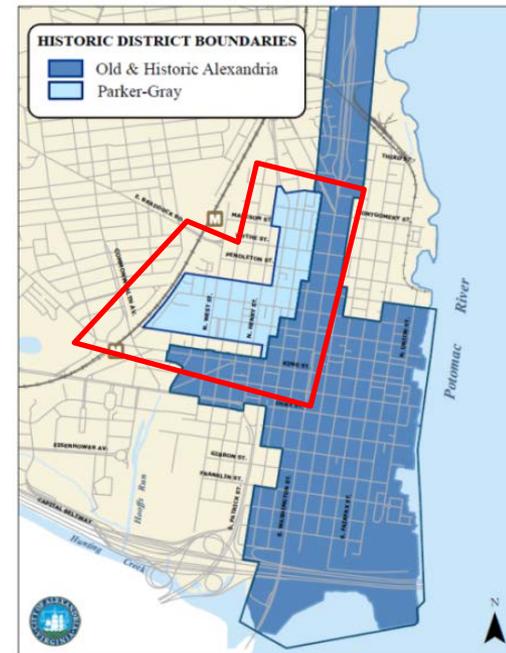
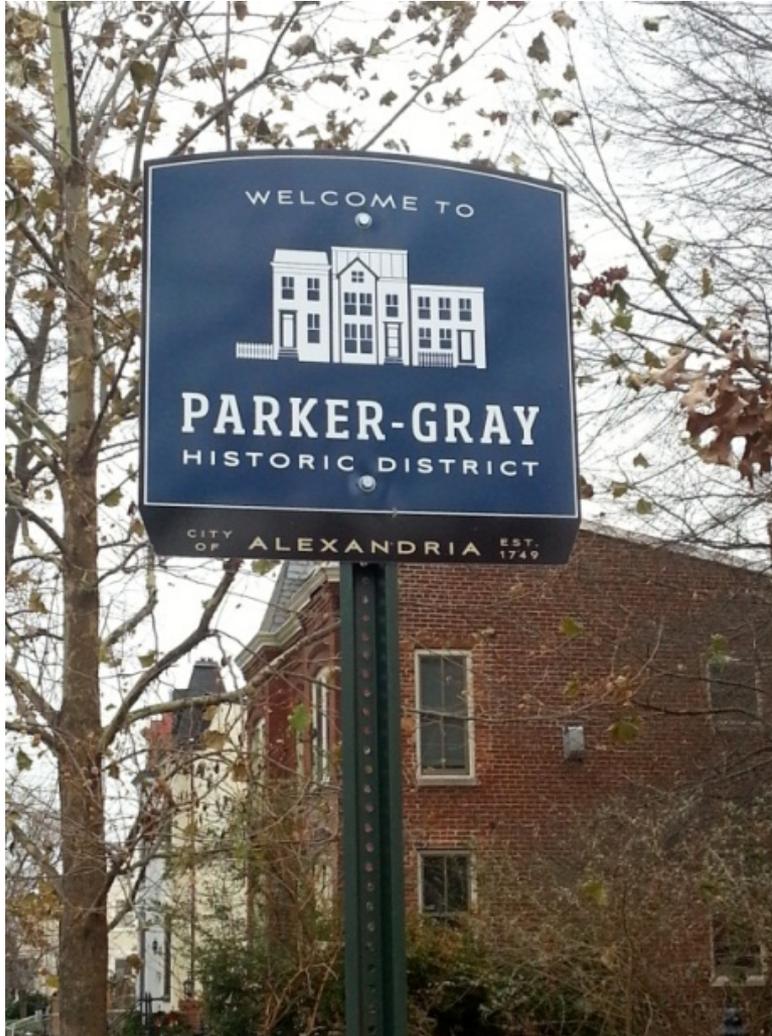
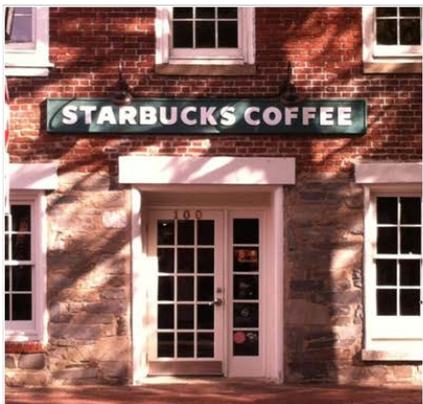


A Tale of Two Old Towns: The Parker-Gray District



Audrey Davis, Alexandria Black History Center
Catherine Miliaras, Alexandria Historic Preservation
Stephanie Sample, Alexandria Historic Preservation

