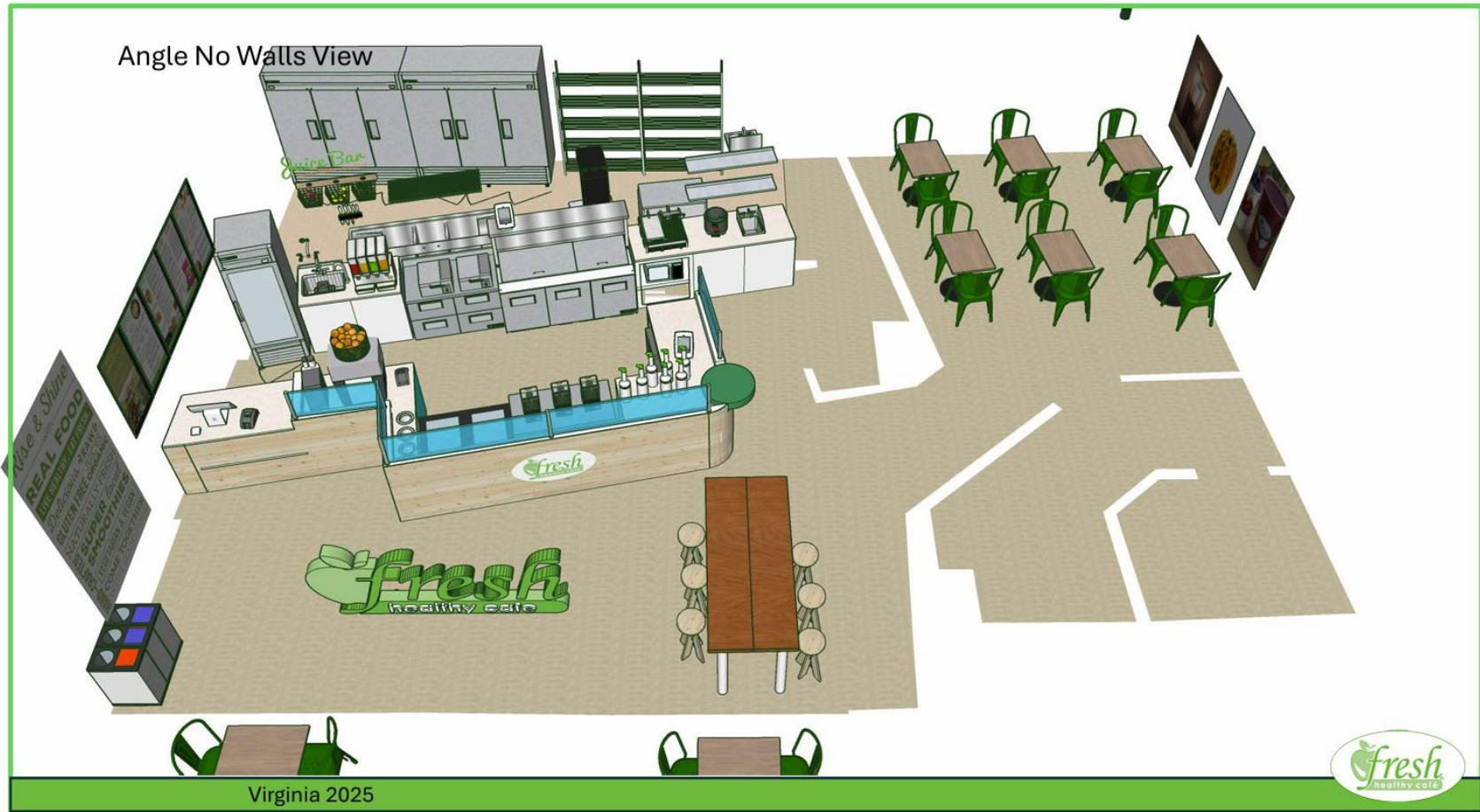
**Layout with Dimensions:**



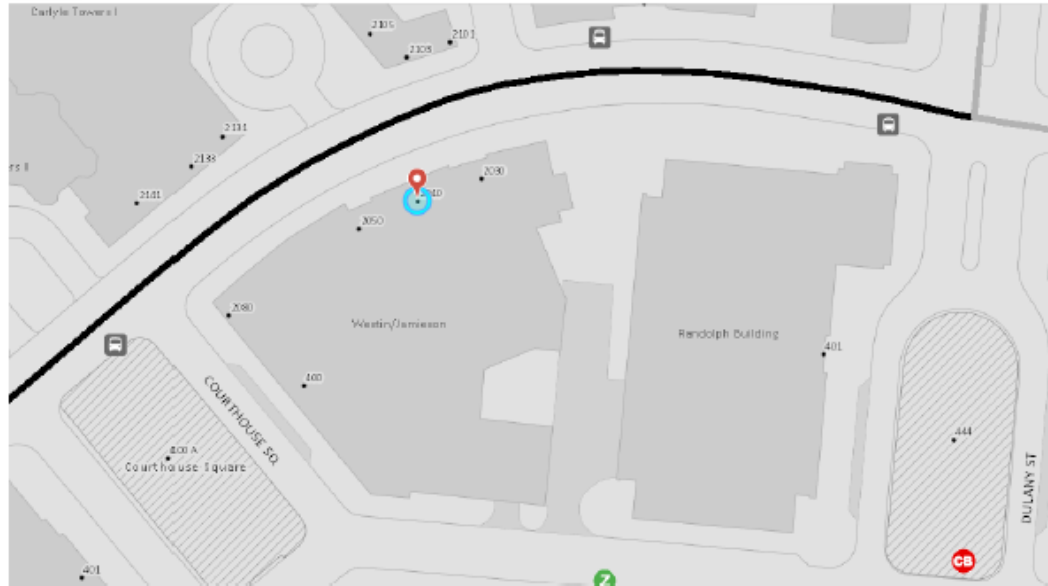
**Outside Dining Schematic:**



Interior Dining (Seating) Schematic:



## General Location Map





Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centerville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
am@dae.com  
SAM ODEH: 571-220-3239  
DAENGP@gmail.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH HEALTHY CAFE**  
2040 JAMIESON AVE  
ALEXANDRIA, VA 22314

# FRESH HEALTHY CAFE

2040 JAMIESON AVE  
ALEXANDRIA, VA 22314

**APPROVED**  
Transportation & Environmental Services  
Staff: Kim Merritt  
03/10/2026

Approved conditioned upon  
outdoor dining must be located on  
private property

Approved for restaurant in accordance  
with section 7-1900 of Zoning  
Ordinance. No expansion of tenant  
space authorized. Not approved for  
exterior signage.

**APPROVED**  
PLANNING & ZONING  
PAUL STODDARD, DIRECTOR  
DATE: 03/09/2026  
STAFF: campbell.safian

**INDEX TO DRAWINGS**

**ARCHITECTURAL**  
A001 COVER SHEET AND CODE DATA  
A200 DEMOLITION & NEW WORK FLOOR PLANS  
A201 EQUIPMENT PLAN  
A202 REFLECTED CEILING PLAN  
A301 DETAILS AND SCHEDULES

**PLUMBING**  
P001 PLUMBING COVER SHEET  
P100 DEMOLITION FLOOR PLANS  
P200 NEW WORK FLOOR PLANS  
P300 RISER DIAGRAMS & DETAILS

**MECHANICAL**  
M001 MECHANICAL COVER SHEET  
M200 EXISTING FLOOR PLAN & SCHEDULES

**ELECTRICAL**  
E100 ELECTRICAL COVER SHEET  
E200 ELECTRICAL LIGHTING FLOOR PLAN  
E300 ELECTRICAL POWER FLOOR PLAN  
E301 ELECTRICAL KITCHEN POWER FLOOR PLAN  
E400 PANEL SCHEDULES AND RISER DIAGRAM  
E500 CONCHECK

**OCCUPANCY STUDY**

OCCUPANCY PER TABLE 1004.5

**DINING AREA (TABLES, CHAIRS, BENCHES):**  
281 SQ FT / 15 NET SQ SF PER OCCUPANT = 19 OCCUPANTS  
QUANTITY OF TABLES AND CHAIRS PROVIDED: 19 OCCUPANTS

**KITCHEN AND SERVING AREAS:**  
183 SF / 200 GROSS SQ FT PER OCCUPANT = 3 OCCUPANTS

**MERCANTILE/SALES AREA:**  
263 SQ FT / 60 GROSS SQ FT PER OCCUPANT = 5 OCCUPANT

TOTAL: 27 PEOPLE

**TOILET REQUIREMENTS:** PER TABLE 403.1 IPC 2021

27 PERSONS TOTAL  
REQUIRED 1 WATER CLOSET PER 25 PEOPLE FOR THE FIRST 50  
REQUIRED 1 LAVATORY PER 40 PEOPLE  
REQUIRED 1 DRINKING FOUNTAIN PER 100 PEOPLE  
REQUIRED 1 SERVICE SINK

PROVIDED: 1 TOILET & 1 LAV FOR BOTH MALE AND FEMALE EXISTING  
DRINKING FOUNTAIN NOT PROVIDED SINCE WATER AVAILABLE UPON REQUEST  
1 MOP SINK EXISTING

**BUILDING LOCATION MAP**



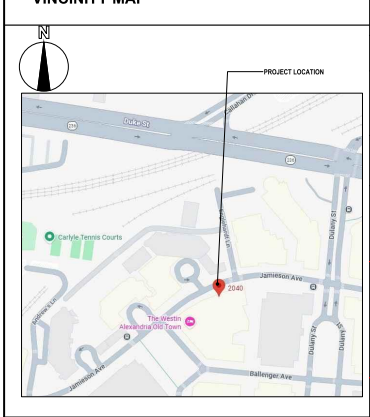
**DRAWING LEGEND**

— EXISTING PARTITION / CONSTRUCTION TO REMAIN  
= NEW DRYWALL PARTITION  
- - - - - DEMOLISH AND REMOVE EXISTING CONSTRUCTION  
+ + + + + PARTITION TYPE - REFER TO DETAILS ON SHEET A301

1 KEVED NOTES TO PLAN - SEE EACH SHEET FOR NOTES OR SPECIFICATION ITEMS

**NOTES:**  
ALL DOORS NOT SHOWN WITH A LABEL ARE EXISTING TO REMAIN AND N.I.C.

**VINCINITY MAP**



**ABBREVIATIONS**

AFF ABOVE FINISH FLOOR  
(S) EXISTING TO REMAIN  
(ER) EXISTING RELOCATED  
(RR) REMOVE AND RELOCATE  
(R) REMOVE

**SCOPE OF WORK**

THE SCOPE OF WORK INCLUDED IN THIS PERMIT IS THE RENOVATION OF A VACANT RESTAURANT SPACE TO NEW CAFE.

**CONSTRUCTION AUTHORIZED**  
CODE ADMINISTRATION  
ALEXANDRIA, VA  
03/25/2026  
THESE DOCUMENTS APPEAR TO COMPLY WITH APPLICABLE CODES AND REGULATION  
BY: [Signature]  
FOR BUILDING OFFICIAL

SUBJECT TO FIELD INSPECTION

**GENERAL ARCHITECTURAL NOTES**

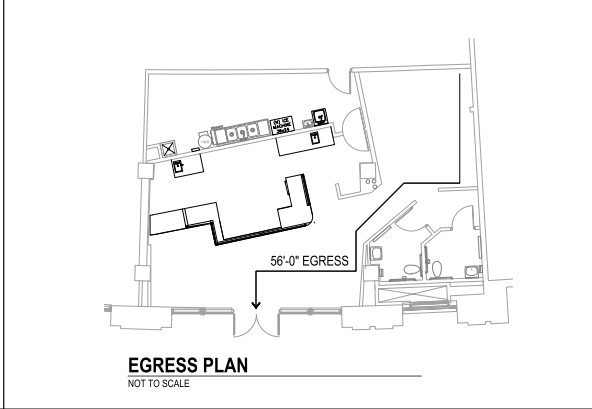
- PROVIDE BRAILLE & PICTOGRAM FIELD AT TOILETS AT 48" MIN AND 60" MAX AFF PER 2017 ICC / ANSI A117.1 FOR ACCESSIBILITY STANDARDS
- THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL REMOVE ALL DEBRIS AND UNWANTED MATERIAL FROM THE SITE AT CONTRACTOR'S EXPENSE.
- PROVIDE SUPPLEMENTARY SUPPORT FOR ALL LIGHTING FIXTURES AND MECHANICAL EQUIPMENT AS REQUIRED. COORDINATE LOCATION OF FIXTURES, CEILING DIFFUSERS, ETC. WITH ACTUAL FIELD CONDITIONS.
- DO NOT SCALE DRAWINGS.
- ANY REMOVED EQUIPMENT OR ITEMS SHALL BECOME THE PROPERTY OF THE OWNER, UNLESS SO MARKED.
- CONTRACTOR AND/OR SUBCONTRACTOR SHALL GUARANTEE THEIR WORK FOR ONE YEAR FOLLOWING COMPLETION OF BUILDING.
- ISOLATE DISSIMILAR METALS THAT ARE IN CONTACT WITH EACH OTHER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO FULLY ACCOUNT HIMSELF WITH CONDITIONS RELATING TO CONSTRUCTION AND LABOR SO THAT HE UNDERSTANDS THE FACILITIES DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK INVOLVED IN THIS PROJECT.
- CONTRACTOR/BUILDER SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL NATIONAL, STATE, LOCAL CODES, REGULATIONS & ORDINANCES ADOPTED BY PLAN REVIEW GOVERNING BODY AND COMPLY WITH ALL OSHA REQUIREMENTS.
- CONTRACTOR/SUB-CONTRACTOR/BUILDER SHALL OBTAIN ALL TRADE PERMITS REQUIRED FOR THEIR WORK AND PAY FOR THE SAME.
- CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND QUANTITIES OF MATERIALS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ALL FABRICATION OR CONSTRUCTION.
- CHANGES/PREVISIONS TO DRAWINGS OR ACTUAL WORK SHALL BE ISSUED IN ADDENDA/FIELD ORDER FORMAT BY THE ARCHITECT IN CONFORMANCE WITH AIA DOCUMENT 201.
- ALL ADJACENT WORK SHALL BE PROTECTED FROM ANY DAMAGE CAUSED BY THIS WORK. ANY OCCURRENT DAMAGE SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR/BUILDER.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR/BUILDER SHALL NOTIFY OWNER TO COMPLETE A "PUNCH LIST" OF CORRECTIONS, (IN AGREEMENT WITH GENERAL CONTRACTOR/BUILDER AND OWNER).
- THE GENERAL CONTRACTOR/BUILDER SHALL MAINTAIN REQUIRED EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, BARRIERS AND BRACING AS REQUIRED BY CODE AND/OR GOOD CONSTRUCTION PRACTICE DURING THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL SUBMIT MATERIAL SAMPLES, PRODUCT LITERATURE OR SHOP DRAWINGS TO THE CODE ENFORCEMENT AGENCY AS REQUIRED FOR APPROVAL.
- CONTRACTOR SHALL COORDINATE/SCHEDULE ALL INSPECTIONS WITH CODE ENFORCEMENT AGENCY AND PAY FOR SAME.
- THE ARCHITECT, IN THE PREPARATION OF THESE CONSTRUCTION DOCUMENTS HAS PRESUMED THAT THE CONTRACTOR/BUILDER SELECTED FOR CONSTRUCTION OF THE PROJECT HAS EXTENSIVE KNOWLEDGE IN STANDARD CONSTRUCTION PRACTICES AND IN ALL APPLICABLE NATIONAL, STATE & LOCAL CODES & ORDINANCES. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DEFICIENCIES IN CRAFTSMANSHIP OR FOR MONETARY COSTS ACCURSED DURING CONSTRUCTION DUE TO THE CONTRACTOR'S/BUILDER'S LACK OF KNOWLEDGE IN THE ABOVE MENTIONED AREAS.
- UNLESS NOTED OTHERWISE - ALL DIMENSIONS ARE TO FACE OF FINISHED WALL SURFACE.
- ANY DISCREPANCY IN QUANTITIES OF SALVAGED ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCY SHALL BE REPORTED IN WRITING TO THE ARCHITECT PRIOR TO SUBMISSION OF BID.