Alexandria, *not* Williamsburg



Alexandria Today



Torpedo Factory Arts Center



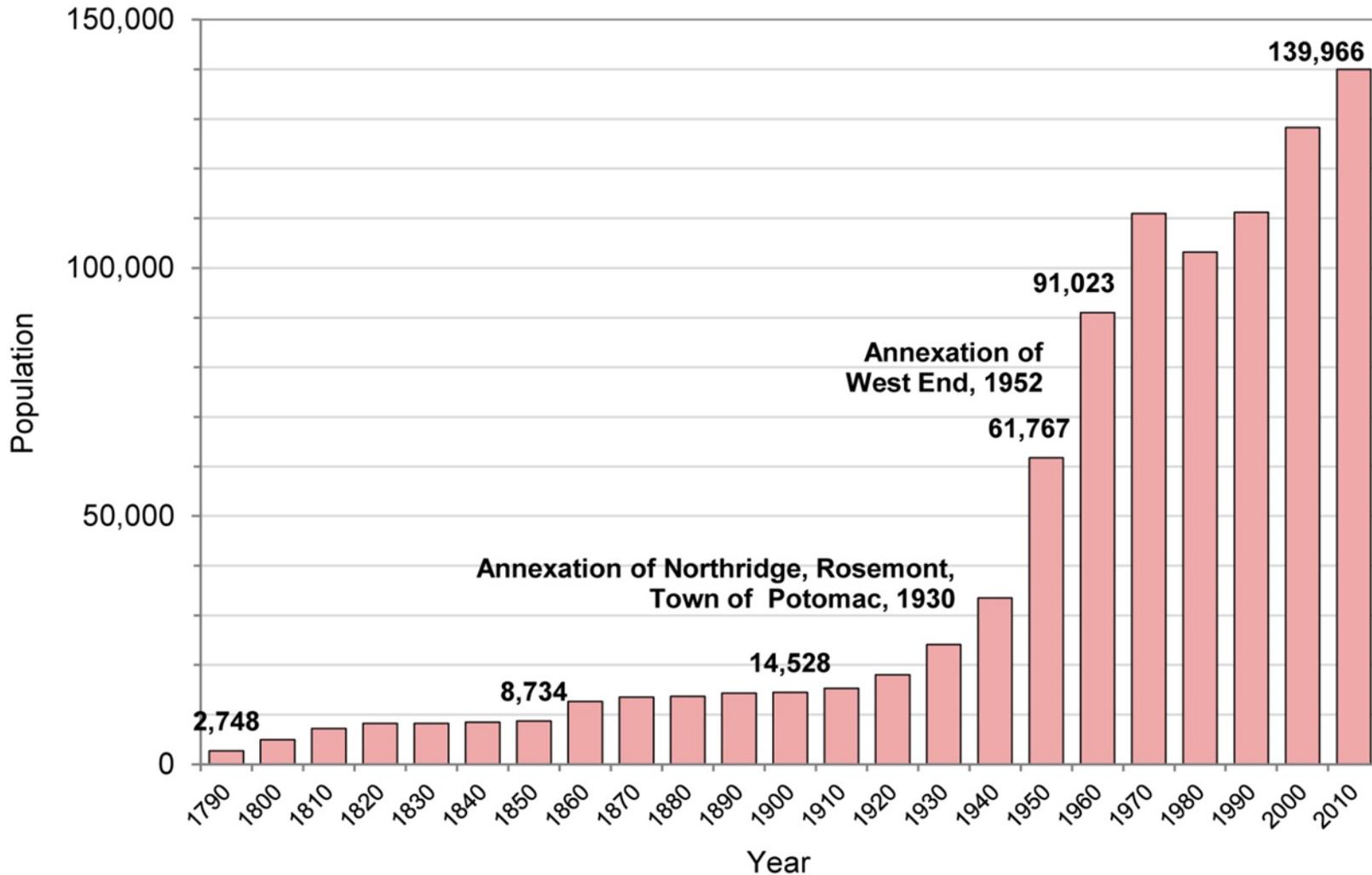
King Street Metro Station



King Street Shops

Population Growth: 1790-2010

Census Population of Alexandria
1790 - 2010





ALEXANDRIA ARCHAEOLOGY MUSEUM



History at the Cutting Edge

ALEXANDRIA'S
HISTORIC BREWERIES

A Walking Tour & Pub Stop Guide

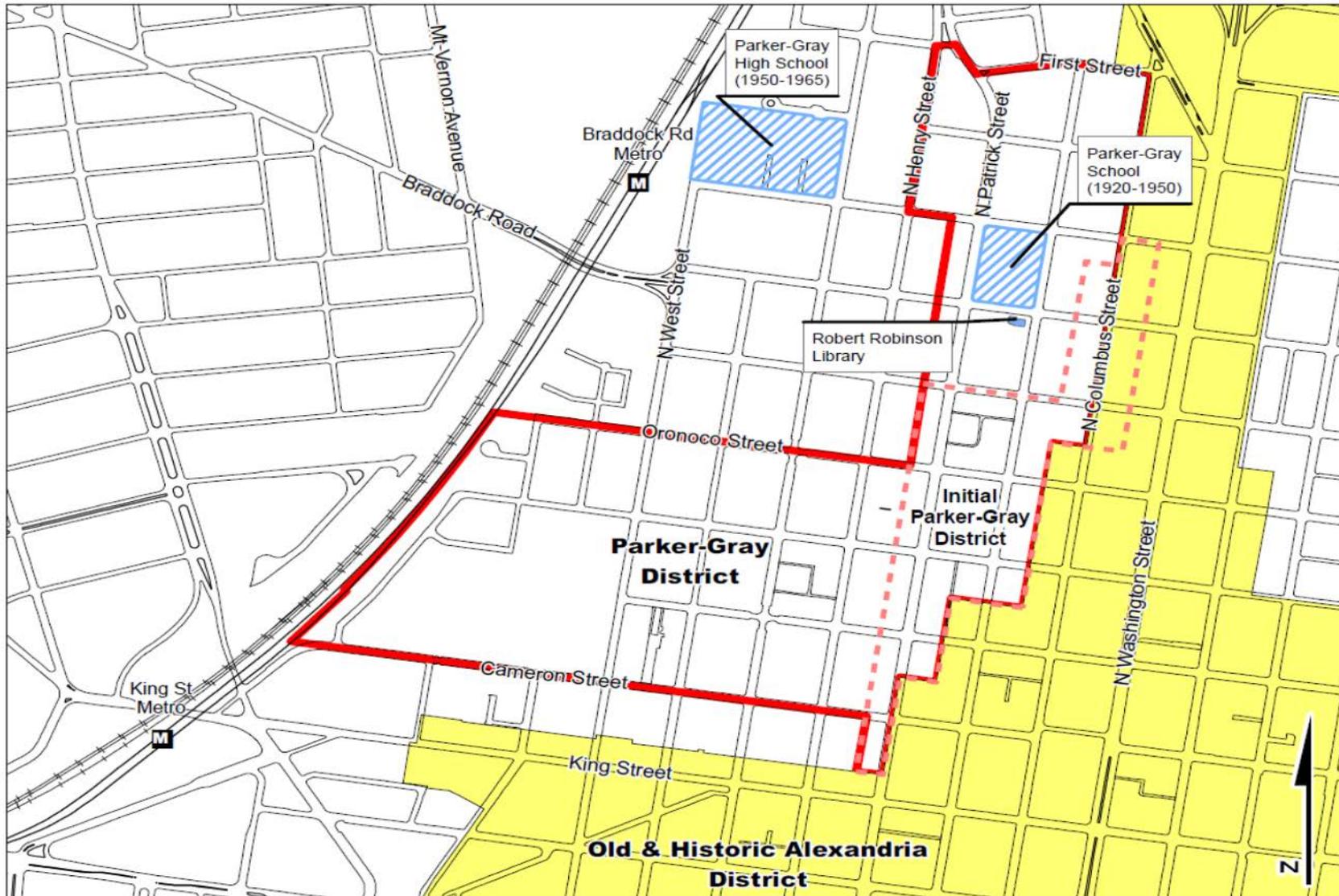
EXTRAORDINARY

Alexandria

VisitAlexandriaVa.com

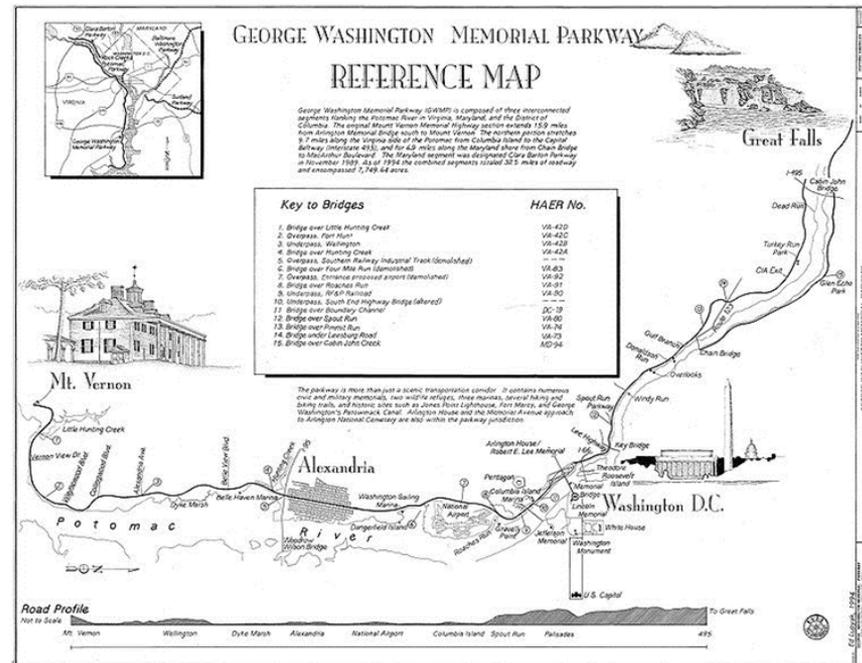
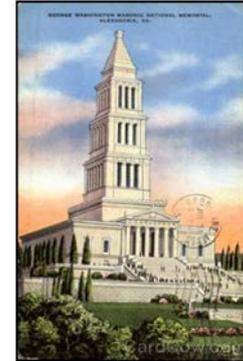
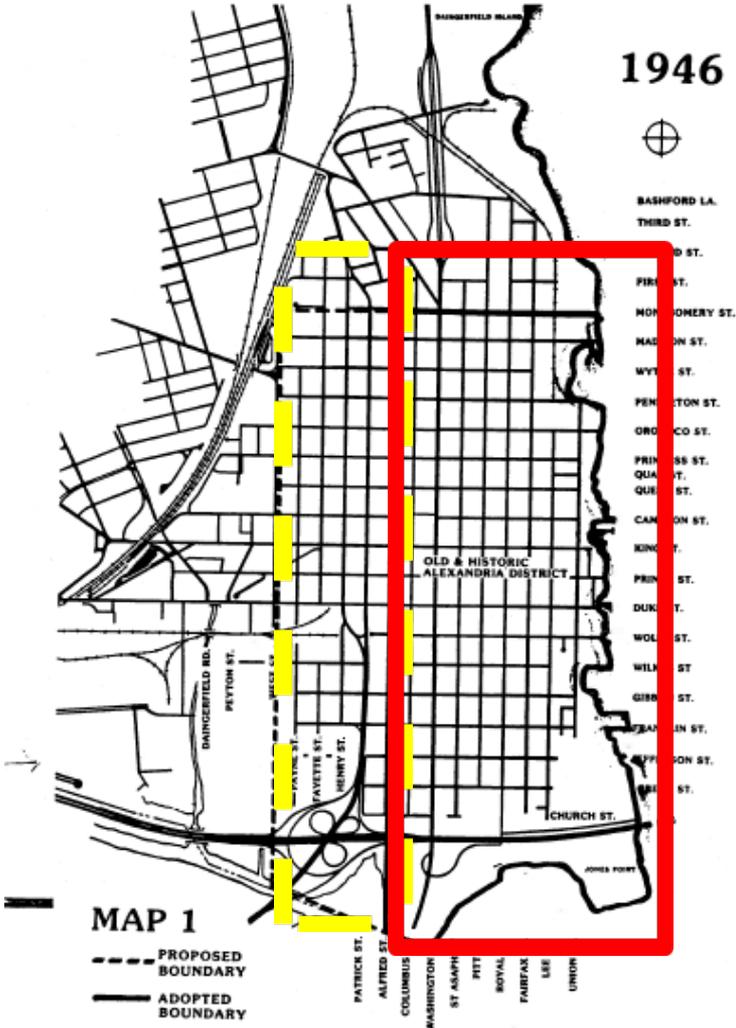