**CODE ANALYSIS**

GOVERNING BUILDING CODE FOR NEW WORK:	IBC 2021
CONSTRUCTION TYPE:	1A
TENANT AREA:	1,365 SQ FT
USE GROUP:	B
FIRE:	
SPRINKLER	Y
FIRE ALARM	Y
NUMBER OF EXITS REQUIRED:	1
NUMBER OF EXITS PROVIDED:	2
OCCUPANCY USE GROUP:	MIXED USE BUILDING 1HR FIRE RATED (UL 463) BETWEEN TENANTS

**VIRGINIA CODES:**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE FEDERAL, STATE, LOCAL CODES AND REGULATIONS, AS WELL AS THE APPLICABLE CODES OF LOCAL AUTHORITIES HAVING JURISDICTION:
- 2021 VIRGINIA CONSTRUCTION CODE (UBC)
  - 2021 VIRGINIA ELECTRIC FIRE PREVENTION CODE
  - 2020 NATIONAL ELECTRICAL CODE OF VIRGINIA
  - 2021 VIRGINIA MECHANICAL CODE
  - 2021 VIRGINIA ENERGY CONSERVATION CODE
  - 2021 VIRGINIA PLUMBING CODE
  - 2021 VIRGINIA FUEL GAS CODE
  - 2021 VIRGINIA MAINTENANCE CODE
  - 2021 VIRGINIA EXISTING BUILDING CODE
  - 2021 ICC ANSII 117.1 FOR ACCESSIBILITY STANDARDS



Alfons S. Massoud  
Professional Engineer  
No. 021359  
Exp. 03/31/2026

**REVISIONS**

NO.	DATE	DESCRIPTION
1	02/10/2026	PERMIT SUBMISSION

DRAWN: PM  
CHECKED: AM  
DATE: FEBRUARY 10, 2026

DRAWING TITLE

**ARCHITECTURAL**  
COVER SHEET AND CODE DATA

DRAWING NUMBER

**A001**





Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centerville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
alfons@dae.com  
SAM ODEH: 571-220-3239  
dae@dae.com  
www.DAE2000.com

PROJECT TITLE

**FRESH  
HEALTHY CAFE**  
2040 JAMESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfons S. Massoud  
Professional Engineer  
License No. 021359

REVISIONS

NO.	DATE	DESCRIPTION
1		PERMIT SUBMISSION

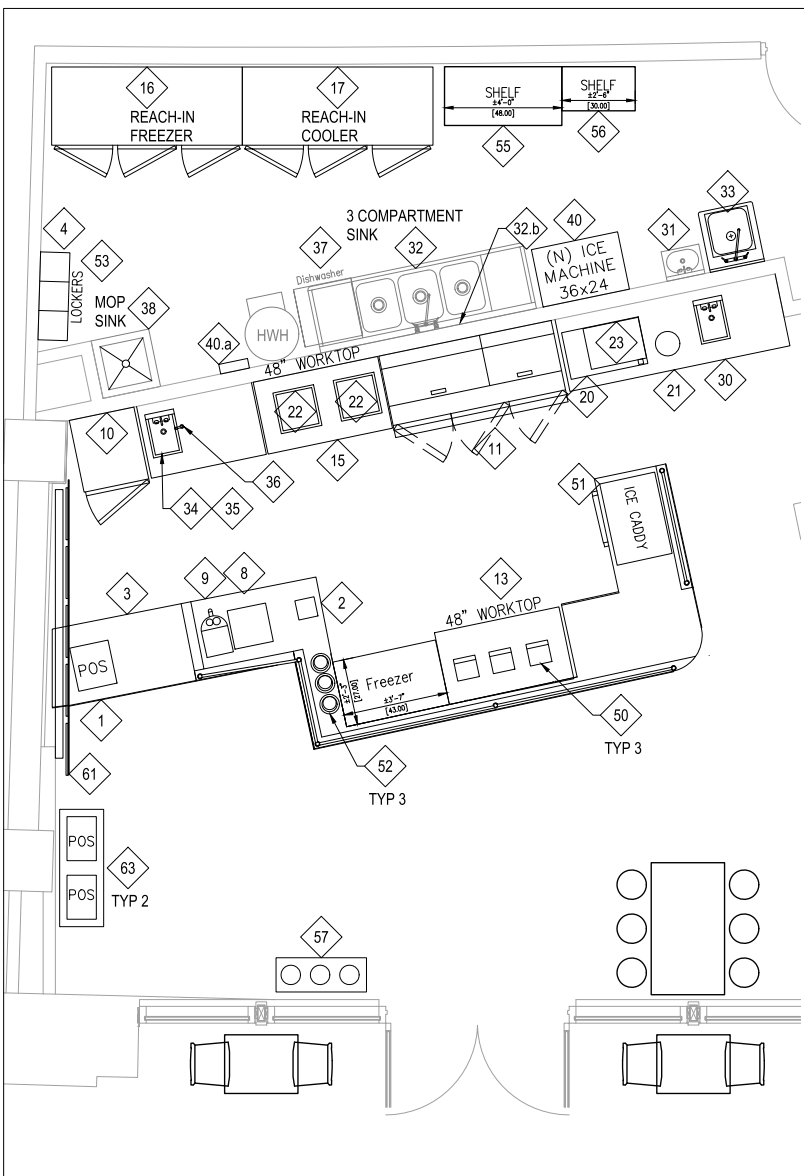
DRAWN JW  
CHECKED AM  
DATE FEBRUARY 10, 2026

DRAWING TITLE  
**ARCHITECTURAL**  
EQUIPMENT PLAN

DRAWING NUMBER

**A201**

EQUIPMENT LIST									
DESCRIPTION	MANUFACT	MODEL #	QTY	DIMENSIONS	ELECTRICAL (V-PH-HZ)	WATER	WEIGHT (LBS)	NOTES	
1 Cash register & drawer (pad, printer)	Square	---	1	---	---	---	---	Square (directly)	---
2 Station printer	Square	smoothie printer	1	---	---	---	---	---	---
3 Kitchen station monitor	Ipad	---	1	---	---	---	---	FRESH KDS is a paid APP	---
3.a Expo station monitor	Ipad	---	1	---	---	---	---	2 Ipads needed for station	---
4 safe	Mesa	MF12014E BLKGR 8cu Ft	1	14.4" x 14.2" x 28.3"	120-1-60, 44W, 0.06HP, 0.45A	---	---	COORDINATE WITH OWNER	---
8 Citrus juicer	Zumex	Euro-Milam Minex	1	14.4" x 14.2" x 28.3"	---	---	---	Green model	---
9 Veggie juicer	CEAD0	ES-700	1	11 x 16 x 20 1/2 H	120-1-60, 800W	---	---	---	---
10 Reach-in glass door	TRUE	T-23G-HC-FG01	1	27" x 30" x 78"	115-1-60, 2.2A	---	---	---	---
11 Sandwich table	TRUE	TSSU-72-30W-B-ST-ADA	1	72" w x 34" D x 40" H	115-1-60, 7.2A	---	---	Pls add Overshelf	---
11.a Over shelf 22"	---	---	---	---	---	---	---	---	---
12 Chest Freezer (Dip Cabinet)	Master/Built	MSF-43AN	1	33" H x 43" D x 27" D	115-1-60, 1.4A	---	---	---	---
13 Worktop Cooler (Smoothie Fridge)	TRUE	TUC-48-HC	1	48" L x 30" D x 30" H	115-160, 3.0A	---	---	---	---
14	---	---	---	NOT USED	---	---	---	---	---
15 Cooler base 48"	TRUE	TWT-48D-4-HC	1	48" L x 30" D x 33" H	115-160, 3.0A	---	---	---	---
16 3 Door Freezer	TRUE	T-73F-HC	1	78" W x 29.5" D x 79" H	115-1-60, 14A	---	---	---	---
17 3 Door Freezer	TRUE	T-72-HC	1	78" W x 29.5" D x 79" H	115-1-60, 6.5A	---	---	---	---
20 panini grill duo	EQUIPEE	Dishwasher with Timer	1	31.5" W x 19.5D x 21.75" H	200-1-60, 6.5KW, 24A	---	---	NEMA P1UG 6-50P	---
21 soup warmer	NEMCO	6500A-ICL	2	10" W, 10" H	120-1-60, 550W, 4.6A	---	---	Countertop, round, 7 quart	---
22 DELUXE FOOD WARMER	AUTUNES	DFW 150	2	17" W x 17" D x 9" H	120-1-60, 1.8 KW, 15A	---	---	---	---
23 microwave	Ammana	RMS1075	1	20" W x 18" D x 12" H	120-1-60, 13A, 1500 W	---	---	---	---
30 Hand Sink (drop-in) WITH SIDE SPLASHES	Krowne	HS1205	1	12" W x 18" x 10.5" H	---	1/2", & 1/2" HW, DRAIN	---	with FAUCET	---
31 Hand Sink (wall mount)	SSP	HS-14-2	1	---	---	1/2", & 1/2" HW, DRAIN	---	EXISTING TO REMAIN	---
32 3 compartment sink W/ FAUCET & SPRAY HOSE	SSP	3C16x20-2-18	1	---	---	1/2", & 1/2" HW, DRAIN	---	EXISTING TO REMAIN	---
32.a Wond drying shelf over sink	Splash	CS-14-21-14-BS88	1	18" x 21" x 14" BOW DIM	---	1/2", & 1/2" HW, DRAIN	---	---	---
33 Veggie Sink	Splash	SPL180B-21	1	8" CENTER	---	---	---	---	---
33.a Faucet -Veggie Sink	Krowne	HS-1419	1	10" W x 14" L x 10" D BOWL DM	---	1/2", & 1/2" HW, DRAIN	---	---	---
34 Drop In Sink (Dump sink)	BLNDFTEC	BRE-612	1	7.5" H x 20.5" D x 8.6" W	---	---	---	---	---
35 Rapid Rinser Without Station	T&S	BRASS B-1210-16	1	18" H	---	1/2" CW	---	---	---
36 Water Spout (Glass Filler)	Hobart	LXVH	1	---	---	1/2" HW, 1-1/4"	---	INDIRECT DRAIN	---
37 Undercounter Dishwasher	zum	z-1996-24	1	---	---	3" DRAIN	---	EXISTING TO REMAIN	---
38 Mop sink (Existing to remain)	zum	z-1996-sf	1	---	---	1/2" CW/HW	---	EXISTING TO REMAIN	---
38.a Mop sink Faucet (Existing to remain)	---	---	---	---	---	---	---	EXISTING TO REMAIN	---
40 Ice Flaker with Bin	HOSHIZAKI	F-3008A1	1	36" x 24" x 39"	115-1-60, 7.8A, 15A CIRCUIT	3/4" DRAIN OUTLET	182	---	---
40.a Water Filtration System	HOSHIZAKI	H9320-51	1	18.4" H	---	---	---	---	---
50 blender	BLNDFTEC	SNB52C901-B11	3	17.3" H x 9" D x 8.6" W	120-1-60, 1800W	---	15.8	---	---
51 Ice Caddy	Cambro	ICS1151	1	23" W x 34" D x 30" H	---	---	---	---	---
52 Top dispenser	Dispense-Rite	400-2	3	22" UNDERCOUNTER LENGTH	---	---	---	---	---
53 employee locker	Winhart	WL-618	1	36" W x 12" D x 78" H	---	---	---	---	---
55 Storage Racks	Metro	48" w x 24" d	2	---	---	---	---	---	---
56 Storage Racks	Metro	30" w x 18" d	1	---	---	---	---	---	---
57 trash bin (Recycle Station)	Frost	Floor Model #316	1	38.5" W x 41" H x 15" D	---	---	---	---	---
61 TV Monitors	LG	43"	5	---	---	---	---	Locally sourced	---
62 Speakers	Sonos	---	2	---	---	---	---	Locally sourced	---
63 Counter-top Monitor	Samsung	22"	1	---	---	---	---	Locally sourced	---
63 Self-Serve Kiosk	Square	---	2	---	---	---	---	Locally sourced	---



**EQUIPMENT PLAN**  
1/2" = 1'-0"  
0 3 6 9

**CONSTRUCTION AUTHORIZED**  
CODE ADMINISTRATION  
ALEXANDRIA VA  
03/25/2026  
THESE DOCUMENTS APPEAR TO COMPLY WITH  
APPLICABLE CODES AND REGULATION  
BY [Signature] C.E.P.  
FOR BUILDING OFFICIAL



Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centreville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
cmassoud@aen.com  
SAM ODEH: 571-220-3239  
DAENCMEP@gmail.com  
www.DAEN2000.com

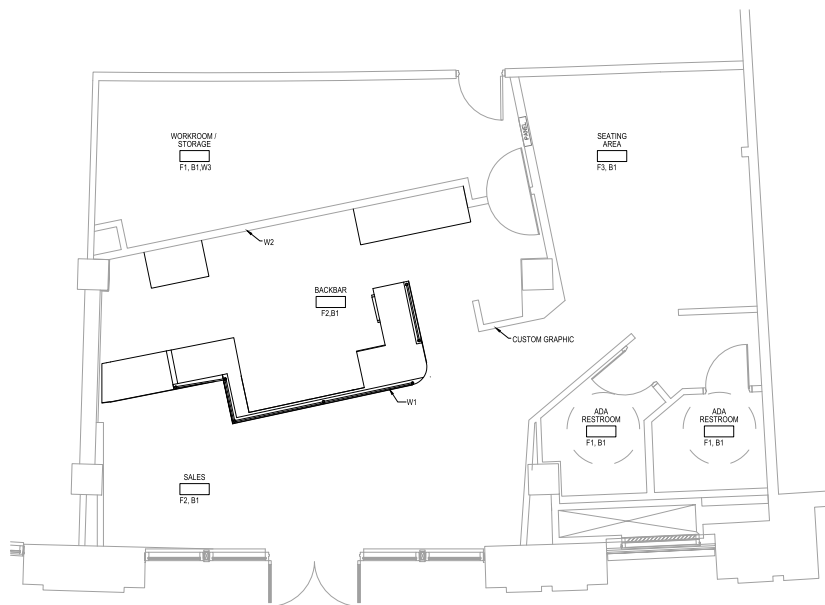
PROJECT TITLE

**FRESH  
HEALTHY CAFE**  
2040 JAMESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.

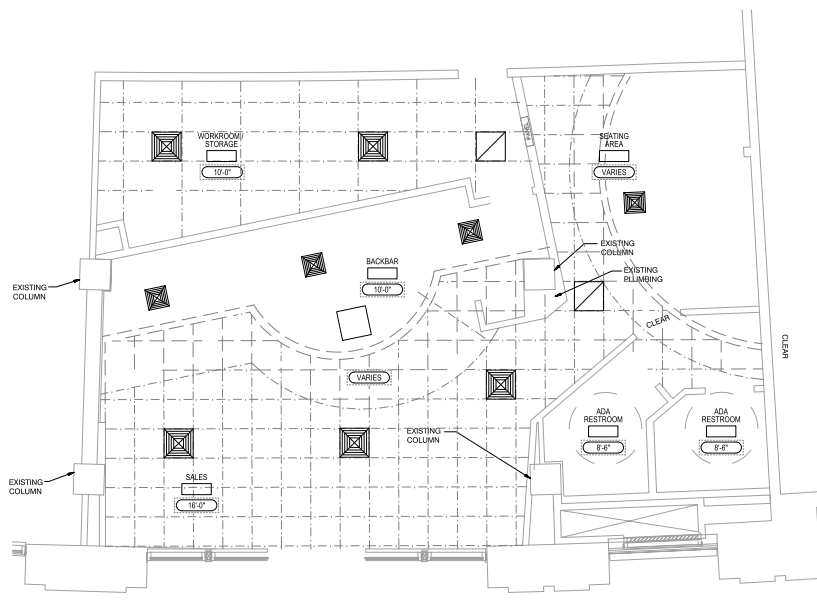


Alfonso S. Massoud  
Professional Engineer  
Date: FEB 10 11 51 PM 2020



**FINISH PLAN**

1/4" = 1'-0"  
5' 3' 1' 0' 5'



**REFLECTED CEILING PLAN**

1/4" = 1'-0"  
5' 3' 1' 0' 5'

NOTE: ALL CEILINGS ARE EXISTING TO REMAIN. CONTRACTOR TO REPLACE DAMAGED CEILING TILES AS NEEDED AND REPAIR DAMAGED DRYWALL CEILINGS AS REQUIRED.  
ALL CEILINGS ABOVE FOOD PREPARATION AREAS AND RESTROOMS TO BE NON ABSORBENT, WASHABLE, CLEANABLE TYPE  
SEE ELECTRICAL DRAWINGS FOR LIGHTING PLAN

**CONSTRUCTION AUTHORIZED**  
CODE ADMINISTRATION  
ALEXANDRIA VA  
03/25/2026  
THESE DOCUMENTS APPEAR TO COMPLY WITH APPLICABLE CODES AND REGULATIONS  
BY EEI/PTI  
FOR BUILDING OFFICIAL

REVISIONS

NO.	DATE	DESCRIPTION
1	---	PERMIT SUBMISSION

DRAWN JW  
CHECKED AM  
DATE FEBRUARY 10, 2020

DRAWING TITLE  
**ARCHITECTURAL**  
REFLECTED CEILING PLAN

DRAWING NUMBER  
**A202**



Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centreville, Virginia 20121  
ALFONS MASSOUD 703-909-6974  
am@dae.com  
SAM ODEH 571-220-3239  
DAEN@dae.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH HEALTHY CARE**  
2040 JAMESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfons S. Massoud  
Professional Engineer  
Virginia License No. 021939

NO.	DATE	DESCRIPTION
1	---	PERMIT SUBMISSION

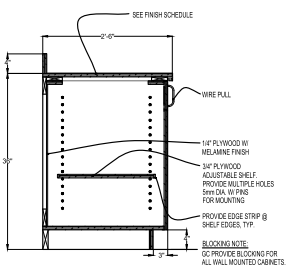
DRAWN JW  
CHECKED AM  
DATE FEBRUARY 10, 2020

DRAWING TITLE

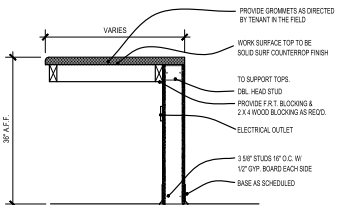
**ARCHITECTURAL**  
SCHEDULES AND DETAILS

DRAWING NUMBER

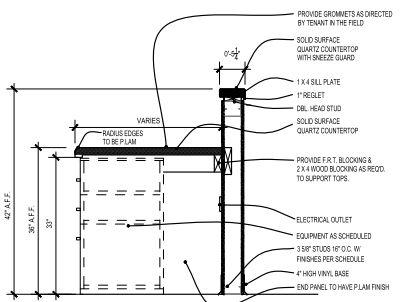
**A301**



**BACKBAR COUNTER DETAIL AT WALL**  
N.T.S



**COUNTERTOP DETAIL**  
N.T.S



**COUNTERTOP DETAIL**  
N.T.S

**DOOR SCHEDULE**

MARK	DESCRIPTION
(E) EXISTING	3'-0\"/>
(1) INTERIOR EXISTING	3'-0\"/>
(2) INTERIOR EXISTING	3'-0\"/>
(3) INTERIOR RESTROOM	3'-0\"/>

NOTE: ALL DOOR HARDWARE SHALL COMPLY WITH ICCANSI A117.1-2009 HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.

**PARTITION NOTES**

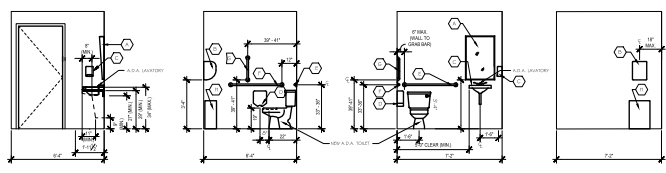
DIMENSIONS TAKEN TO FACE OF GYP. BOARD UNLESS OTHERWISE NOTED.  
ALL NEW PARTITIONS SHALL BE PER DETAIL P-1 UNLESS OTHERWISE NOTED.  
ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED.  
ALL PARTITIONS ABUTTING EXISTING BUILDING COLUMNS OR WALLS SHALL ALIGN NEW FINISH FACE WITH EXISTING UNLESS OTHERWISE INDICATED.  
REMOVE EXISTING GYPSUM BOARD AS NECESSARY FOR A SMOOTH FINISH WITH NO VISIBLE TRANSITION FROM EXISTING TO NEW GYPSUM BOARD.  
CONTRACTOR SHALL OBTAIN ARCHITECT'S APPROVAL OF THE CHALK LINE LAYOUT OF THE PARTITIONS PRIOR TO PROCEEDING WITH FRAMING.  
GALVANIZED STEEL MAY BE USED IN LIEU OF FIRE RETARDANT WOOD BLOCKING. PROVIDE 4" WIDE 16 GAUGE FLAT GALVANIZED BACKING FOR ALL WALL-HUNG SHELVING, MILLWORK AND HARDWARE. BACKING SHALL SPAN AT LEAST THREE STUDS.  
PROVIDE BRACING ABOVE CEILING HEIGHT PARTITIONS AS REQUIRED FOR INSTALLATION OF DOORS OR OTHER ITEMS TO PREVENT VIBRATION OR MOVEMENT OF THE PARTITION OR OTHER ITEM.  
PARTITION ASSEMBLIES AND BRACING SHALL BE INSTALLED AROUND ANY ABOVE-CEILING INTERFERENCES ENCOUNTERED SUCH AS DUCTS OR SPRINKLER LINES SO AS TO MAINTAIN THE INTEGRITY OF THE ASSEMBLY.  
PROVIDE APPROPRIATE METAL TRIM ACCESSORIES FOR GYPSUM BOARD AS RECOMMENDED BY U.S.G. OR SPECIFIED ON THESE DRAWINGS.  
WHERE NEW PARTITION IS INDICATED TO ALIGN WITH EXISTING CONDITION, REMOVE CENTER BEAD TO PROVIDE A SMOOTH TRANSITION.  
UNLESS NOTED OTHERWISE OR REQUIRED BY AN INDICATED UL DESIGN, MATCH GYPSUM BOARD THICKNESS FOR NEW PARTITIONS WITH THICKNESS OF EXISTING GYPSUM BOARD.  
ANY PARTITION CONTAINING WATER OR WASTE LINES SHALL BE CONSTRUCTED WITH MOISTURE RESISTANT GYPSUM BOARD.  
ANY PARTITION WITH TILE FINISH SHALL BE CONSTRUCTED WITH MOISTURE RESISTANT GYPSUM BOARD.  
ALL PARTITION JOINTS SHALL BE TAPED, SPACKLED, AND SANDED SMOOTH WITH NO VISIBLE JOINTS AND MADE READY TO RECEIVE SPECIFIED FINISHES.  
ANY EXISTING GYPSUM BOARD MUST BE REFINISHED TO BE SMOOTH AND READY TO RECEIVE SPECIFIED FINISH.  
NO PARTITIONS SHALL VARY MORE THAN 1/8" IN SURFACE PLANE IN 10 FEET IN ANY DIRECTION.

**CONSTRUCTION AUTHORIZED**  
CODE ADMINISTRATION  
ALEXANDRIA VA  
03/25/2026  
THESE DOCUMENTS APPEAR TO COMPLY WITH APPLICABLE CODES AND REGULATION  
BY **CTT FET**  
FOR BUILDING OFFICIAL

**FINISH SCHEDULE**

FLOORING				
MARK	ITEM	MANUFACTURER	MODEL NO.	REMARKS
F1	TILE	EXISTING TO REMAIN	EXISTING TO REMAIN	WORKROOM REPAIR AS NEEDED AND MATCH EXISTING.
F2	TILE	EXISTING TO REMAIN	EXISTING TO REMAIN	SALES BACKBAR, RESTROOMS REPAIR AS NEEDED AND MATCH EXISTING.
F3	LVP	OWNER TO SELECT	OWNER TO SELECT	SEATING AREA REPAIR AS NEEDED AND MATCH EXISTING.
BASE				
MARK	ITEM	MANUFACTURER	MODEL NO.	REMARKS
B1	RUBBER WALL BASE	EXISTING TO REMAIN	EXISTING TO REMAIN	ALL SPACES ARE EXISTING TO REMAIN. REPAIR AS NEEDED AND MATCH EXISTING.
WALLS				
MARK	ITEM	MANUFACTURER	MODEL NO.	REMARKS
P1	PAINT	BENJAMIN MOORE	CHANTILLY LAZE OC-45	COLORS SELECTED BY OWNERS
P2	PAINT	BENJAMIN MOORE	INSHAWK 52-22	CONFIRM WITH OWNER
-	CUSTOM GRAPHIC OR VINYL	-	-	OWNER TO PROVIDE AND DETERMINE LOCATION
W1	SIGNATURE WALL	LOCALLY SOURCED	RECLAIMED WOOD HONEY BROWN	CONFIRM WITH OWNER
W2	KITCHEN WALL FACING	LOCALLY SOURCED	SUBWAY TILE (WHITE / BLACK GROUT)	CONFIRM WITH OWNER
W3	KITCHEN WALLS	EXISTING TO REMAIN	EXISTING TO REMAIN	WORKROOM
CEILING				
MARK	ITEM	MANUFACTURER	MODEL NO.	REMARKS
C1	SUSPENDED ACoustICAL CEILING GRD	EXISTING TO REMAIN	EXISTING TO REMAIN	WORKROOM EXISTING TO REMAIN. TILES ARE SMOOTH, NON PERFORATED, EASY CLEANING, WASHABLE, CEILING TILES
C2	EXISTING DRYWALL WITH SOFFIT	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN DRYWALL ABOVE WORKROOM, BACKBAR, AND RESTROOM AREAS IS SMOOTH, NON PERFORATED, EASY CLEANING, WASHABLE
COUNTERTOPS				
MARK	ITEM	MANUFACTURER	MODEL NO.	REMARKS
-	NEW BAR COUNTERTOP	CAESARSTONE	OCEAN FOW 81641	SOLID SURFACE QUARTZ COUNTERTOP CONFIRM WITH OWNER

NOTE: PROVIDE SMOOTH, NON PERFORATED, WASHABLE, CEILING TILES IN THE FOLLOWING AREAS: KITCHEN (WORKROOM AND BACKBAR) AND RESTROOMS  
PER VBC SECTION 803.1.1 INTERIOR WALL AND CEILING FINISH MATERIALS  
PER TABLE 803.13, GROUP B SPRINKLERED, ROOMS AND ENCLOSED SPACES SHALL HAVE A CLASS C RATING.  
CLASS C = FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450.  
PER IBC 2021 SECTION 803-804  
EXCEPTION: FLOOR FINISHES AND COVERINGS OF A TRADITIONAL TYPE, SUCH AS WOOD, VINYL, LINOLEUM AND TERRAZZO AND RESILIENT FLOOR COVERING MATERIALS THAT ARE NOT COMPRISED OF FIBERS. SHEET A301 SHOWS FLOORING MATERIAL TO BE VINYL COMPOSITION TILE. COMPLIES WITH SECTION 804.



**HC TOILET ROOM ELEVATIONS**  
1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE					
MARK	DESCRIPTION	QUANTITY	MOUNTING HEIGHT	MFR./MODEL #	REMARKS
(M)	24x36 MIRROR	2	40" TO BOTTOM	BOBRICK B-165-2436	
(D)	ROLL PAPER TOWEL DISPENSER	2	40" TO BOTTOM	BOBRICK B-5265D	ACCEPTS STANDARD CORE ROLLS 7 1/2" UP TO 7 DIAMETER
(D)	SOAP DISPENSER	2	51" TO TOP OF UNIT	BOBRICK B-5050	
(D)	JUKABO ROLL TOILET TISSUE DISPENSER	2	51" TO TOP OF UNIT	BOBRICK B-52691	ROLLS (1) 10" DIAMETER ROLL WITH 7 DIAMETER CORE
(D)	36" GRAB BAR	2	33" 36" TO C	BOBRICK B-5606A36	
(D)	43" GRAB BAR	2	33" 36" TO C	BOBRICK B-5606A43	
(D)	18" GRAB BAR	2	29" 41" TO BOTTOM	BOBRICK B-5606A18	
(D)	FLOOR STANDING WASTE RECEPTACLE	2	ON FLOOR	BOBRICK B-5277	

PROVIDE ACCESSORIES AS REQUIRED TO CREATE FULLY ADA ACCESSIBLE RESTROOMS



Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centerville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
aemep@comcast.net  
SAM ODEH: 571-220-3239  
daemep@gmail.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH  
HEALTHY CAFE**  
2040 JAMESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfons S. Massoud  
Professional Engineer  
License No. 021939  
Virginia State Board of Professional Engineers  
11/11/19-09-2007

**MECHANICAL ABBREVIATIONS**

IL ANGLE	MAX MAXIMUM
∅ AT	
ABV ABOVE	MBH THOUSAND BTU PER HOUR
AD ACCESS DOOR	MECH MECHANICAL
ADJ ADJUSTABLE FREQUENCY DRIVE	MER MECHANICAL EQUIPMENT ROOM
AFF ABOVE FINISH FLOOR	MFR MANUFACTURER
AFMS AIRFLOW METERING STATION	MHP MOTOR HORSEPOWER
ANU AIR HANDLING UNIT	MOD MOTOR OPERATED DAMPER
ARCH ARCHITECT	MUM MAKE UP WATER
A.S. AS SHOWN	
AUX AUXILIARY	NA NOT APPLICABLE
BD BACKDRAFT DAMPER	NC NOISE CRITERION,
BFP BACKFLOW PREVENTER	NORMALLY CLOSED
BLDG BUILDING	NC NOT IN CONTRACT
BLW BELOW	NO.# NUMBER, NORMALLY OPEN
BOD BASIS OF DESIGN	NTS NOT TO SCALE
BTU BRITISH THERMAL UNIT	
BWV BACK WATER VALVE	O OPEN
	O/A OUTSIDE AIR
	OC ON CENTER
CD CEILING DIFFUSER	OBD OPPOSED BLADE DAMPER
CEF CEILING EXHAUST FAN	OED OPEN END DUCT W/ 1/2"
CFM CUBIC FEET PER HOUR	W/PS WIRE MESH
CFM CM CUBIC FEET PER MINUTE	PRESS PRESSURE
CG CEILING GRILLE	PRV PRESSURE REDUCING VALVE
CI CAST IRON	PSF POUNDS PER SQUARE FOOT
CLG CEILING	PSI POUNDS PER SQUARE INCH
CO CLEANOUT PLUG	PSIG POUNDS PER SQUARE INCH
CONC CONCRETE	GAUGE
COND CONDENSATE	
CONN CONNECTION	REG REGISTER
CR CEILING RETURN	REQD REQUIRED
CUHM CABINET UNIT HEATER	RPM REVOLUTIONS PER MINUTE
CV CONTROL VALVE	RR RETURN REGISTER
	SD DUCT SMOKE DETECTOR
∅B DECIBELS	SF SQUARE FEET
DB DRY BULB	SF SUPPLY FAN
DBL DOUBLE	SR SUPPLY REGISTER
DDC DIRECT DIGITAL CONTROL	SS STAINLESS STEEL
DESIG DESIGNATION	
DET DETAIL	TEMP TEMPERATURE, TEMPORARY
DIA DIAMETER	TS TRANSFER GRILLE
DN DOWN	TJV THRU JOIST WEB
DWG DRAWING	TYP TYPICAL
EA EACH	UNO UNLESS NOTED OTHERWISE
EAT ENTERING AIR TEMPERATURE	UH UNIT HEATER
EL ELEVATION	UTR UP THRU ROOF
ELEV ELEVATION	UV UNIT VENTILATION
EQ EQUAL	
EQUIP EQUIPMENT	V VENT
ER EXHAUST REGISTER	VAV VARIABLE AIR VOLUME
ESP EXTERNAL STATIC PRESSURE	TERMINAL
ENT ENTERING WATER TEMPERATURE	VENT VENTILATION
EXH EXHAUST	VFD VARIABLE FREQUENCY DRIVE
EXIST EXISTING	VIV VALVE IN VERTICAL
EF EXHAUST FAN	VP VENT PIPE
F FAHRENHEIT	VTR VENT THRU ROOF
FCU FAN COIL UNIT	
FD FIRE DAMPER, FLOOR DRAIN	W WIDTH
FIN FINISH (ED)	W/ WITH
FL FLOOR FALL LENGTH	W/O WITHOUT
FPM FEET PER MINUTE	WB WET BULB
FT FOOT, FEET	WCO WALL CLEANOUT
FTR FLUE THRU ROOF	WF WALL FIN
	WG WATER GAUGE
GAL GALLON	WT WEIGHT
GPM GALLONS PER MINUTE	WTR_M_C/WATER
H HEIGHT	
HTR HEATER	
HVAC HEATING, VENTILATING & AIR CONDITIONING	
IN INCH(ES)	
INV INVERT	
LAT LEAVING AIR TEMPERATURE	
LAV LAVATORY	
LESS POUNDS	
LESHR POUNDS PER HOUR	
LD LINEAR DIFFUSER (SUPPLY)	

**MECHANICAL SYMBOLS**

**LEGEND**

(E) EXISTING TO REMAIN  
(ER) EXISTING RELOCATED  
(RR) REMOVE AND RELOCATE  
(R) REMOVE

**SCOPE OF WORK**

NO NEW MECHANICAL WORK. DRAWING PROVIDED FOR REFERENCE ONLY TO SHOW ALL EXISTING TO REMAIN.