Parker-Gray Becomes a District



Early Preservation Efforts

Creating the Old and Historic Alexandria District



Metro: Neighborhood "Revival" or Threat?

September 22
1990



Revival Seen for Braddock Road

By Lena H. Sun
Washington Post Staff Writer

Robert Burke, who has lived in the 700 block of North West Street in Alexandria for 34 years, always has measured change by the activity across the street from his modest one-story brick house.

First there were the coal-powered steam engines that roared along the tracks, spewing soot and smoke onto his front lawn. Then there was the traffic from his modest one-story brick house.

Next month, the Braddock Road Metro station opens, and for longtime residents of the neighborhood like Burke, who pride themselves on

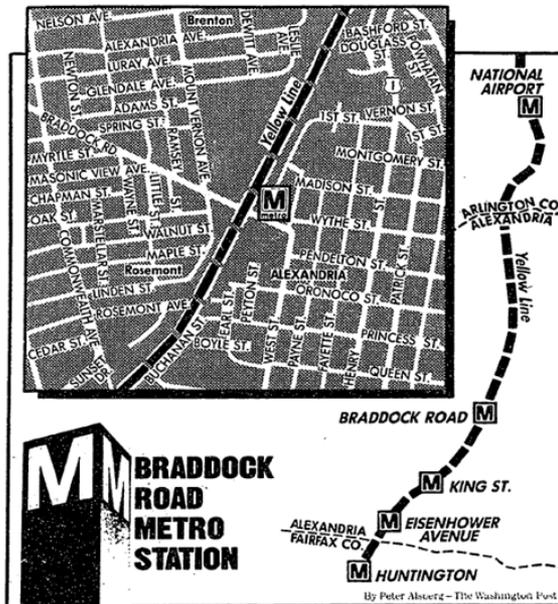
METROPOLITAN LIFE

SUBWAY STATION OPENINGS

their ability to survive, there is a fear that Metro may foster development that will force them out of their homes.

"Nobody knows for sure what's going to happen," said Burke, 59, a retired Federal Aviation Administration employee, as he painted the white picket fence around his yard. Burke opposed the station from the start because of what he fears will be unbearable traffic through the narrow streets to a station that will not have parking.

The subway's coming, Burke said, "could eventually lead to a push by the private developers to buy the property. That's been the trend around Metro stations, develop as much as possible . . . I don't want even the thought of



likely to attract middle and upper-income whites to an area of the city that traditionally has been predominantly black.

Area residents will get a chance to preview the line on Saturday, Nov. 19, when the King Street station will be opened for rides to Braddock Road.

The commercial phase of the development on the former school grounds, known as Braddock Place, is scheduled to begin next spring and is expected to include 303,000 square feet of office space, 39,500 square feet of retail space, and town houses.

The Washington Post, November 7, 1983



Braddock Road Metro Development

Braddock Place (site of
Parker-Gray High School)



We want to be a "special" district but not an "old and historic district...."

Growing Alexandria Old Town Could Uproot Black Community



New town houses alongside old row houses on Princess Street illustrate how the neighborhood northwest of Old Town is changing. *By Craig Herndon—The Washington Post*



Eudora Lyles, who has lived in this modest town house in the heart of Alexandria's black community for 42 years, feels threatened. *By James A. Foye III—The Washington Post*

By Michael Martinez
Washington Post Staff Writer

Eudora Lyles is familiar with the threats of development and expansion of Alexandria's Old and Historic District into her neighborhood.

Lyles' modest two-story town house at 312 N. Fayette St., where she has lived for 42 of her 65 years, rests in the heart of a black community deeply rooted in a section northwest of fashionable Old Town. The once-segregated community is populated partly by families in public housing and youths who talk with police weekday nights under corner street lights.

City fathers have asked the Planning and Community Development Commission to look at the question of expanding the Old and Historic District of Alexandria into the fringes of the black community.

METROPOLITAN LIFE

GENTRIFICATION

The present Old and Historic District was established by city ordinance in 1946, and by law all building repairs, alterations, construction and demolition of houses built before 1946 must be approved by the city's Board of Architectural Review.

Lyles fears that extending the historic district toward her community would push property values and taxes up and force out some low-income black families whose roots date to the beginnings of the port city in the 1700s.

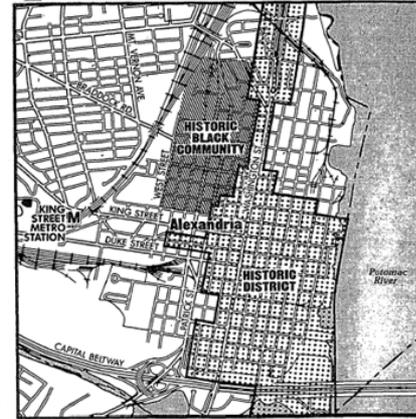
"Most of the oldest citizens are in this area," said Lyles, who was born and raised in the community. "I know old families by names and addresses who don't want the extension of Old Town. They don't want higher taxes. They don't want anything that makes it harder for them to live."

"The ones who do want it want the prestige of Old Town and the money in property values that goes with it," she said.

The Old and Historic District, which makes up the core of Old Town, generally runs south of Princess Street between the waterfront and the northbound lane of Rte. 1. It also includes the Washington Street corridor through town.

The planning commission is studying first whether to expand the district along King Street and then into the black community. Both areas contain 100-year-old buildings that trace patterns of Alexandria's commercial and residential growth.