**VIRGINIA CODES:**

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE VIRGINIA STATE CODES AS LISTED BELOW OR ALL THE APPLICABLE CODES IN FORCE BY LOCAL AUTHORITIES, INCLUDING:

- 2021 VIRGINIA CONSTRUCTION CODE (IBCC)
- 2021 VIRGINIA STATEWIDE FIRE PREVENTION CODE
- 2021 NATIONAL ELECTRICAL CODE OF VIRGINIA
- 2021 VIRGINIA MECHANICAL CODE
- 2021 VIRGINIA ENERGY CONSERVATION CODE
- 2021 VIRGINIA PLUMBING CODE
- 2021 VIRGINIA FUEL GAS CODE
- 2021 VIRGINIA MAINTENANCE CODE
- 2021 VIRGINIA EXISTING BUILDING CODE

**CONSTRUCTION AUTHORIZED**  
CODE ADMINISTRATION  
ALEXANDRIA, VA  
03/30/2026  
THESE DOCUMENTS APPEAR TO COMPLY WITH APPLICABLE CODES AND REGULATION  
BY *Million Fiecha*  
FOR BUILDING OFFICIAL

**REVISIONS**

NO.	DATE	DESCRIPTION
---	---	PERMIT SUBMISSION

DRAWN    LB  
CHECKED    AM  
DATE    FEBRUARY 10, 2026

DRAWING TITLE  
**MECHANICAL**  
COVER SHEET

DRAWING NUMBER

**M001**



Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centerville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
amassou@dae.com  
SAM ODEH: 571-220-3239  
DAENMEP@gmail.com  
www.DAEN2000.com

PROJECT TITLE

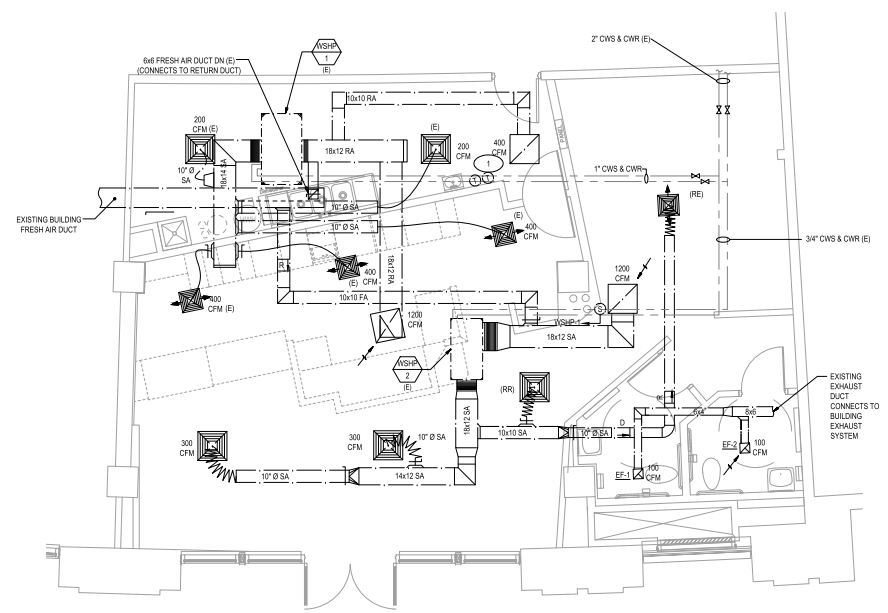
**FRESH  
HEALTHY CAFE**  
2040 JAMESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.

**WATER SOURCE HEAT PUMP SCHEDULE (EXISTING TO REMAIN)**

SYMBOL	MFG	MODEL	MOUNTING TYPE	DIMENSIONS (LxWxH)	COOLING DATA			HEATING DATA			WATER DATA		FAN DATA		ELECTRICAL DATA		FLA	WEIGHT (LBS)	
					TOT. CLG. (BTU)	ENT. WTR. TEMP.	EER	TOT. HTC. (BTU)	ENT. WTR. TEMP.	COP	CONN (IN)	FLOW CFM	FAN O.A.	SF (IN. W.C.)	VOLTAGE	PHASE			
WSHP-1	TRANE	GEHB-048	HORIZONTAL	50"x25"x19"	49,000	100°F	12.7	41,800	85°F	4.25	1	11.0	1600	200	0.5	460	3	7.8	428
WSHP-2	TRANE	GEHB-036	HORIZONTAL	58"x33"x21"	36,000	100°F	13.7	55,300	85°F	4.7	3/4	8.0	1200	400	0.65	460	3	6.6	318

- NOTES:  
(1) MOCF IS FUSE OR HACR RATING.  
(2) STATIC PRESSURE (SP) IS EXTERNAL TO UNIT. SELECTION SHALL INCLUDE UNIT LOSSES.  
(3) PROVIDE PRESSURE REGULATING VALVE WITH UNIT.



**MECHANICAL EXISTING FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**KEY NOTES**

- 1 EXISTING TO REMAIN THERMOSTAT. CONTRACTOR TO VERIFY OPERATION OF THERMOSTAT AND REMOTE SENSOR AND REPAIR AS NEEDED. COORDINATE WITH OWNER ON SETTINGS.

**CONSTRUCTION AUTHORIZED**  
CODE ADMINISTRATION  
ALEXANDRIA, VA  
03/30/2026  
THESE DOCUMENTS APPEAR TO COMPLY WITH APPLICABLE CODES AND REGULATION  
BY *Millem Fiecha*  
FOR BUILDING OFFICIAL

Project: FHC-Alex Unit Total Supply Air: 2800 cfm  
Date: FEB 2026 Unit Total Outdoor Air: 600 CFM  
Unit: WSHP-1, & WSHP-2

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
Room Number	Description	Area (Sq Ft)	Area Outdoor (Sq Ft)	Area Occupant (Sq Ft)	Occupancy (Person/1000)	Occupancy (Person/1000)	Occupancy (Person/1000)	Occupancy (Person/1000)	Occupancy (Person/1000)	Zone Air Effectiveness (Ez)	Zone Air Distribution (Vdz)	Supply Air Design (Vps)	Recirculation (Zr)	Outdoor Air (Zp + Vps)
SALES	Retail	235	0.12	28	15	4	7.5	30	58	0.8	73	550	0	0.133
SEATING DINING ROOM	Dining	229	0.18	41	70	17	7.5	127.5	168.5	0.8	211	400	0	0.528
SEATING DINING ROOM	Dining	52	0.18	9	70	4	7.5	30	39	0.8	49	200	0	0.245
Compo	Compo	163	0.08	10	0	0	0	0	10	0.8	13	50	0	0.260
Bar/caf	Retail	272	0.12	33	15	5	7.5	37.5	70.5	0.8	89	1200	0	0.074
pantry	pantry	261	0.08	16	5	2	5	10	26	0.8	33	400	0	0.083
WORK RM	WORK RM	100	0.12	0	20	0	7.5	0	0	0.8	0	0	0	0.000
Totals			0	0	0	0	0	0	0	0.8	0	0	0	0.000
			1212	137	32			235	372		488	2800	0	0.528

2021 OA Version IMC

Do not utilize Occupant Diversity without specific approval from the Authority Having	Occupant Diversity D = Pz / All zones Pz	Total Required Outdoor Air	Ez
	1,000	600	0.620
System Population (Ps)	Uncorrected O.A. Vou = D / All zones RpPz + All zones RaAz	Percentage of Outdoor Air	Method
Diversity -> 33		21%	IMC Chart



Alfonso S. Massoud  
Professional Engineer  
License No. 021359  
State of Virginia

**REVISIONS**

NO.	DATE	DESCRIPTION
1		PERMIT SUBMISSION

DRAWN: UB

CHECKED: AM

DATE: FEBRUARY 10, 2026

DRAWING TITLE

**MECHANICAL**

EXISTING FLOOR PLAN & SCHEDULES

DRAWING NUMBER

**M200**

## PLUMBING SPECIFICATIONS

### GENERAL

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL CODES, ORDINANCES AND STANDARDS OF THE LOCAL JURISDICTION. IN CASE OF A CONFLICT BETWEEN DRAWINGS OR SPECIFICATIONS AND THE REQUIREMENTS OF THE LOCAL JURISDICTION, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS, LEAKS, LACK OF PROPER SYSTEM PERFORMANCE OR NON-OPERATION FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE.
- ALL WORK SHALL BE COORDINATED WITH ALL TRADES, PRIOR TO INSTALLATION.
- IN GENERAL, DRAWINGS FOR THE WORK ARE DIAGRAMMATIC AND SHOW THE LOCATION, TYPE AND SIZE OF PIPING, EQUIPMENT, AND ACCESSORY EQUIPMENT. THE CONTRACTOR SHALL FURNISH ALL ITEMS NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OF THE WORK, WHETHER CALLED FOR OR NOT. THE CONTRACTOR SHALL VERIFY ALL NECESSARY DIMENSIONS BEFORE INSTALLING ANY OF THE WORK AND SHALL CHECK HIS LAYOUTS TO ALLOW CLEARANCE REQUIRED FOR OTHER WORK. THE SCOPE OF WORK CONSISTS GENERALLY OF PROVIDING AND INSTALLING COMPLETE PLUMBING AND GAS SYSTEMS AND FINAL TESTING OF ALL SYSTEMS AND EQUIPMENT AS REQUIRED.

### PRODUCTS

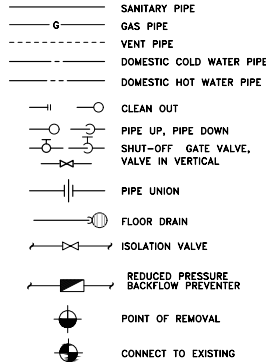
- PLUMBING FIXTURES: ALL FIXTURES SHALL BE SELECTED BY OWNER. PROVIDE ALL FIXTURES WITH TRIM, CARRIER SUPPLIES, AND TRAPS AS REQUIRED FOR COMPLETE INSTALLATION.
- PIPING AND FITTING:
  - DOMESTIC WATER: ABOVE GRADE SHALL BE TYPE "L" HARD DRAWN COPPER TUBING WITH 125 PSI WROUGHT COPPER SWEAT FITTINGS, AND ALL JOINT SOLDERED WITH 95/5 OR SILVER SOLDER. BELOW GRADE SHALL BE TYPE "K" SOFT DRAWN COPPER TUBING WITH 125 PSI WROUGHT COPPER SWEAT FITTINGS SOLDERED WITH SILVER SOLDER.
  - SOIL, WASTE AND VENT: ABOVE GRADE SHALL BE SERVICE WEIGHT CAST IRON BELL AND SPIGOT. SCHEDULE 40 GALVANIZED STEEL PIPE WITH SWEAT. CAST IRON DRAINAGE PATTERN FITTINGS. CAST IRON NO-HUB PIPING AND FITTINGS. DWY COPPER TUBING AND COPPER DRAINAGE PATTERN FITTINGS. SCHEDULE 40 PVC PLASTIC PIPE AND PVC-DWY FITTING. PVC SHALL NOT BE USED IN PLENUM SPACES. BELOW GRADE SHALL BE: SERVICE WEIGHT CAST IRON BELL AND SPIGOT. SOIL, WASTE AND VENT STACKS SHALL BE SERVICE WEIGHT CAST IRON BELL AND SPIGOT. OR SCHEDULE 40 PVC NON-PLENUM / IN-WALL - SHALL BE SCHEDULE 40 PVC. PLENUM - SHALL BE HUBLESS CAST IRON OR COPPER DRAINAGE TUBE (DWY).
  - NATURAL GAS: SHALL BE SCHEDULE 40 BLACK STEEL 40 PIPE, WITH MALLEABLE SCREWED 150 PSI FITTINGS.
- INSULATION:
  - DOMESTIC WATER PIPING: COVER COLD WATER WITH 1/2" AND HOT WATER WITH 1" FIBERGLASS INSULATION SECURED WITH ALL PURPOSE JACKET. PIPING IN EXTERIOR WALLS AND PLUMBING CHASES SHALL BE COVERED WITH 1" THICK INSULATION.

- VALVES:
  - DOMESTIC WATER: ALL VALVES SHALL BE SWEATED BRONZE GATE VALVE WITH SCREW-IN BONNET, RISING STEM MINIMUM RATING OF 125 PSI. TWO PIECES BALL VALVES WITH EXTENDED HANDLE MAY BE USED IN LIEU OF THE GATE VALVES.
  - GAS VALVES: SHALL BE OF THE APPROVED TYPE WITH AGA LABEL AND SHALL BE INSTALLED AS REQUIRED. GAS VALVES SHALL NOT BE LOCATED IN PLENUM SPACES.
- HANGERS: SHALL BE ADJUSTABLE CLEVIS HANGERS, PROPERLY SIZED AND SPACED FOR PIPING, INCLUDING INSULATION.
- EXECUTION
  - INSTALL FIXTURES LEVEL, PLUMB AND PARALLEL TO WALLS. ALL EXPOSED METAL PARTS SHALL BE CHROME PLATED AND SHOW NO TOOL MARKS. GROUT BETWEEN WALL HUNG FIXTURES AND WALL. PROVIDE ACCESS PANELS TO ALL CONCEALED SUPPLY STOPS AND TRAP.
  - FIXTURES DESIGNATED FOR USE BY PHYSICALLY HANDICAPPED PEOPLE SHALL BE IN ACCORDANCE WITH ANSI A 117.1.
  - INSTALL DIELECTRIC CONNECTION BETWEEN DISSIMILAR METALS, PIPE TO PIPE, PIPE TO EQUIPMENT, PIPE TO SUPPORT.
  - FURNISH AND INSTALL JOSAM 75000 SERIES SHOCK ARRESTERS AT THE ENDS OF ALL HOT AND COLD WATER BRANCHES TO FIXTURES. SIZES SHALL BE IN ACCORDANCE WITH PLUMBING AND DRAINAGE INSTITUTE STANDARD PDI-WH-201.

## PLUMBING NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STATE BUILDING CODE, LOCAL REQUIREMENTS AND THE PROJECT SPECIFICATIONS.
- ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES.
- ALL DRAINAGE PIPING SHALL BE RUN AT A SLOPE OF 1/4" PER FOOT UNLESS SPECIFICALLY SHOWN OTHERWISE ON DRAWINGS.
- CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- ALL HOT AND COLD WATER SUPPLY PIPING SHALL BE INSULATED.
- PROVIDE AND INSTALL CLEAN-OUTS IN DRAINAGE PIPING AT EACH CHANGE IN DIRECTION OF PIPING GREATER THAN 45 DEGREES, EVERY 50 FEET, AND AS SHOWN.
- EXPOSED UTILITY SERVICE LINES AND PIPES SHALL BE INSTALLED SO THAT THEY DO NOT OBSTRUCT OR PREVENT CLEANING OF THE FLOORS, WALLS, OR CEILINGS. EXPOSED HORIZONTAL UTILITY SERVICE LINES AND PIPES SHALL NOT BE INSTALLED ON THE FLOOR.
- FLOOR DRAINS AND FLOOR SINKS. ALL FLOOR SINKS SHALL BE PLACED AT THE LEADING EDGE OF THE EQUIPMENT FOR CLEANING PURPOSES.
- THE AIR GAP BETWEEN THE INDIRECT WASTE PIPE AND THE FLOOD LEVEL RIM OF THE WASTE RECEPTOR SHALL BE NOT LESS THAN TWICE THE EFFECTIVE OPENING OF THE INDIRECT WASTE PIPE.