On Feb. 23, the commission will hold a public hearing on what it plans to recommend to the City



By Richard Finner—The Washington Post

Fayette St., who works for the State Department security division.

"You have a lot of retired people and people on fixed incomes. Where are they going to go? The fears of the Old and Historic District expansion are probably unwarranted," he said.

Beatley said that restrictions placed on new development in an area designated old and historic could help keep property values down because it would limit tall and dense construction, which "could in-

flate prices more than without the Old and Historic District."

Engin Arsenel, director of the city's planning commission, said an area designated historic "may be a way to preserve both the buildings and the people." Beatley said the Metro station development along the fringe of the black community has set the stage for consideration of extending the district.

"If nothing comes up this time, I foresee it coming back up in two years," Beatley said.



Naming Parker-Gray

Alexandria Bows to Pressure

Parker-Gray Name Saved

By Mary Battiata
Washington Post Staff Writer

The Alexandria City Council, under pressure from the black community to provide a fitting memorial to two turn-of-the-century black educators, voted unanimously last night to provide the city's former blacks-only library for use as a museum and meeting place.

The structure at 638 N. Alfred St. in Old Town will be leased for a dollar a year to the Parker-Gray Alumni Association and the Alexandria Society for the Preservation of Black Heritage.

Parker-Gray High School, named after Robert Parker and Sarah Gray.

The City Council repeatedly rejected a proposal backed by the 125-member Parker-Gray Alumni Association to rename the Metro stop Parker-Gray, claiming that the \$300,000 it would cost to change the name throughout the subway system would be exorbitant.

The alternative approved last night provides use of the old Robinson Library building for five years at \$1 a year with an agreement to extend the arrangement for a second five years.

The library, a one-story structure built in 1940, operated as a segregat-

The Washington
Post, Dec. 9, 1981



Differences between the Districts

In Parker-Gray...

- Continued use of inappropriate or incompatible materials if “the cost of the work would be materially increased by the use of another material”
- Emphasis on “compatibility with other buildings or structures on the same block face, the block face across the public street or the immediate surrounding area”





Historic Alexandria

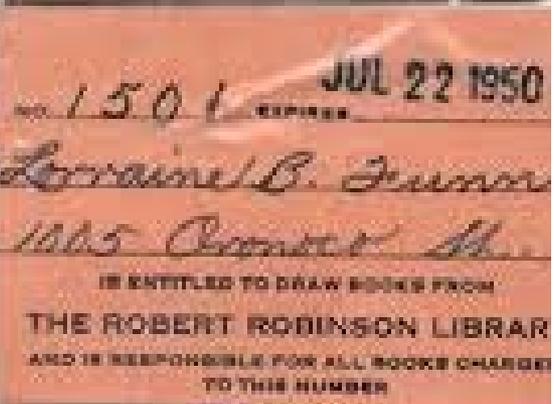
African-American Museum Sites



PLANNING & ZONING



Black History Museum & Watson Reading Room



AAM Accreditation

Alexandria Black History Museum received accreditation from the American Alliance of Museums in 2012

One of 3 museums related to African American history and culture to hold AAM accreditation in the United States (March 2014)

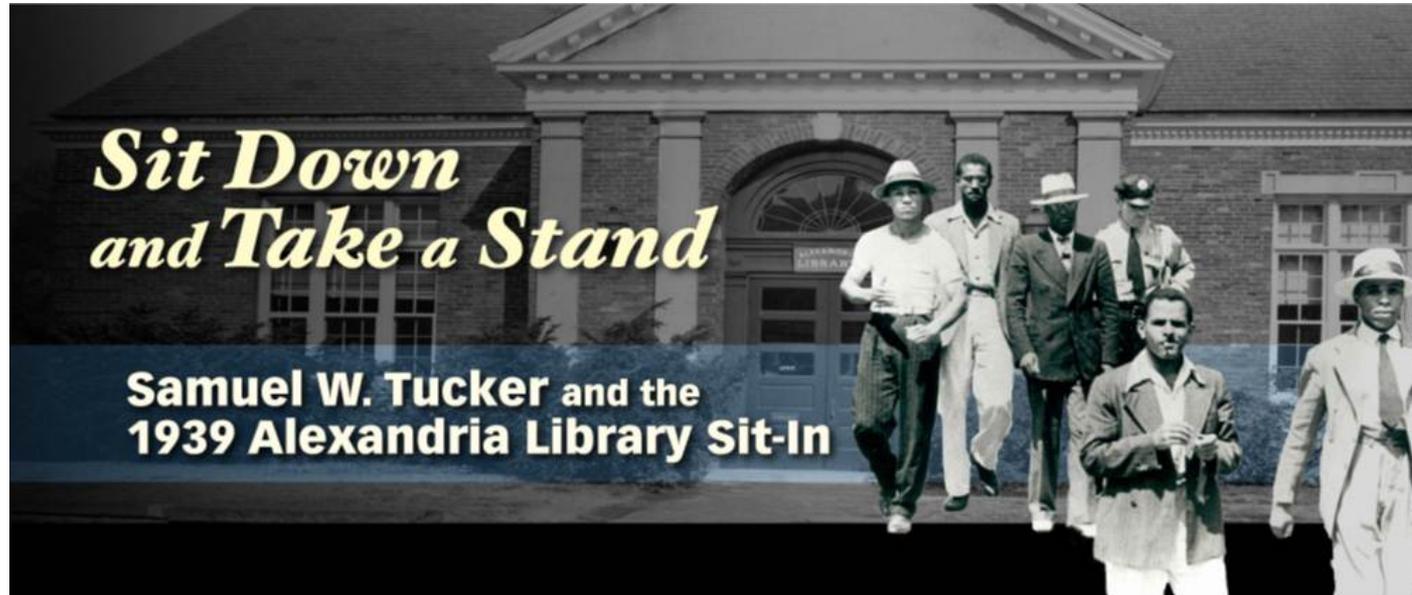


Collections & Exhibits

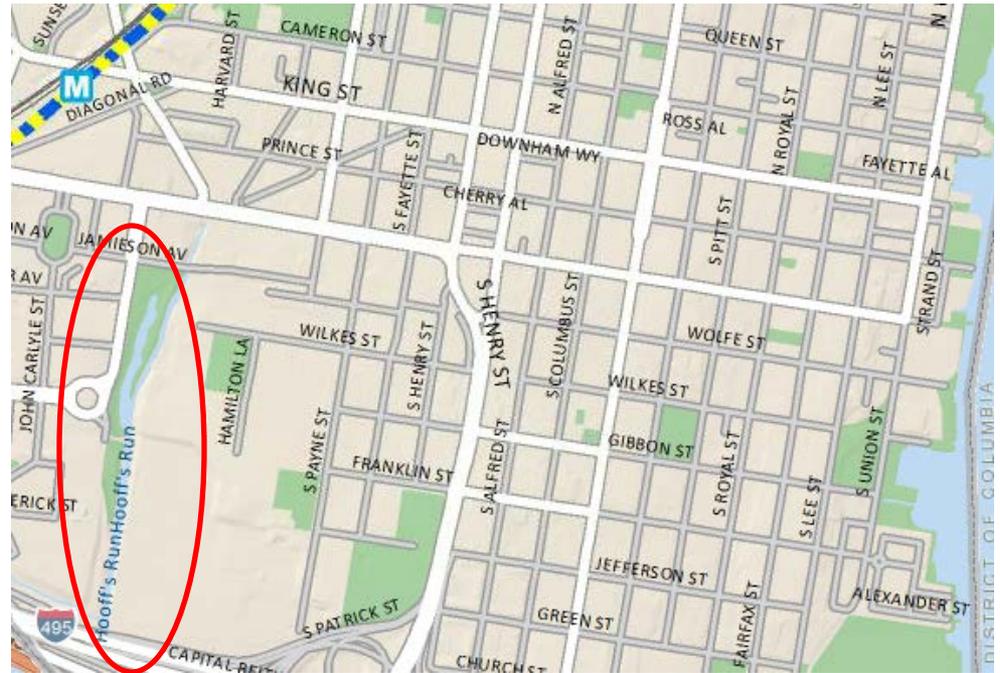
- Parker-Gray Gallery holds changing exhibits
- Robert Robinson Gallery holds Museum's permanent exhibit, *Securing the Blessings of Liberty*, about Alexandria's early African American history
- Notable collections include 'Moss Kendrix' and 'Parker-Gray'