## PLUMBING LEGEND



## PLUMBING ABBREVIATIONS

AAV	AIR ADMITTANCE VALVE
CO	CLEANOUT
CW	COLD WATER
CWF	COLD WATER FILTERED
DN	DOWN
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
GAL	GALLONS
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HB	HOSE BIBB
HW	HOT WATER
LAV	LAVATORY
PSI	POUND PER SQUARE INCH
OSD	OPEN SITE DRAIN
SAN	SANITARY
THW	TEMPERED HOT WATER
TYP	TYPICAL
V	VENT
VIF	VERIFY IN FIELD
VTR	VENT THRU ROOF
WC	WATER CLOSET

## PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	CONNECTIONS				REMARKS
		COLD WATER	HOT WATER	WASTE	VENT	
1CS	1 COMPARTMENT SINK	1/2"	1/2"	1-1/2"	1-1/2"	DRAINS INDIRECTLY TO FLOOR SINK
3CS (E)	3 COMPARTMENT SINK	1/2"	1/2"	2"	1-1/2"	DRAINS INDIRECTLY TO FLOOR SINK
HS	HAND SINK	1/2"	1/2"	1-1/2"	1-1/2"	PROVIDE WITH TEMPERED HOT WATER (THW)
DS	DUMP SINK	1/2"	1/2"	1-1/2"	1-1/2"	PROVIDE WITH TEMPERED HOT WATER (THW)
MSB (E)	MOP SINK BASIN (E)	3/4"	3/4"	3"	2"	EXISTING TO REMAIN

- NOTE: 1. SET TEMPERING VALVE AT 105° F. VALVE SHALL COMPLY WITH ASSE 1070.  
 2. WATER CLOSET SHALL BE FLUSH VALVE TYPE WITH HINGED OPEN FRONT SEAT, SIZED FOR BOWL TYPE.  
 3. PROVIDE CARRIER AND FITTINGS AS RECOMMENDED BY FIXTURE MANUFACTURER.  
 4. COMPLY WITH ANSI A117.1 FOR ACCESSIBLE FIXTURE'S MOUNTING HEIGHTS.  
 5. ADA LAVATORIES AND HAND SINKS TO BE PROVIDED WITH INSULATED COVERINGS OVER EXPOSED PIPING.  
 6. FLOOR DRAIN TO BE PROTECTED FROM EVAPORATION BY BARRIER TRAP SEAL DEVICE SIMILAR TO ZURN-Z1072-4 OR GREEN DRAIN -GD2. DEVICE TO COMPLY WITH ASSE 1072 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

## ELECTRIC WATER HEATER SCHEDULE

MARK	AREA SERVED	RECOVERY				ELECTRIC		REMARKS
		GALLONS	GPH	EWT	LWT	V - PH -HZ	KW	
EW(H)	SEE PLAN	50	147	40	140	480-3-60	36	EXISTING TO REMAIN - STATE MODEL CSB-52-18-SFE 100.

NOTE: INSTALL HEATER AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

## PLUMBING FIXTURE FLOW RATE SCHEDULE

MARK	FIXTURE	MAX. FLOW RATE
	ALL SINK FAUCETS	2.2
LAV	LAVATORY	0.5
WC	WATER CLOSET - ADA	1.8 GPF
MSB	MOP SINK BASIN	EXEMPT

## VIRGINIA CODES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE VIRGINIA STATE CODES (AS LISTED BELOW) OR ALL THE APPLICABLE CODES IN FORCE ON THE DATE OF THE PERMIT'S EXPIRATION.
- 2021 VIRGINIA CONSTRUCTION CODE (UBCC)
  - 2021 VIRGINIA STATEWIDE FIRE PREVENTION CODE
  - 2020 NATIONAL ELECTRICAL CODE OF VIRGINIA
  - 2021 VIRGINIA MECHANICAL CODE
  - 2021 VIRGINIA ENERGY CONSERVATION CODE
  - 2021 VIRGINIA PLUMBING CODE
  - 2021 VIRGINIA FUEL GAS CODE
  - 2021 VIRGINIA MAINTENANCE CODE
  - 2021 VIRGINIA EXISTING BUILDING CODE

## CONSTRUCTION AUTHORIZED

CODE ADMINISTRATION

ALEXANDRIA

03/30/2025

IF EXISTING TO REMAIN  
 (R) EXISTING RELOCATED  
 (R) REMOVE AND RELOCATE  
 (R) REMOVE  
 BY: *William Fiecha*  
 BUILDING OFFICIAL



Design America Engineering, Inc.  
 MEP Consulting Engineers  
 14080 Red River Drive  
 Centerville, Virginia 20121  
 ALFONS MASSOUD: 703-909-6974  
 am@dae.com  
 SAM ODEH: 571-220-3239  
 dae@dae.com  
 www.DAE2000.com

PROJECT TITLE

**FRESH  
 HEALTHY CAFE**  
 2040 JAMESON AVE  
 ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfonso S. Massoud  
 License No. 021339  
 State of Virginia  
 Professional Engineer

NO.	DATE	DESCRIPTION
1	---	PERMIT SUBMISSION

DRAWN: UB  
 CHECKED: AM  
 DATE: FEBRUARY 10, 2025

DRAWING TITLE  
**PLUMBING**  
 COVER SHEET

DRAWING NUMBER

**P001**



Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centreville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
aemseup@gmail.com  
SAM ODEH: 571-220-3239  
DAENMEP@gmail.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH  
HEALTHY CAFE**  
2040 JAMESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfons S. Massoud  
Professional Engineer  
License No. 021359  
Commonwealth of Virginia

REVISIONS

NO.	DATE	DESCRIPTION
---	---	PERMIT SUBMISSION

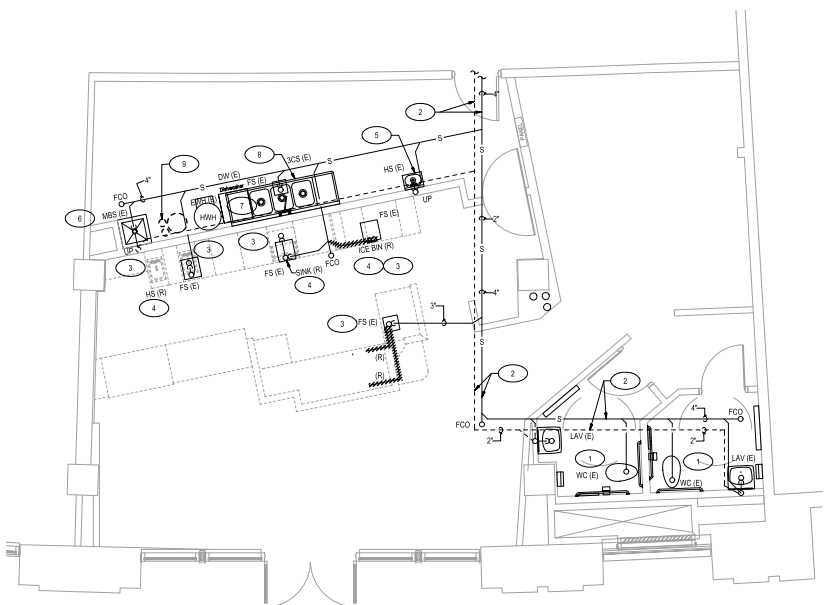
DRAWN UB  
CHECKED AM  
DATE FEBRUARY 10, 2020

DRAWING TITLE

**PLUMBING**  
DEMOLITION  
FLOOR PLANS

DRAWING NUMBER

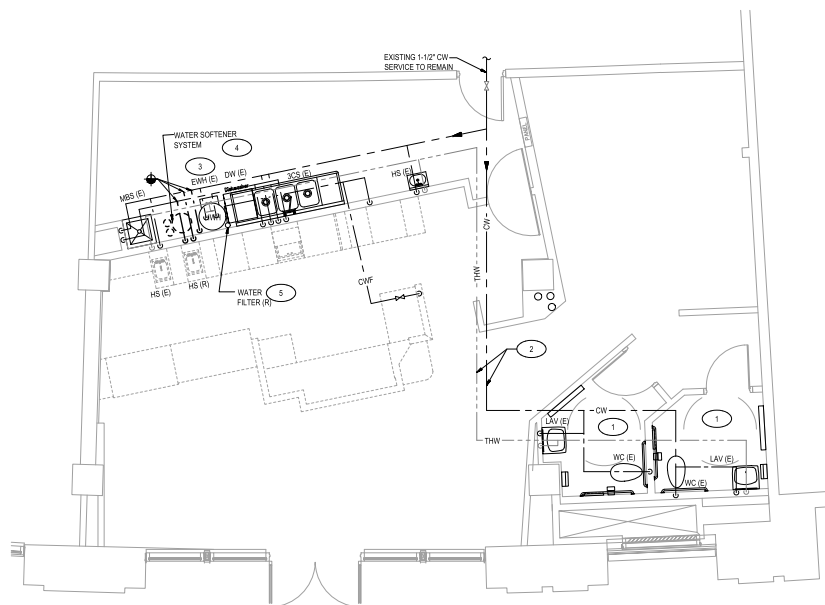
**P100**



**FLOOR PLAN - DEMOLITION - SANITARY**  
SCALE: 1/4" = 1'-0"

NOTES

- 1 EXISTING PLUMBING FIXTURES TO REMAIN WITH ASSOCIATION PIPING IN MEN'S AND WOMEN'S TOILETS.
- 2 EXISTING SANITARY AND VENT LINES TO REMAIN.
- 3 EXISTING FLOOR SINK TO REMAIN.
- 4 REMOVE EXISTING HS WITH ASSOCIATED PIPING.
- 5 EXISTING HS TO REMAIN WITH ASSOCIATED PIPING.
- 6 EXISTING MBS TO REMAIN WITH ASSOCIATED PIPING.
- 7 EXISTING UNDER COUNTER DISH WASHER TO REMAIN WITH ASSOCIATED PIPING.
- 8 EXISTING JCS TO REMAIN WITH ASSOCIATED PIPING.
- 9 REMOVE EXISTING WATER SOFTENER WITH ASSOCIATED PIPING.
- 10 REMOVE EXISTING ICE BIN WITH ASSOCIATED PIPING.



**FLOOR PLAN - DEMOLITION - WATER**  
SCALE: 1/4" = 1'-0"

NOTES

- 1 EXISTING PLUMBING FIXTURES TO REMAIN WITH PIPING IN MEN'S AND WOMEN'S TOILETS.
- 2 EXISTING CW AND TEMPERED HOT WATER (THW) ABOVE CEILING TO REMAIN.
- 3 EXISTING ELECTRIC WATER HEATER TO REMAIN.
- 4 REMOVE EXISTING SOFTENER SYSTEM ALL WITH PIPING.
- 5 REMOVE EXISTING WATER FILTER, PROVIDE NEW IN SAME LOCATION.

**CONSTRUCTION AUTHORIZED**  
CODE ADMINISTRATION  
ALEXANDRIA, VA.  
03/30/2026  
THESE DOCUMENTS APPEAR TO COMPLY WITH  
APPLICABLE CODES AND REGULATION  
BY *Million Fiecha*  
FOR BUILDING OFFICIAL.





Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centreville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
cmassou@daeng.com  
SAM ODEH: 571-220-3239  
daengmep@gmail.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH  
HEALTHY CAFE**  
2040 JAMESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfonso S. Massoud  
Professional Engineer  
License No. 021359  
Mechanical  
11/11/2010-09/09/2017

REVISIONS

NO.	DATE	DESCRIPTION
--	--	PERMIT SUBMISSION

DRAWN UB

CHECKED AM

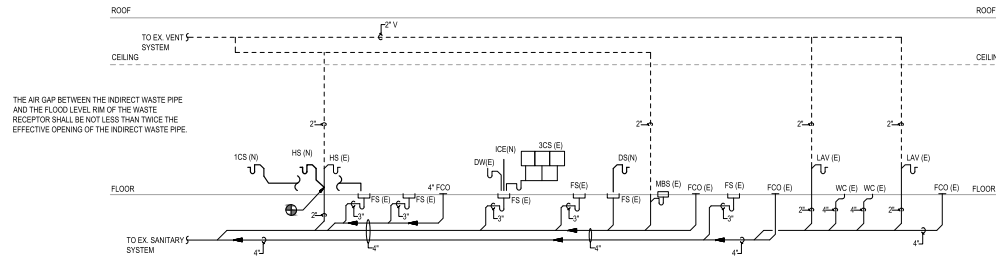
DATE FEBRUARY 10, 2020

DRAWING TITLE

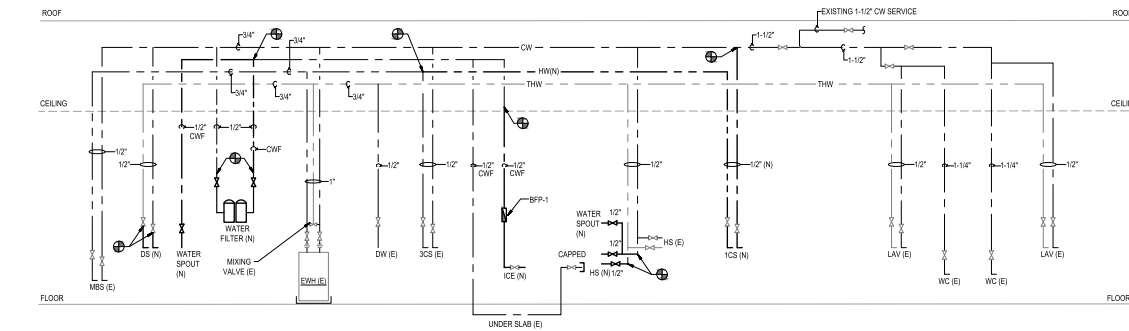
**PLUMBING**  
RISER DIAGRAMS & DETAILS

DRAWING NUMBER

**P300**



**SANITARY RISER DIAGRAM**  
NOT TO SCALE

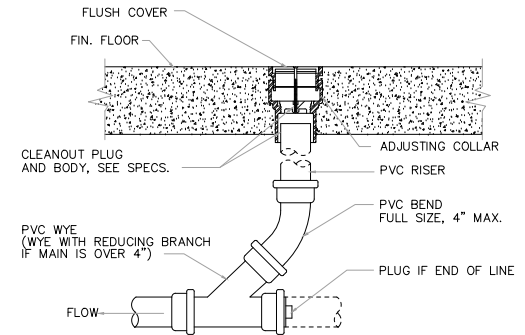


**WATER RISER DIAGRAM**  
NOT TO SCALE

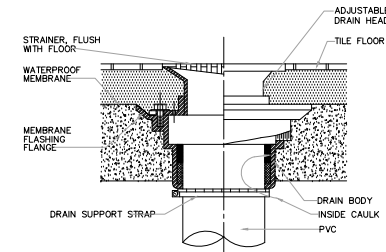
**BACKFLOW PREVENTER SCHEDULE**

TYPE	ASSE	LOCATION	SERVES
BFP-1	1024	KITCHEN	ICE MAKER
--	--	--	--

**CONSTRUCTION AUTHORIZED**  
CODE ADMINISTRATION  
ALEXANDRIA, VA.  
03/30/2020  
THESE DOCUMENTS APPEAR TO COMPLY WITH APPLICABLE CODES AND REGULATION  
BY *Million Fiecha*  
FOR BUILDING OFFICIAL.



**FLOOR CLEANOUT**  
NTS



**FLOOR DRAIN**  
NTS

**ELECTRICAL GENERAL NOTES**

- IT IS THE INTENT OF THESE DRAWINGS AND OTHER RELATED DOCUMENTS TO PRODUCE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABORS, MATERIALS, TESTS, AND OTHER SERVICES AS MAY BE NECESSARY TO ACHIEVE THIS PURPOSE. THE CONTRACTOR SHALL PROVIDE ADEQUATE ACCEPTANCE OF THE PLANS AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIMS BASED ON DISCREPANCIES ON THE PLANS WILL NOT BE CONSIDERED.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES HAVING JURISDICTION. ALL EQUIPMENT, DEVICES, AND MATERIAL SHALL BE LISTED WITH UNDERWRITERS LABORATORIES FOR ITS APPLICATION AS INSTALLED AND SHALL BEAR THE UL LABEL.
- THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY SUCH FEES AS MAY BE NECESSARY FOR INSPECTIONS, TESTS, AND OTHER SERVICES WHICH ARE REQUIRED FOR THE COMPLETION OF HIS WORK.
- THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED PRIOR TO SUBMISSION OF BIDS. ANY DIFFICULTIES IN COMPLYING WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE BIDDING.
- ELECTRICAL PLANS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS.
- CONSULT PLANS OF ALL OTHER TRADES FOR COORDINATION AND FOR RELATED AND ADJOINING WORK.
- CONSULT ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR CONSTRUCTION TYPE, HEADROOM, ROOM FINISHES, CEILING, ETC.
- SEE REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHT FIXTURES.
- CIRCUIT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY SPACING THE CIRCUITS IN THE PANEL AND BALANCE THE LOAD ON THE PHASES UNDER NORMAL OPERATING CONDITIONS.
- SHOP DRAWINGS FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, DEVICES AND MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE DELIVERY TO THE JOB SITE. EQUIPMENT, FIXTURES, DEVICES, AND MATERIAL DELIVERED TO THE JOB SITE OR INSTALLED PRIOR TO APPROVAL OF THE SHOP DRAWINGS, AND FOR WHICH THE SHOP DRAWINGS ARE SUBSEQUENTLY REJECTED, SHALL BE REPLACED WITH AN APPROVED ITEM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY WIRE SIZES, C/B AND FUSE RATINGS FOR ALL HVAC EQUIPMENT, AND BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES AFFECTING THE WORK PRIOR TO PROCEEDING.
- ALL WORK SHALL BE DONE AT SUCH TIMES AND IN SUCH A MANNER AS WILL LEAST INTERFERE WITH THE MAINTENANCE AND OPERATION OF ALL RELATED OR AFFECTED SYSTEM. ALL POWER OUTLET, FIRE ALARM SHUT DOWNS, ETC. SHALL BE COORDINATED WITH OWNER.
- CONTRACTOR SHALL VERIFY THAT ALL DRO SWINGS ARE CORRECT BEFORE INSTALLING LIGHT SWITCH OUTLETS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING OF ALL MOTOR OVERLOAD DEVICES (HEATERS) IN STARTERS BASED ON ACTUAL NAMEPLATE RATINGS ON THE MOTORS BEING INSTALLED.
- HORSEPOWER RATINGS INDICATED ON DRAWINGS MAY DIFFER FROM ACTUAL EQUIPMENT FURNISHED. IF FURNISHED EQUIPMENT DEPARTS FROM RATINGS ON DRAWINGS, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER FOR APPROPRIATE ACTION TO BE TAKEN.
- CONTRACTOR SHALL NOTE ALL LABELS ON PACKAGED TYPE MECHANICAL EQUIPMENT. IF U.L. LABEL ON MECHANICAL EQUIPMENT IS ACTUALLY BE INSTALLED CALLS FOR THE OVERCURRENT PROTECTIVE DEVICE TO BE FUSES, THE ELECTRICAL CONTRACTOR SHALL PROVIDE A FUSED DISCONNECT SWITCH WITH PROPER SIZE FUSES AT THE SWITCH LOCATION INDICATED ON DRAWINGS AT NO ADDITIONAL CHARGE TO THE OWNER.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY THE TYPE OF CEILING SYSTEM WITH THE GENERAL CONTRACTOR OR CEILING CONTRACTOR TO INSURE THAT ALL RECESSED LIGHTING FIXTURES ARE COMPATIBLE WITH THE CEILING SYSTEM BEING INSTALLED. LIGHTING FIXTURES SHOULD NOT BE ORDERED UNTIL TYPE OF CEILING HAS BEEN VERIFIED.
- LIGHTING FIXTURES INSTALLED IN SUSPENDED CEILING SHALL BE SUPPORTED DIRECTLY FROM THE BUILDING STRUCTURE.
- THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS. ONLY THOSE WHERE CLARIFICATION IS NECESSARY, THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM WHETHER INDICATED ON DRAWINGS OR NOT.
- ALL EMPTY CONDUIT RUNS IN EXCESS OF 10 FEET SHALL BE PROVIDED WITH A PULL WIRE OF FISH TAPE/CORD.
- ALL CONDUCTORS, RACEWAYS AND CABLES SHALL BE CONCEALED IN CEILING OR WALL UNLESS INDICATED OTHERWISE.
- OPENINGS OR CORE DRILLS IN EXISTING BUILDING STRUCTURE FOR PASSAGE OF CONDUITS/CABLES SHALL NOT BE CUT UNTIL THE CONTRACTOR HAS ASKED FOR AND RECEIVED WRITTEN APPROVAL FROM THE ARCHITECT AND OWNER.
- THE LIGHTING FIXTURES SHALL BE FURNISHED AND INSTALLED COMPLETE WITH ALL ACCESSORIES (INCLUDING LAMPS) BY THE ELECTRICAL CONTRACTOR.
- SYMBOLS SHOWN ON THIS SHEET ARE STANDARD SYMBOLS AND MAY NOT NECESSARILY ALL BE APPLICABLE TO THIS PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY OWNER.
- ALL PENETRATIONS OF FLOOR AND WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH IBC, NEC, AND NFPA.

**ELECTRICAL SYMBOLS**

- ☐ LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR TYPE AND MOUNTING.
- ☐ WALL MOUNTED DUAL HEAD BATTERY POWERED EMERGENCY LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE.
- ☐ SINGLE FACE EXIT LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE.
- ☐ DOUBLE FACE EXIT LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE.
- ☐ SINGLE POLE TOGGLE SWITCH - 20 AMP, 120 VOLT, M.H. 48" AFF, UNLESS NOTED OTHERWISE.
- ☐ THREE WAY TOGGLE SWITCH - 20 AMP, 120 VOLT, M.H. 48" AFF, UNLESS NOTED OTHERWISE.
- ☐ MOTOR RATED SWITCH WITH THERMAL OVERLOAD PROTECTION, MOUNT ADJACENT TO OR ON THE MOTOR BEING CONTROLLED.
- ☐ LIGHT SWITCH WITH BUILT-IN OCCUPANCY SENSOR.
- ☐ DIMMER SWITCH WITH BUILT-IN OCCUPANCY SENSOR.
- ☐ LIGHT SWITCH WITH TIMER.
- ☐ CEILING MOUNTED OCCUPANCY SENSOR.
- ☐ CEILING MOUNTED DAYLIGHT SENSOR.
- ☐ JUNCTION BOX, CEILING OR WALL MOUNTED.
- ☐ DUCT SMOKE DETECTOR IN SUPPLY AND RETURN AIR DUCTS.
- ☐ DUPLEX GROUNDING TYPE RECEPTACLE - 20 AMP, 120 VOLT, NEMA 5-20R, M.H. 18" AFF, UNLESS NOTED OTHERWISE.
- ☐ DOUBLE DUPLEX GROUNDING TYPE RECEPTACLE - 20 AMP, 120 VOLT, NEMA 5-20R, M.H. 18" AFF, UNLESS NOTED OTHERWISE.
- ☐ ALL DEVICES INSTALLED IN THE LOCATION EXPOSED TO AMBIENT CONDITIONS SHALL BE WEATHERPROOFED.
- ☐ TAMPER RESISTANT RECEPTACLE.
- ☐ TAMPER RESISTANT RECEPTACLE WITH USB.
- ☐ DATA OUTLET.
- ☐ TELEPHONE/DATA OUTLET - WALL MOUNTED, M.H. 18" AFF, UNLESS NOTED OTHERWISE. PROVIDE 1" EO FROM THE OUTLET TO 6" ABOVE FINISHED CEILING AND TERMINATE WITH 90° BEND AND INSULATED BUSHING.
- ☐ FLOOR MOUNTED RECEPTACLE.
- ☐ DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER PROTECTION - 20 AMP, 120 VOLT, NEMA 5-20R, M.H. 42" AFF, UNLESS NOTED OTHERWISE.
- ☐ ELECTRIC MOTOR CONNECTION - HORSEPOWER AS NOTED.
- ☐ POWER COMPANY METER, RATING AS INDICATED ON DRAWING.
- ☐ DRY TYPE TRANSFORMER, RATING AS INDICATED ON DRAWING.
- ☐ HOMERUN WIRING WITH A DEDICATED EQUIPMENT GROUND WIRE TO THE REFERENCED PANELBOARD. ARROW HEADS AND NUMERALS INDICATE THE CIRCUIT NUMBERS.

**ELECTRICAL ABBREVIATIONS**

A	AMP	KW	KILOWATTS
AF	ABOVE FINISHED FLOOR	N	NEW
AHU	AIR HANDLING UNIT	NEC	NATIONAL ELECTRICAL CODE
AIC	AMPS INTERRUPTING CAPACITY	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
AL	ALUMINUM	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
ATS	AUTOMATIC TRANSFER SWITCH	NPSS	NON-FUSED SAFETY SWITCH
CB	CIRCUIT BREAKER	P	POLE
CH	CABINET HEATER	PH	PHASE
CKT	CIRCUIT	R	REMOVE
CN	COPPER, COMPRESSOR UNIT	RE	RELOCATE
DJ	DOWN	RTU	ROOF TOP UNIT
E	EXISTING	UL	UNDERWRITERS LABORATORY
EC	EMPTY CONDUIT	UN	UNLESS OTHERWISE NOTED
ER	EXISTING RELOCATED	V	VOLT
EF	EXHAUST FAN	VA	VOLTAGMS
FSS	FUSED SAFETY SWITCH	W	WATTS
GFI	GROUND FAULT INTERRUPTER	WH	WEATHER HEATER
GN	GROUND	WP	WEATHER PROOF
HP	HORSE POWER	IG	ISOLATED GROUND
IS	ISOLATED GROUND	XMR	TRANSFORMER
KVA	KILOVOLT AMPS		

**FEEDER SCHEDULE**

NOMINAL AMPERE RATING	FEEDER TAG & MODEL	LOAD DESCRIPTION	MINIMUM RACEWAY SIZE (INCHES)
20	300	3-12 AMPS 1-12 AMPS GND. 3-12 AMPS 1-12 AMPS RE 1-12 AMPS GND. K CHANGE NEUTRAL TO 1-8 AMPS GND. G ADD 1-2 AMPS IS	3/4"
30	300	3-10 AMPS 1-10 AMPS GND. 3-10 AMPS 1-10 AMPS RE 1-10 AMPS GND. K CHANGE NEUTRAL TO 1-4 AMPS GND. G ADD 1-10 AMPS IS	3/4"
40	400	3-8 AMPS 1-8 AMPS GND. 3-8 AMPS 1-8 AMPS RE 1-8 AMPS GND. K CHANGE NEUTRAL TO 1-4 AMPS GND. G ADD 1-10 AMPS IS	1"
55	500	3-8 AMPS 1-8 AMPS GND. 3-8 AMPS 1-8 AMPS RE 1-8 AMPS GND. K CHANGE NEUTRAL TO 1-4 AMPS GND. G ADD 1-10 AMPS IS	1"
70	700	3-4 AMPS 1-4 AMPS GND. 3-4 AMPS 1-4 AMPS RE 1-4 AMPS GND. K CHANGE NEUTRAL TO 1-4 AMPS GND. G ADD 1-8 AMPS IS	1 1/2"
100	1000	3-2 AMPS 1-2 AMPS GND. 3-2 AMPS 1-2 AMPS RE 1-2 AMPS GND. K CHANGE NEUTRAL TO 1-3/2 AMPS GND. G ADD 1-4 AMPS IS	1 1/2"
130	1300	3-1 AMPS 1-1 AMPS GND. 3-1 AMPS 1-1 AMPS RE 1-1 AMPS GND. K CHANGE NEUTRAL TO 2/3 AMPS GND. G ADD 1-4 AMPS IS	2"
150	1500	3-1 AMPS 1-1 AMPS GND. 3-1 AMPS 1-1 AMPS RE 1-1 AMPS GND. K CHANGE NEUTRAL TO 2-1/2 AMPS GND. G ADD 1-4 AMPS IS	2 1/2"
175	1750	3-2/3 AMPS 1-2/3 AMPS GND. 3-2/3 AMPS 1-2/3 AMPS RE 1-2/3 AMPS GND. K CHANGE NEUTRAL TO 2-2/3 AMPS GND. G ADD 1-4 AMPS IS	2 1/2"
200	2000	3-2/3 AMPS 1-2/3 AMPS GND. 3-2/3 AMPS 1-2/3 AMPS RE 1-2/3 AMPS GND. K CHANGE NEUTRAL TO 2-2/3 AMPS GND. G ADD 1-4 AMPS IS	2 1/2"
225	2250	3-4/5 AMPS 1-4/5 AMPS GND. 3-4/5 AMPS 1-4/5 AMPS RE 1-4/5 AMPS GND. K CHANGE NEUTRAL TO 2-4/5 AMPS GND. G ADD 1-4 AMPS IS	2 1/2"
250	2500	3-250 KWH 1-2 AMPS GND. 3-250 KWH 1-250 KWH RE 1-2 AMPS GND. K CHANGE NEUTRAL TO 2-250 KWH GND. G ADD 1-2 AMPS IS	2 1/2"
300	3000	3-300 KWH 1-1 AMPS GND. 3-300 KWH 1-300 KWH RE 1-1 AMPS GND. K CHANGE NEUTRAL TO 2-300 KWH GND. G ADD 1-1 AMPS IS	3"
300	3000	3-300 KWH 1-1/2 AMPS GND. 3-300 KWH 1-300 KWH RE 1-1/2 AMPS GND. K CHANGE NEUTRAL TO 2-300 KWH GND. G ADD 1-1/2 AMPS IS	3"
400	4000	3-400 KWH 1-1/2 AMPS GND. 3-400 KWH 1-400 KWH RE 1-1/2 AMPS GND. K CHANGE NEUTRAL TO 2-400 KWH GND. G ADD 1-1/2 AMPS IS	4"
500	5000	(2 SETS OF) 3-250 KWH 1-250 KWH RE 1/2 AMPS GND.	(2)-3"
600	6000	(2 SETS OF) 3-300 KWH 1-300 KWH RE 2/3 AMPS GND.	(2)-3 1/2"
800	8000	(2 SETS OF) 3-400 KWH 1-400 KWH RE 2/3 AMPS GND.	(2)-4"
1000	10000	(3 SETS OF) 3-300 KWH 1-300 KWH RE 1-2/3 AMPS GND.	(3)-3 1/2"
1200	12000	(3 SETS OF) 3-400 KWH 1-400 KWH RE 1-2/3 AMPS GND.	(3)-4"
1600	16000	(4 SETS OF) 3-400 KWH 1-400 KWH RE 1-2/3 AMPS GND.	(4)-4"

**FEEDER SCHEDULE DESCRIPTIONS**

THE APPLICABLE NAME IS FILLED IN WITH ONE OR MORE OF THE FOLLOWING DESIGNATIONS ON THE FEEDER:  
 Y - THREE PHASE FOUR WIRE FEEDER  
 F - THREE PHASE FEEDER WITH OVERSIZE NEUTRAL - DOUBLE SIZE NEUTRAL  
 G - THREE PHASE FEEDER WITH ISOLATED GROUND.  
 IS - FEEDER USED FOR VOLTAGE DROP.