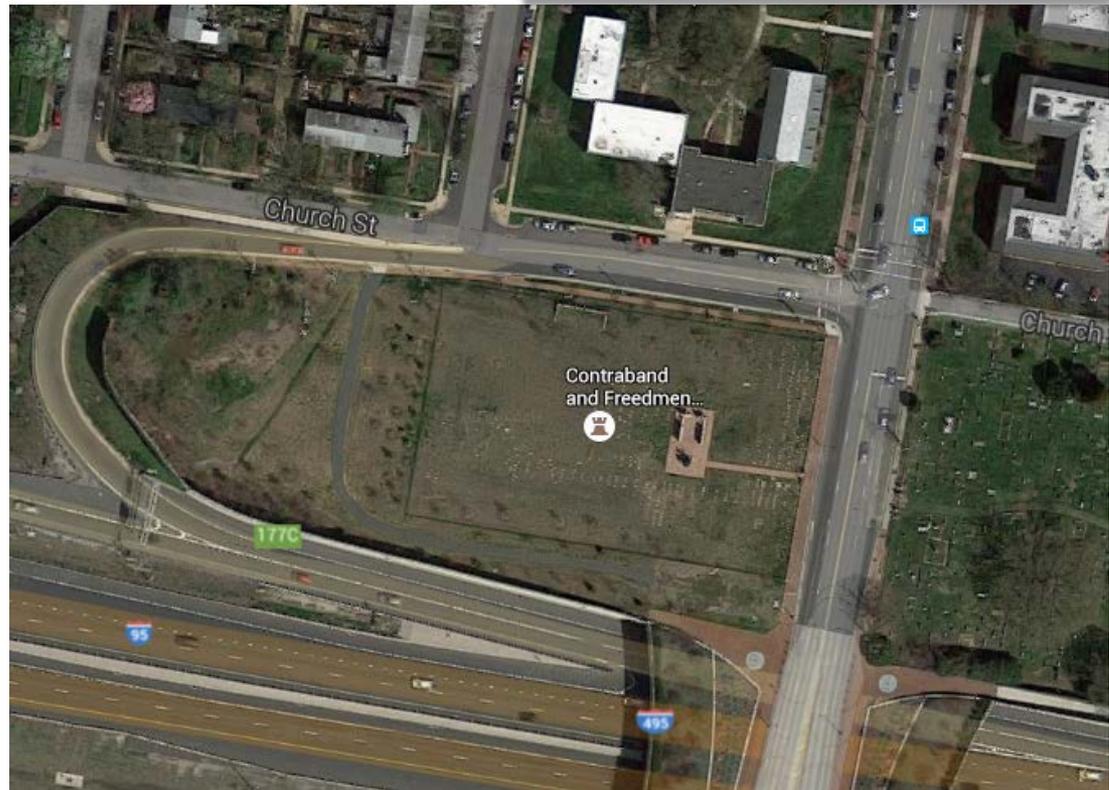
Recent Exhibitions



African American Heritage Park



Contrabands and Freedmen Cemetery Memorial



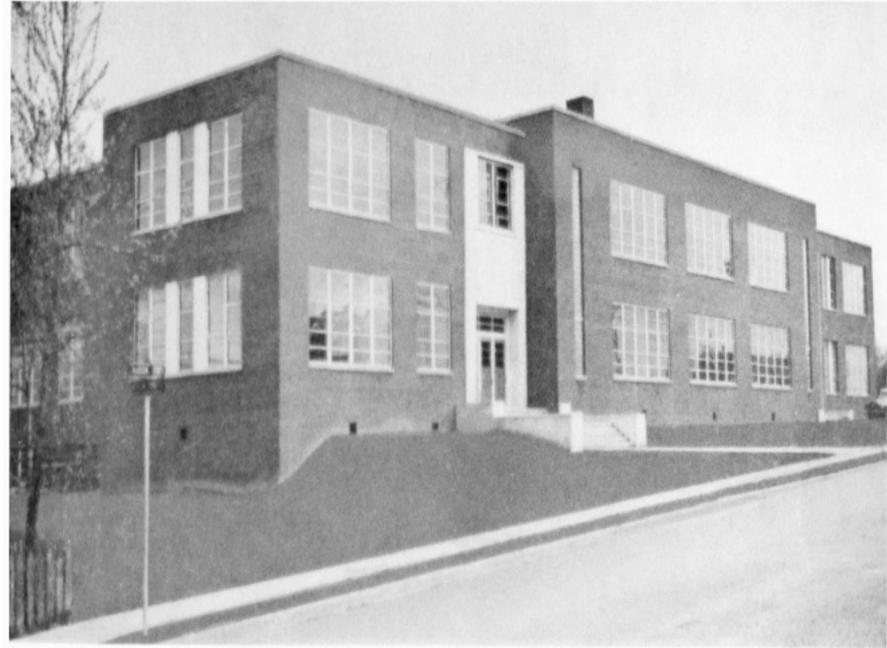
Alfred Street Baptist Church



Parker-Gray Schools



Parker-Gray School
Circa 1920 (Wythe
Street)

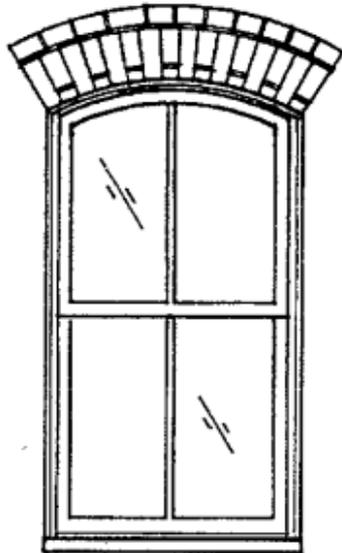


Parker-Gray High School
Circa 1950 – 1965 (Madison Street)
Middle school 1965-1984

Challenges: Preserving Alexandria's African American History

- Ramsey homes in peril
- Recognizing Parker-Gray school history
- Diminishing footprint of African American history in Alexandria
- Need more room: collections storage, exhibit space, event space





DESIGN GUIDELINES

FOR THE

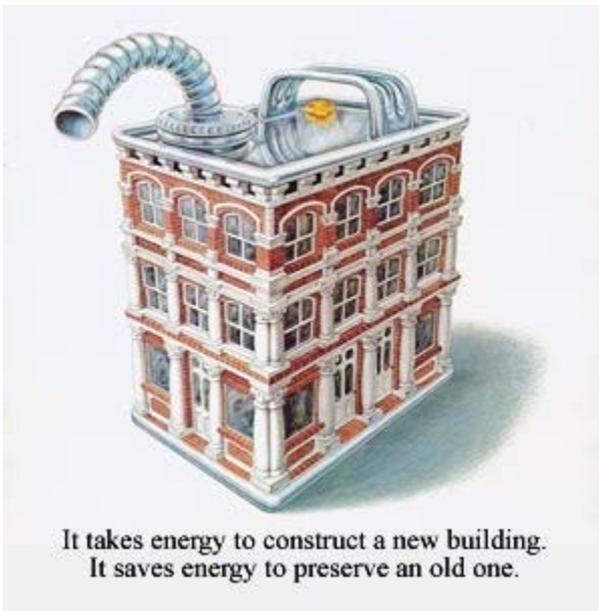
OLD AND HISTORIC ALEXANDRIA DISTRICT

AND THE

PARKER-GRAY DISTRICT

City of Alexandria, Virginia
Department of Planning and Community Development





It takes energy to construct a new building.
It saves energy to preserve an old one.