**NOTES:**

- ALL AMPERAGES ARE BASED ON 75° C TEMPERATURE RATING OF COPPER CONDUCTOR AS LISTED IN THE NATIONAL ELECTRICAL CODE.
- FEEDERS MAY HAVE A COMBINATION OF OVERSIZE NEUTRAL AND ISOLATED GROUND (DESIGNATION Y AND G). REFER TO FEEDER FOR DESIGNATIONS.

CONSTRUCTION  
 CODE ADMINISTRATION  
 ALEXANDRIA, VIRGINIA

03/31/2026

THIS DOCUMENT APPEARS TO COMPLY  
 WITH ALL APPLICABLE CODES AND  
 REGULATIONS

by *Adrian Mirt*

FOR BUILDING OFFICIAL

**APPLICABLE CODES:**

2021 IBC  
 2020 NEC

**SCOPE OF WORK:**

NEW RESTAURANT IN EXISTING  
 VACANT RESTAURANT SPACE.

**ELECTRICAL DRAWINGS LIST:**

E100 ELECTRICAL COVER SHEET  
 E200 ELECTRICAL LIGHTING FLOOR PLAN  
 E300 ELECTRICAL POWER FLOOR PLAN  
 E301 ELECTRICAL KITCHEN POWER FLOOR PLAN  
 E400 ELECTRICAL PANEL SCHEDULES AND POWER RISER  
 E500 ELECTRICAL COMCHECK



Design America Engineering, Inc.  
 MEP Consulting Engineers  
 14080 Red River Drive  
 Centreville, Virginia 20121  
 ALFONS MASSOUD: 703-609-6974  
 am@dae.com  
 SAM ODEH: 571-220-3239  
 doeh@dae.com  
 www.DAENG2000.com

PROJECT TITLE

**FRESH  
 HEALTHY CAFE**  
 2040 JAMIESON AVE  
 ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfonso S. Massoud  
 License No. 021339  
 State of Virginia  
 Professional Engineer

**REVISIONS**

NO.	DATE	DESCRIPTION
1		PERMIT SUBMISSION

DRAWN MR  
 CHECKED SO  
 DATE FEBRUARY 6, 2020

DRAWING TITLE

**ELECTRICAL  
 COVER SHEET**

DRAWING NUMBER

**E100**



Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centerville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
amou@dae.com  
SAM ODEH: 571-220-3239  
DAENGE@me.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH  
HEALTHY CAFE**  
2040 JAMIESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfonso S. Massoud  
Professional Engineer  
License No. 021359  
Virginia Board of Professional Engineers  
11/11/2010-02/28/2017

REVISIONS	
NO.	DATE DESCRIPTION
1	PERMIT SUBMISSION

DRAWN MR  
CHECKED SO  
DATE FEBRUARY 6, 2020

DRAWING TITLE  
**ELECTRICAL**  
LIGHTING FLOOR PLAN

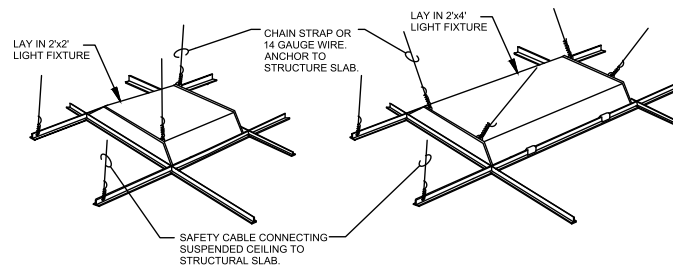
DRAWING NUMBER

**E200**

**LIGHTING SCHEDULE**

ITEM#	QTY	DESCRIPTION	MANUFACTURER	MODEL #	VOLTS	WATTS	REMARKS
<b>PENDANT/SCONCES</b>							
L060	2	FIXTURE RESTROOM SCONCE	RESOLUTE		277	15	W/ 925 LAMP
<b>TRACK &amp; TRACK FIXTURES</b>							
L142	14	TRACK FIXTURE BLACK	JUNO	R552BL	120	30	30W CURRENT LIMITER
L145	8	TRACK FIXTURE WHITE	JUNO	R552WH	120	30	30W CURRENT LIMITER
<b>DOWN LIGHTS</b>							
L500	25	DOWN LIGHT FRAME - 6" DIA FLOOR	LITHONIA	LR6F 180TT/TRT MVOLT	120	20	
L501	4	ADJ DOWN LIGHT FRAME - 6" DIA FLOOR	JUNO	JCLP613	277	20	
L563	4	2x4 FOR ACT	LITHONIA	2GT 332 277CEB	277	96	
<b>EMERGENCY LIGHTS</b>							
L857	4	EMERGENCY LIGHT BLACK	LITHONIA	6ELM28-SSB BLACK	277	3	
<b>DECORATIVE PENDENTS</b>							
ADL9	2	DECORATIVE PENDENT	LBL LIGHTING	CONFUZION 12	12	30	
ADL21	2	BLACK EMERGENCY/EXIT LIGHT	LBL LIGHTING	LHOMSWR120/277HHO	277	3	
ADL22	41	REMOTE HEADS	LITHONIA	ELATNX	277	3	

NOTE: LIGHTING FIXTURES ARE EXISTING TO REMAIN.

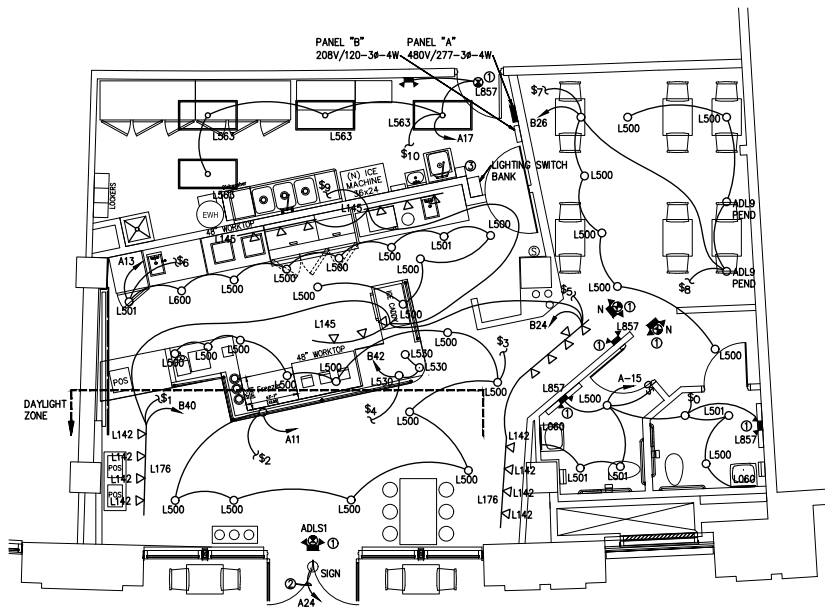


**SUSPENDED LIGHTING ANCHORING DETAIL**

NTS

**LIGHTING CONTROL NOTES**

- TOILETS ARE CONTROLLED VIA LIGHT SWITCH WITH BUILT-IN OCCUPANCY SENSOR.
- IDENTIFIED DAYLIGHT ZONE WITH ASSOCIATED LIGHT SWITCHES
- OCCUPANCY SENSORS SHALL BE DUAL TYPE AND SHALL TURN LIGHTS OFF WITHIN 20 MINUTES OF VACANCY.
- DIGITAL TIME CLOCK AND OVERRIDE RELAY SWITCH WITH MAXIMUM 2 HOURS OVERRIDE TO CONTROL LIGHTING CIRCUIT.
- TIME CLOCK SHALL BE ASTRONOMICAL DIGITAL, PROGRAMMABLE 7-DAY WITH BACK UP POWER, INCORPORATE HOLIDAY SHUT OFF FEATURE.
- OCCUPANCY SENSORS MUST HAVE FUNCTIONAL TESTING PER ASHRAE 9.4.4.



**LIGHTING FLOOR PLAN**  
1/4" = 1'-0"

**KEYED NOTES:**

- CONNECT AHEAD OF THE SWITCH.
- CONTROL VIA TIME CLOCK.
- OVERRIDE RELAY SWITCH WITH MAXIMUM 2 HOURS OVERRIDE TO CONTROL LIGHTING CIRCUITS.

\$1	\$2	\$3	\$4	\$5
\$6	\$7	\$8	\$9	\$10

**LIGHTING SWITCHBANK**  
N. T. S.

**GENERAL HEALTH NOTE**

SPECIFICATIONS TO COMPLIANCE WITH COUNTY HEALTH DEPARTMENT REGULATION  
1: LIGHTING REQUIREMENTS: 50 FOOT CANDLES OF LIGHT IN FOOD PREPARATION AREAS, 30 FEET CANDLES OF LIGHT IN RESTROOM AND 20 FOOT CANDLES OR LIGHT IN ALL OTHER AREAS.

CONSTRUCTION AUTHORIZED  
CODE ADMINISTRATION  
ALEXANDRIA VIRGINIA  
03/31/2026  
THIS DOCUMENT APPEARS TO COMPLY  
WITH ALL APPLICABLE CODES AND  
REGULATIONS  
Adrian Mint  
FOR BUILDING OFFICIAL

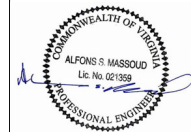


Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centerville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
aemassou@outlook.com  
SAM ODEH: 571-220-3239  
DAENGMCP@gmail.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH  
HEALTHY CAFE**  
2040 JAMIESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfonso S. Massoud  
Professional Engineer  
License No. 021339  
Commonwealth of Virginia

REVISIONS

NO.	DATE	DESCRIPTION
...	...	PERMIT SUBMISSION

DRAWN MR  
CHECKED SO  
DATE FEBRUARY 6, 2020

DRAWING TITLE  
**ELECTRICAL**  
POWER FLOOR PLAN

DRAWING NUMBER

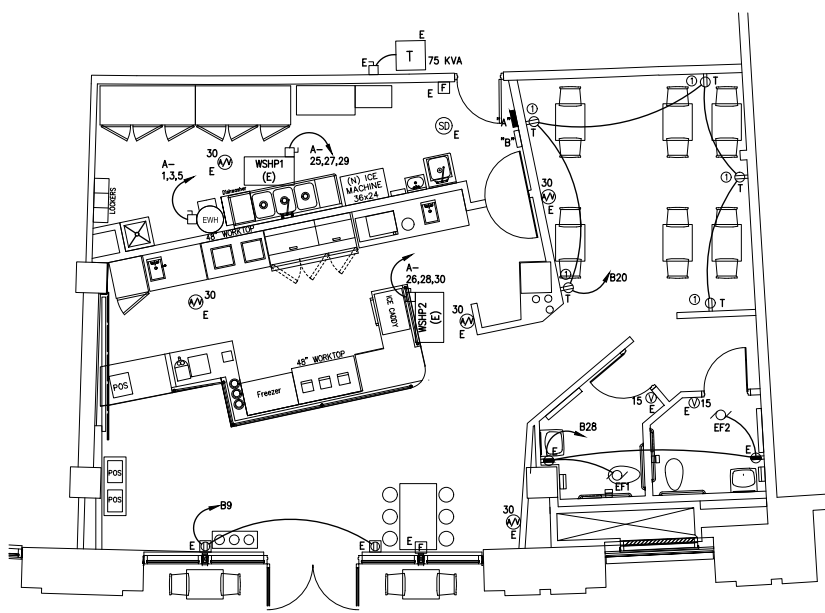
**E300**

**MECHANICAL EQUIPMENT LOADS**

UNIT	VOLT	PHASE	EIA	MCA	MOCP	FUSE	DISC. SWITCH	NEMA	NOTES
WHP1	460	3	7.8	10	15	15	30	1	EXISTING
WHP2	460	3	6.6	8	15	15	30	1	EXISTING
EWH	460	3	4.3	5.4	60	60	60	1	EXISTING (36 KW)

**POWER GENERAL NOTES**

- ALL SINGLE PHASE RECEPTACLES RATED 150 VOLTS TO GROUND OR LESS, 50 AMP OR LESS AND 3 PHASE RECEPTACLES RATED 150 VOLT TO GROUND OR LESS, 100 AMPS OR LESS INSTALLED IN BATHROOMS, KITCHEN, AND ROOF TOPS SHALL HAVE GFCI PROTECTION FOR PERSONAL PER NEC 210-8(6).
- ALL ELECTRICALLY CONNECTED EQUIPMENT UNDER THE HOOD SHALL HAVE SHUNT TRIP CONTROL.
- THE GFCI RECEPTACLES SHALL BE READILY ACCESSIBLE.



**POWER FLOOR PLAN**  
1/4" = 1'-0"

KEYED NOTES:  
① REPLACE EXISTING RECEPTACLES WITH TAMPER RESISTANT TYPE.

CONSTRUCTION AUTHORIZED  
CODE ADMINISTRATION  
ALEXANDRIA VIRGINIA  
03/31/2026  
THIS DOCUMENT APPEARS TO COMPLY  
WITH ALL APPLICABLE CODES AND  
REGULATIONS  
Adrian Mirt  
BY \_\_\_\_\_  
FOR BUILDING OFFICIAL



Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centreville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
cmassou@dae.com  
SAM ODEH: 571-220-3239  
dmassou@dae.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH HEALTHY CAFE**  
2040 JAMIESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfonso S. Massoud  
Professional Engineer  
License No. 021359  
Virginia Board of Professional Engineers  
1000 North 17th Street, Suite 100  
Alexandria, VA 22304-4400  
Phone: 703-909-6974  
Fax: 703-909-6975  
Email: cmassou@dae.com

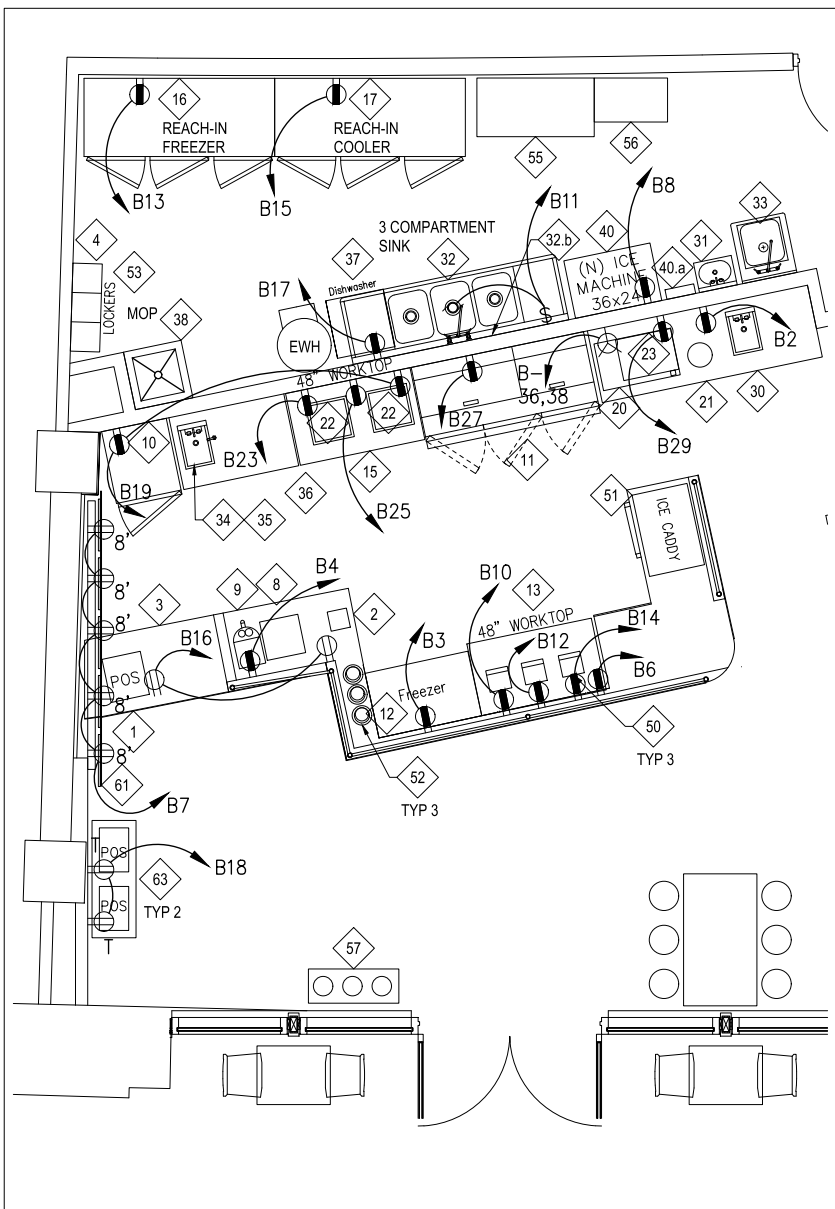
NO.	DATE	DESCRIPTION
---	---	PERMIT SUBMISSION

DRAWN MR  
CHECKED SO  
DATE FEBRUARY 6, 2020

DRAWING TITLE  
**ELECTRICAL**  
KITCHEN POWER FLOOR PLAN

DRAWING NUMBER  
**E301**

EQUIPMENT LIST									
DESCRIPTION	MANUFACT	MODEL #	QTY	DIMENSIONS	ELECTRICAL (V-PH-HZ)	WATER	WEIGHT (LBS)	NOTES	
1 Lash register & drawer /pad printer	Square	---	1	---	---	---	---	Square (directly)	
2 station printer	Square	smoothie printer	1	---	---	---	---		
3 kitchen station monitor	Ipad	---	1	---	---	---	---	FRESH HDS is a pad app	
3.4 Drop station monitor	Ipad	---	1	---	---	---	---	2 pads needed for stations	
4 lafe	Mesa	MP12046 BKGR.8ku ft	1	---	---	---	---	COORDINATE WITH OWNER	
8 Ultra juicer	Zumex	Euro-Milan M1mix	1	14.4" x 14.2" x 28.3"	120-1-60, 44W, 0.06 HP, 0.45A	---	---	43	Green model
9 blender	CEAHO	E5-700	1	11x 16x 20 1/2 in	120-1-60, 800W	---	---	49	
10 reach-in glass door	TRUE	T-230-HC-FG01	1	22" x 30" x 78"	115-1-60, 2.2A	---	---	315	
11 sandwich table	TRUE	TSSU-72-30M-B-ST-ADA	1	72" w x 34" D x 40" H	115-1-60, 7.2A	---	---	470	Pis add Overshelf
11.a Over Shelf 72"	---	---	---	---	---	---	---	---	
12 Chest Freezer (Dip Cabinet)	Master/Built	MSE-43AN	1	33" H x 43" D x 27" D	115-1-60, 1.4A	---	---	154	
13 Worktop Cooler (Smoothie Fridge)	TRUE	TUC-48-HC	1	48" L x 30" D x 30" H	115-160, 3.0A	---	---	260	
14	---	---	---	NOT USED	---	---	---	---	
15 Cooler base 48"	TRUE	TMT-48D-4-HC	1	48" L x 30" D x 33" H	115-160, 3.0A	---	---	330	
16 B Door Freezer	TRUE	T-72F-HC	1	78" W x 29.5" D x 79" H	115-1-60, 14A	---	---	650	
17 B Door Cooler	TRUE	T-72F-HC	1	78" W x 29.5" D x 79" H	115-1-60, 6.9A	---	---	575	
20 panini grill duo	EQUIPEX	Diablo with Timer	1	31.5" W x 19.5" D x 21.75" H	208-1-60, 6.5KW, 31A	---	---	155	NEMA Plug 6-50P
21 soup warmer	NEMCO	ES90A-TCL	2	10" W, 10" H	120-1-60, 550W, 4.6A	---	---	---	Countertop, round, 7 quart
22 DELUXE FOOD WARMER	AUTUNES	DFW 150	2	17" W x 17" D x 9" H	120-1-60, 1.8 KW, 15A	---	---	42	
23 microwave	Amana	RMS10T5	1	20" W x 18" D x 12" H	---	---	---	30	
30 Hand Sink (drop in) WITH SIDE SPLASHES	Krowne	KS225	1	12" W x 18" L x 10.5" H	---	1/2", & 1/2" HW, DRAIN	---	18	WITH FAUCET
31 Hand Sink (wall mount)	SSP	EHS-14-2	1	---	---	1/2", & 1/2" HW, DRAIN	---	---	EXISTING TO REMAIN
32 3 compartment sink W/FAUCET & SPRAY HOSE	SSP	3C16x20-2-18	1	---	---	1/2", & 1/2" HW, DRAIN	---	---	EXISTING TO REMAIN
32.b Wired drying shelf over sink	Storvelt	48 inch	1	---	---	1/2", & 1/2" HW, DRAIN	---	---	
33 Veggie Sink	Splash	CSJ-18-21-14-858	1	18" x 21" x 14" BOWL DIM	---	1/2", & 1/2" HW, DRAIN	---	---	
33.a Faucet /Veggie Sink	Splash	SPL808-21	1	8" CENTER	---	---	---	---	
34 Drop In Sink (Dump sink)	Krowne	HS-1419	1	10" W x 14" L x 10" D BOWL DIM	---	1/2", & 1/2" HW, DRAIN	---	16	
35 Paper Resner Without Stanton	BLENDTEC	JRE-602	1	7.5" H x 20.5" D x 8.8" W	---	---	---	8.5	
36 Water Spout (Glass Filler)	T&S BRASS	B-3300-16	1	18" H	---	1/2" CW	---	---	
37 Undercounter Dishwasher	Hobart	LXH	1	---	---	1/2" HW, 1-1/4" INDIRECT DRAIN	---	---	EXISTING TO REMAIN
38 Mop sink (Existing to remain)	sum	2-1996-24	1	---	---	3" DRAIN	---	---	EXISTING TO REMAIN
38.A Mop sink Faucet (Existing to remain)	sum	2-1996-24	1	---	---	1/2" CW/HW	---	---	EXISTING TO REMAIN
40 Ice Flaker with Bin	HOSHIZAKI	F-3808AJ	1	36" x 24" x 30"	115-1-60, 7.8A, 15A CIRCUIT	3/4" DRAIN OUTLET	182	---	
40.a Water Filtration System	HOSHIZAKI	HS300-S1	1	18.4" H	---	---	---	---	
50 Blender	BLENDTEC	SNB5C2901-B1L	3	17.3" H x 9" D x 8.6" W	120-1-60, 1800W	---	---	15.8	
51 Ice Caddy	Cambro	ICS172T	1	23" W x 34" D x 38" H	---	---	---	---	
52 Dispenser	Dispenser-Rite	ADJ-2	3	29" UNDERCOUNTER LENGTH	---	---	---	---	
53 Employee Locker	Winholt	WL-618	1	30" W x 12" D x 78" H	---	---	---	190	
55 Storage Racks	Metro	48" w x 24" d	2	---	---	---	---	---	
56 Storage Racks	Metro	30" w x 18" d	1	---	---	---	---	---	
57 Trash bin (Recycle Station)	Front	Flow Master #316	1	38.5" W x 41" H x 15" D	---	---	---	---	
61 TV Monitors	LG	48"	5	---	---	---	---	---	Locally sourced
62 Speakers	Sonos	22"	2	---	---	---	---	---	Locally sourced
63 Counter-top Monitor	Samsung	22"	1	---	---	---	---	---	Locally sourced
63 Self-serve Kiosk	Square	---	2	---	---	---	---	---	Locally sourced



**ELECTRICAL KITCHEN POWER PLAN**  
1/4" = 1'-0"

CONSTRUCTION AUTHORIZED  
CODE ADMINISTRATION  
ALEXANDRIA VIRGINIA  
03/31/2026  
THIS DOCUMENT APPEARS TO COMPLY  
WITH ALL APPLICABLE CODES AND  
REGULATIONS  
Adrian Mirt  
FOR BUILDING OFFICIAL



Design America Engineering, Inc.  
MEP Consulting Engineers  
14080 Red River Drive  
Centreville, Virginia 20121  
ALFONS MASSOUD: 703-909-6974  
am@dae.com  
SAM ODEH: 571-220-3239  
odeh@dae.com  
www.DAENG2000.com

PROJECT TITLE

**FRESH  
HEALTHY CAFE**  
2040 JAMESON AVE  
ALEXANDRIA, VA 22314

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.



Alfons S. Massoud  
Professional Engineer  
License No. 021359  
State of Virginia

REVISIONS  
NO. DATE DESCRIPTION  
-- -- PERMIT SUBMISSION

DRAWN MR  
CHECKED SO  
DATE FEBRUARY 6, 2020

DRAWING TITLE

**ELECTRICAL**  
PANEL SCHEDULES  
AND POWER RISER

DRAWING NUMBER

**E400**

PANEL SCHEDULE											
PANEL: A						400 AMPS / 400A MCB			PHASE: 3		
POLE SPACES: 30						MOUNTING: RECESSED			WIRE: 4		
LOCATION: BACK						277/480 VOLTS			EXISTING 22 KA LC		
LOAD	KW/PHASE			CIR/BKR POLE/TRIP	WIRE	CIR/BKR NO. / NO.	WIRE	KW/PHASE			LOAD
	A	B	C					A	B	C	
EWI	12.0			3 60A	1 A 2	3 125A	7.5				TRANSFORMER PANEL B
	12.0				3 B 4			7.5			
		12.0			5 C 6				7.5		
SPACE				1	7 A 8	1					SPACE
SPACE				1	9 B 10	1					
LIGHTING SALES				1	11 C 12	1					
LIGHTING SALES	0.4			1 20A	13 A 14	1					
LIGHTING TOILETS		0.2		1 20A	15 B 16	1					
LIGHTING KITCHEN		0.4		1 20A	17 C 18	1 20A					SPARE
SPARE				1 20A	19 A 20	1 20A					
SPARE				1 20A	21 B 22	1 20A					
SPARE				1 20A	23 C 24	1 20A					
WSHP1		2.2		3 15A	25 A 26	3 15A	1.8				SIGN WSHF2
		2.2			27 B 28						
					29 C 30						

NOTE: VERIFY ALL EXISTING BRANCH CIRCUITS. TYPICAL BOTH PANELS.

CONNECTED LOAD: 73.10 KVA  
DEMAND LOAD: 73.75 KVA

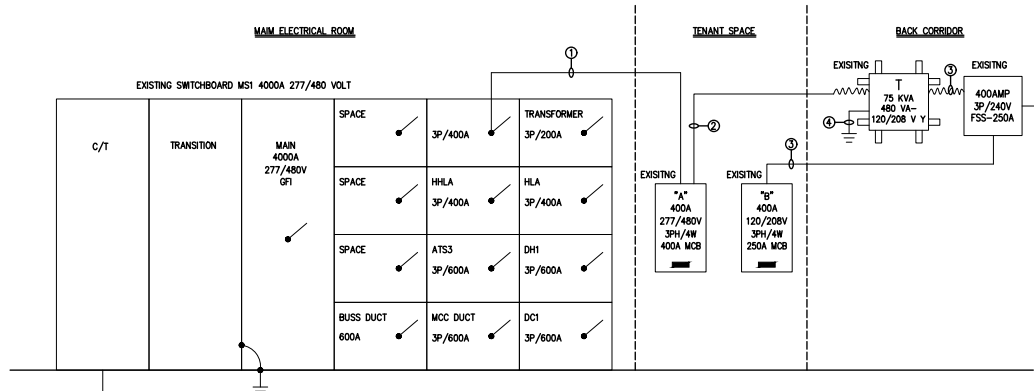
LIGHTING 1.40 x 1.25 = 1.75 KVA  
WSHP 12.00 x 1.00 = 12.00 KVA  
EWI 36.00 x 1.00 = 36.00 KVA  
SIGN 1.20 x 1.25 = 1.50 KVA  
TRANSFORMER 22.50 x 1.00 = 22.50 KVA  
TOTAL 73.10 KVA 88.00 AMP 89.00 AMP

PANEL SCHEDULE											
PANEL: B						400 AMPS / 250A MCB			PHASE: 3		
POLE SPACES: 42						MOUNTING: RECESSED			WIRE: 4		
LOCATION: BACK						120/208 VOLTS			EXISTING 22 KA LC		
LOAD	KW/PHASE			CIR/BKR POLE/TRIP	WIRE	CIR/BKR NO. / NO.	WIRE	KW/PHASE			LOAD
	A	B	C					A	B	C	
FIRE ALARM PANEL	0.1			1 20A	1 A 2	1 20A	0.55				SOUP WARMER
SP FREEZER		1.2		1 20A	3 B 4	1 20A	0.85				JUICERS
TIME CLOCK				0.1	1 20A	5 C 6				0.26	WORK TOP COOLER
TV MONITORS		1.0		1 20A	7 A 8	1 20A	1.0				ICE MACHINE
WINDOW RECEPTACLES		1.2		1 20A	9 B 10	1 20A	1.9				BLENDER
DISPOSAL				1.0	1 20A	11 C 12	1 20A			1.9	BLENDER
R.I. FREEZER		1.7		1 20A	13 A 14	1 20A	1.9				BLENDER
3-DOOR COOLER		0.85		1 20A	15 B 16	1 20A	0.4			0.4	POS. PRINTER
UNDER COUNTER DISHWASHER				1.8	1 20A	17 C 18	1 20A			0.4	POS. MONITORS
R.I. COOLER BASE		0.7		1 20A	19 A 20	1 20A	1.0				RECEPTACLES DINING ROOM
SPARE				1 20A	21 B 22	1 20A					SPARE
SPARE				1.8	1 20A	23 C 24	1 20A			0.2	LIGHTING SALES
FOOD WARMER		1.8		1 20A	25 A 26	1 20A	0.2				LIGHTING DINING
FOOD WARMER				0.9	1 20A	27 B 28	1 20A	1.0			RECEPTACLE TOILETS
SANDWICH UNIT				1.5	1 20A	29 C 30	1 20A				SPARE
MICROWAVE				2 20A	31 A 32	2 30A					SPARE
SPARE					33 B 34						
SPARE				2 50A	35 C 36	2 40A				3.25	PANINI
SPARE				2 50A	37 A 38						
SPARE				2 50A	39 B 40	2 50A					
					41 C 42						

NOTE: VERIFY ALL EXISTING BRANCH CIRCUITS. TYPICAL BOTH PANELS.

CONNECTED LOAD: 31.60 KVA  
DEMAND LOAD: 22.30 KVA

LIGHTING 0.40 x 1.25 = 0.50 KVA  
RECEPTACLES 4.20 x 1.00 = 4.20 KVA  
KITCHEN EQUIP. 27.00 x 0.65 = 17.60 KVA  
TOTAL 31.60 KVA 62.00 AMP



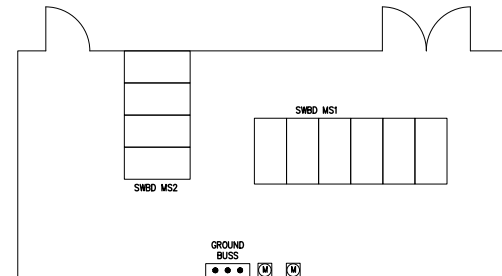
**POWER RISER DIAGRAM**

N.T.S.

**POWER RISER NOTES**

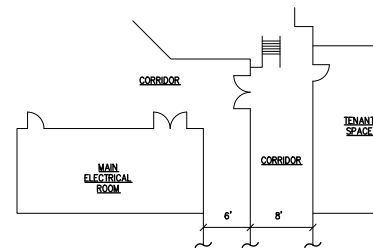
- ① EXISTING 4#600 MCM, 1#1/0 GROUND, 4" CONDUIT.
- ② EXISTING 3#1 MCM, 1#6 GROUND, 1-1/2" CONDUIT.
- ③ EXISTING 4#250 MCM, 1#2 GROUND, 2-1/2" CONDUIT.
- ④ EXISTING No.2 GROUND TO BUILDING STEEL.

CONSTRUCTION AUTHORIZED  
CODE ADMINISTRATION  
ALEXANDRIA VIRGINIA  
03/31/2026  
THIS DOCUMENT APPEARS TO COMPLY  
WITH ALL APPLICABLE CODES AND  
REGULATIONS  
Adnan Mint  
FOR BUILDING OFFICIAL



**MAIN ELECTRIC ROOM**

N.T.S.



**KEY PLAN**

N.T.S.