THE SECRETARY
OF THE INTERIOR'S
STANDARDS FOR
REHABILITATION &

ILLUSTRATED
GUIDELINES ON
SUSTAINABILITY
FOR
REHABILITATING
HISTORIC
BUILDINGS



The City of Alexandria invites you to attend a free workshop on June 4th, 2011:

GREEN + HISTORIC BUILDINGS = THE BEST OF BOTH!



Learn how historic buildings are inherently environmentally friendly and identify ways to make these properties even more energy efficient without compromising historic integrity.



Hear from the National Trust for Historic Preservation about how the green building movement impacts historic preservation.



See case studies of Alexandria's green preservation projects.



Get how-to information for some of the most common, and easily undertaken, home improvement projects for historic buildings that can increase energy efficiency, save money and increase comfort.

Participants are encouraged to RSVP by email to Stephanie.Sample@alexandriava.gov.

Door prizes awarded at the event.

For more information, visit the
Green Building Resource Center:
www.alexandriava.gov/gbrc



EcoCITY ALEXANDRIA



Saturday, June 4th

1:00pm – 3:30pm

The Lyceum

201 South Washington Street

Eco-CITY ALEXANDRIA



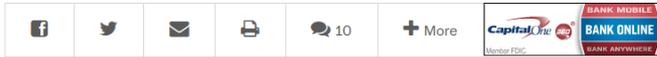
And then....



Publicity

Local

When historic preservation interferes with modern preferences



By **John Kelly** Columnist August 7, 2011

To most eyes, a chain-link fence in the front yard does not scream curb appeal. Simple — but not what you'd call “elegantly simple” — it's what a set decorator might prescribe when he wants to conjure up mean streets. A white picket fence it ain't.

Which is why some homeowners in Old Town Alexandria were surprised to learn recently that their chain-link fences were historic and that removing them could put them in hot water with the city's historic preservation office.

Washington Post, August 7, 2011



Most Read [Local](#)

OUR VIEW: NOT ON THE FENCE ABOUT PARKER-GRAY

Editorials Opinion — 20 October 2011



When is a rusty chain-link fence anything but an eyesore? When the Board of Architectural

Our View: Not on the fence about Parker-Gray historically important.

In a saga that sounds like something out of Ayn Rand's "Atlas Shrugged," BAR officials made Bradley King, a resident of Alexandria's Parker-Gray Historic District, pay a \$250 fee to appear before them and explain why he tore down a decrepit chain-

Tweet 0
Like 0
+1 0

link fence in front of his 1955 town house. The city "let Mr. King off" (meaning he didn't have to replace the fence with another of similar ilk) but didn't reimburse his fee. And for good measure, issued a nine-page report explaining the significance of his former fence.

Think about this: A city employee or employees spent the time to compile nine pages of reasons why an old fence — which most people would reasonably conclude to be blight — shouldn't have been torn down. The report contained the following justifications:

- It was an example of "early or original chain-link fences."
- Its preservation would "encourage study and interest in American history."
- The fence was "a character-defining feature of these minimally designed vernacular buildings."

Alexandria Times, October 20, 2011



What happened next?

City Council got involved:

There were calls for the dissolution of the historic district...

George Washington never slept here!

Recent Residents Who Challenged District

...and then calls to not change a thing.



The Parker-Gray Ad Hoc Design Guidelines Advisory Group

- *9 Work Group members*
- *7 Meetings*
- *19 hours of discussion*
- *Outcome: 3 fundamental changes*



Architectural Classification (local Period of Architectural Significance, 1931)



“Early” buildings are those constructed by 1931



Architectural Classification (local Period of Architectural Significance, 1931)



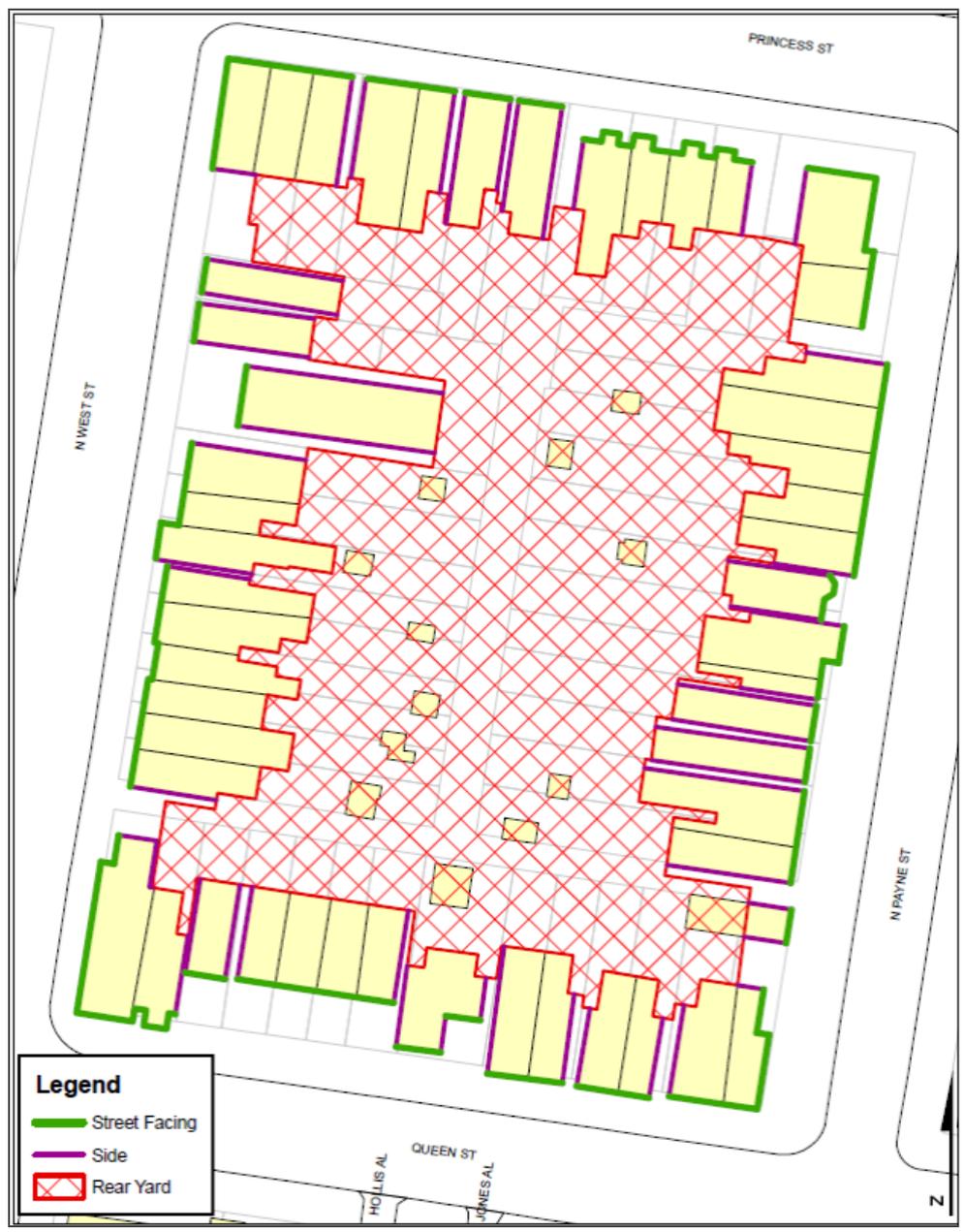
“Later” buildings are those constructed after 1932



Early (orange)
Later (blue)



Hierarchy of Elevations



Street-facing Front Façades GREEN
Non-Street-facing Side PURPLE
Rear Elevations RED



Corner – two street-facing elevations



Non-street-facing side elevation



Non-street-facing side elevation



Non-street-facing Rear elevation

Levels of Review

B = BAR review at a public hearing
S = Staff administrative review only
N = No BAR or Staff review required

Early Residential Buildings Built before 1932

FRONT (street facing)	SIDE (non-street facing)	REAR (non-street facing)
<p>Demolition/ Capsulation Demolition of 19th century facades/walls (B) Demolition of chain link and non-historic fences (S) Accessibility features when no longer needed (N)</p> <p>Site elements Fences, except hollow vinyl fences, and those located in the right-of-way (S) General screened HVAC (S) Deck/patio less than 2 ft. above grade (N) Freestanding (permanent) planters and retaining walls less than 2 ft. high (N) Non-permanent yard features and art (N) Paving (S) Bollards (N)</p> <p>Exterior finishes Painting of or mico applied to, unpaired masonry (B) Wood siding, including synthetic trim in finished locations (S) Paint color (N)</p> <p>Roofs Dormers (B) Skylights (B) Rooftop decks (B) Replacement roofing (S) Solar panels (S) Chimneys/Flues (N) Visible rooftop HVAC screening (or waiver) if located at least 11' behind the front facade on flat or sloped roofs (S)</p> <p>Replacement windows/doors Replacement 12L wood windows (if no historic windows exist or cannot be preserved), without tinted or reflective glass (S) Doors and garage doors (S) Security bars (N) Storm doors (N)</p> <p>Building features Vents/fan greater than 1 sq. ft. (B) Dish antennas over 2 feet in diameter (B) Vents/fan less than 1 sq. ft. (S) Shutters (S) Drains/ gutters (S) Dish antennas under 2 feet in diameter (S) Utility meters (N) Window boxes (N) Steeps/vents/guard & handrails (S) Light fixtures (N) Window boxes (N)</p> <p>New construction Permanent planters attached to the building (S) Door locks, porches or porches (B) Accessibility features (N) Docks and balconies (B) Accessibility features (B) Accessory structures under 50 sq. ft. for corner lots (S)</p>	<p>Demolition/ Capsulation Demolition of 19th century facades/walls (B) Demolition of chain link and non-historic fences (N) Accessibility features when no longer needed (S)</p> <p>Site elements Fences, except hollow vinyl (S) General screened HVAC (N) Deck/patio less than 2 ft. above grade (N) Freestanding (permanent) planters and retaining walls less than 2 ft. high (N) Non-permanent yard features and art (N) Paving (S) Bollards (N)</p> <p>Exterior finishes Painting of or mico applied to, unpaired masonry (B) Siding, including fiber cement siding and synthetic trim (S) Paint color (N)</p> <p>Roofs Dormers (B) Skylights (S) Replacement roofing (S) Visible rooftop HVAC screening (or waiver) (S) Solar panels (N) Chimneys/Flues (N) Rooftop decks, provided they are located at least 11' behind the front facade on flat or sloped roofs (S)</p> <p>Replacement windows/doors Replacement windows of any material but vinyl, without tinted or reflective glass (S) All doors (N) Security bars (N)</p> <p>Building features Light fixtures (N) Vents/fan (N) Dish antennas and all mast TV antennas (N) Shutters (N) Drains/ gutters (N) Utility meters (N) Window boxes (N) Assignment (N) Steeps/vents/guard & handrails (N) Attention below the second floor window sills (N)</p> <p>New construction Permanent planters attached to the building (S) Door locks, porches or porches (S) Accessibility features (N) Docks and balconies (B) Accessibility features (B) Accessory structures under 50 sq. ft. for corner lots (S)</p>	<p>Demolition/ Capsulation Demolition of 19th century facades/walls (B) Demolition of chain link and non-historic fences (N) Demolition and capitation of 175 or less square feet of rear wall area, below second floor window sills (N) Demolition and capitation of 100 gross square feet of building area (e.g. existing one story additions) below second floor window sills and accessory structures (N) Accessibility features when no longer needed (N)</p> <p>Site elements Fences, except hollow vinyl fences, and those located in the right-of-way (S) General screened HVAC (S) Deck/patio less than 2 ft. above grade (N) Freestanding (permanent) planters and retaining walls less than 2 ft. high (N) Non-permanent yard features and art (N) Paving (S) Bollards (N)</p> <p>Exterior finishes Painting of or mico applied to, unpaired masonry (B) Siding, including fiber cement siding and synthetic trim (S) Paint color (N)</p> <p>Roofs Dormers (B) Skylights (S) Replacement roofing (S) Visible rooftop HVAC screening (or waiver) if located at least 11' behind the front facade on flat or sloped roofs (S) Solar panels (S) Chimneys/Flues (S)</p> <p>Replacement windows/doors Replacement windows of any material, without tinted or reflective glass (S) Doors (N) Security bars (N)</p> <p>Building features Light fixtures (N) Vents/fan (N) Dish antennas and all mast TV antennas (N) Shutters (N) Drains/ gutters (N) Utility meters (N) Window boxes (N) Assignment (N) Steeps/vents/guard & handrails (N) Attention below the second floor window sills (N)</p> <p>New construction Permanent planters attached to the building (S) Accessory structures no greater than one story, 256 gross sq. ft. and 11.5 feet high (N) One-story additions no more than 250 gross sq. ft. of floor area and no taller than 2nd floor window sills (N) Deck/patio below the second floor window sills (N) Door locks, porches or porches below second floor window sills (N) Accessibility features (N)</p>
<p>1. Unless specifically exempted here, the BAR must approve any alterations, additions, demolition and/or capsulation. 2. All projects must comply with zoning ordinance and building code requirements, and a building permit may be required. 3. All work approved by Staff through the administrative approval process must still be consistent with all BAR Design Guidelines, as amended, and policies. 4. Corner buildings have two street facing elevations (fronts) and two non-street facing elevations (sides).</p>		

Later Residential Buildings Built after 1931

FRONT	SIDE	REAR
<p>Demolition/ Capsulation Demolition of all facades (N) Accessibility features, when no longer needed (N)</p> <p>Site elements Fences, except hollow vinyl fences, and those located in the right-of-way (S) General screened HVAC (S) Deck/patio less than 2 ft. above grade (N) Freestanding (permanent) planters and retaining walls less than 2 ft. high (N) Non-permanent yard features and art (N) Paving (S) Bollards (N)</p> <p>Exterior finishes Painting of or mico applied to, unpaired masonry (B) Wood siding, including fiber cement siding and synthetic trim (S) Paint color (N)</p> <p>Roofs Dormers (B) Rooftop decks (B) Skylights (S) Replacement roofing (S) Visible rooftop HVAC screening (or waiver) if located at least 11' behind the front facade on flat or sloped roofs (S) Solar panels (S) Chimneys/Flues (S)</p> <p>Replacement windows/doors Security bars (S) Replacement windows (S) If located 11' or more from the first property line they may be any material, operation or configuration, without tinted or reflective glass, and: If located less than 11' from the property line, the windows may be wood, aluminum clad wood, or any high quality, paintable material with permanently affixed simulated divided light muntins. They may not be hollow vinyl, have unadorned muntins, or have tinted or reflective glass. Doors (N)</p> <p>Building features Dish antennas over 2 feet in diameter (B) Vents/fan greater than 1 sq. ft. (B) Drains/ gutters (S) Vents/fan less than 1 sq. ft. (S) Utility meters (N) Dish antennas under 2 feet in diameter (S) Light fixtures (N) Shutters (N) Window boxes (N) Assignment (N) Steeps/vents/guard & handrails (N)</p> <p>New construction Permanent planters attached to the building (B) Docks and balconies (B) Door locks, porches or porches (B) Accessibility features (B) Accessory structures under 50 sq. ft. for corner lots (S)</p>	<p>Demolition/ Capsulation Demolition of all facades (N) Accessibility features when no longer needed (N)</p> <p>Site elements Fences, except hollow vinyl fences (S) General screened HVAC (N) Deck/patio less than 2 ft. above grade (N) Freestanding (permanent) planters and retaining walls less than 2 ft. high (N) Non-permanent yard features and art (N) Paving (S) Bollards (N)</p> <p>Exterior finishes Painting of or mico applied to, unpaired masonry (B) Siding, including fiber cement siding and synthetic trim (S) Paint color (N)</p> <p>Roofs Dormers (B) Replacement roofing (S) Visible rooftop HVAC screening (or waiver) (S) Solar panels (N) Chimneys/Flues (N) Rooftop decks, provided they are located at least 11' behind the front facade on flat or sloped roofs (N)</p> <p>Replacement windows/doors Replacement windows of any material, without tinted or reflective glass (S) Doors (N) Security bars (N)</p> <p>Building features Light fixtures (N) Vents/fan (N) Dish antennas and all mast TV antennas (N) Shutters (N) Drains/ gutters (N) Utility meters (N) Window boxes (N) Assignment (N) Steeps/vents/guard & handrails (N) Attention below the second floor window sills (N)</p> <p>New construction Door locks, porches or porches (S) Permanent planters attached to the building (S) Accessory structures under 50 sq. ft. for corner lots (S) Accessibility features (N)</p>	<p>Demolition/ Capsulation Demolition and capitation of 250 or less of square feet of rear wall area, below the second floor window sills (N) Demolition and capitation of 100 gross square feet of building area (e.g. existing one story additions) below second floor window sills and accessory structures (N) Demolition of all facades (N) Accessibility features when no longer needed (N)</p> <p>Site elements Fences, except hollow vinyl fences (S) General screened HVAC (N) Deck/patio less than 2 ft. above grade (N) Freestanding (permanent) planters and retaining walls less than 2 ft. high (N) Non-permanent yard features and art (N) Paving (S) Bollards (N)</p> <p>Exterior finishes Painting of or mico applied to, unpaired masonry (B) Siding, including fiber cement siding and synthetic trim (S) Paint color (N)</p> <p>Roofs Dormers (B) Replacement roofing (S) Visible rooftop HVAC screening (or waiver) (S) Solar panels (N) Chimneys/Flues (N) Rooftop decks, provided they are located at least 11' behind the front facade on flat or sloped roofs (N)</p> <p>Replacement windows/doors Replacement windows of any material, without tinted or reflective glass (S) Doors (N) Security bars (N)</p> <p>Building features Light fixtures (N) Vents/fan (N) Dish antennas and all mast TV antennas (N) Shutters (N) Drains/ gutters (N) Utility meters (N) Window boxes (N) Assignment (N) Steeps/vents/guard & handrails (N) Attention below the second floor window sills (N)</p> <p>New construction Permanent planters attached to the building (S) Accessory structures no greater than one story, 256 gross sq. ft. and 11.5 feet high (N) One-story additions no more than 250 gross sq. ft. of floor area and no taller than 2nd floor window sills (N) Deck/patio below the second floor window sills (N) Door locks, porches or porches below second floor window sills (N) Accessibility features (N)</p>
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Parker-Gray Guidelines

DRAFT

SIDING & TRIM

CITY OF ALEXANDRIA
PARKER-GRAY DISTRICT

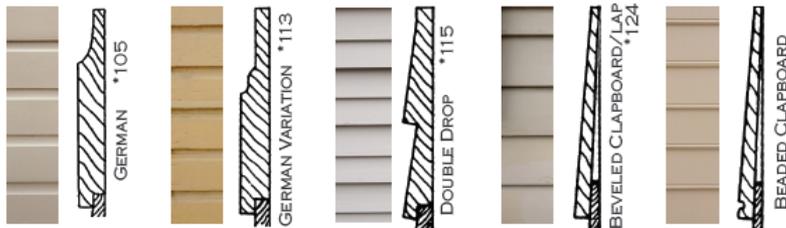
APPROVAL MATRIX

YEAR BUILT	FRONT (STREET FACING)	SIDE (NON-STREET FACING)	REAR (NON-STREET FACING)
Pre - 1932	staff review	staff review	staff review
Post - 1931	staff review	staff review	staff review

Exterior siding protects a structure from the elements and is an important design element which can also provide clues to the building's age and architectural style. A central tenant of historic preservation is that original historic materials should be retained and repaired, rather than replaced. Therefore, the BAR requires retention of historic siding, if present, on buildings or additions constructed prior to 1932 ("early" buildings). For "later" buildings or for the side and rear elevations of early buildings where historic siding no longer exists, lap fiber cement can be used, provided that it has a smooth finish and is paintable. Likewise, synthetic trim can be applied in select locations, as long as it is solid through-the-core, millable, and paintable.

An informed and careful analysis of the condition of existing siding must be completed by BAR staff before any decision to replace historic materials is made. In many cases, historic siding is covered by subsequent layers of siding, such as aluminum, vinyl, and artificial stone siding and it is not unusual to discover intact historic siding in good condition underneath. Staff will make a determination whether the historic siding is salvageable and must be retained on early buildings. Maintenance of any type of siding is of essential, as regular caulking and painting is far less expensive than replacement.

SIDING TYPES



TIME TO REPAINT?

While the BAR does not regulate color, staff can provide you a list of historically appropriate colors as well as advice on regular maintenance and repairs.

GUIDELINES

DO . . .

- Repair rather than replace historic wood siding.
- Carefully remove portions of inappropriate siding to determine if historic siding exists underneath.
- Replace only those portions of siding that cannot be repaired.
- Match the appropriate historic profile.
- Paint wood siding. BAR staff can provide you a list of historically appropriate colors.

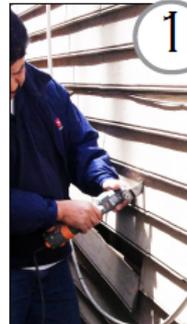
DON'T . . .

- Use blow-in insulation that permanently adheres to the historic framing and siding.
- Install aluminum or vinyl siding.
- Capsulate siding, trim or other wood elements such as brackets, spindles, cornices, columns, etc.

REGARDLESS OF AGE OR LOCATION:

A building permit is required for siding replacement over **100 square feet** in the historic districts.

SIDING ANALYSIS



A contractor removes a small portion of the surface siding.



The investigation reveals an older layer of siding underneath.



Using clues such as the siding profile and the type of nails used, staff makes a determination on the age of the siding.



The contractor exposes more of the historic siding for staff to assess its condition. In this case, the historic siding is in very good condition and will be stripped and painted for reuse on this building.

4

PLACEHOLDER
FOR IMAGE OF THE
FINISHED SIDING
RESTORATION

ADOPTED 0x/xx/20xx



