

BLOCK "A1" PRELIMINARY PLAN OAKVILLE ALEXANDRIA, VIRGINIA

NARRATIVE DESCRIPTION OF DEVELOPMENT

THIS SITE IS BORDERED TO THE NORTH BY SWANN AVENUE; TO THE SOUTH BY BLOCK A2 (FANNON STREET IS TO THE SOUTH OF BLOCK A2); TO THE EAST BY JEFFERSON DAVIS HIGHWAY; AND TO THE WEST BY OAKVILLE STREET. THE SITE HAS BEEN REZONED TO A COORDINATED DEVELOPMENT DISTRICT (CDD #24).

THE EXISTING SITE CONSISTS OF INDUSTRIAL/COMMERCIAL WAREHOUSE BUILDINGS.

THIS PROJECT CALLED "BLOCK A1" PROPOSES A MIXED-USE BUILDING WITH OFFICE ABOVE RETAIL AND AN AT-GRADE PLAZA. IT IS PART OF THE LARGER OAKVILLE DEVELOPMENT THAT PROPOSES TWO PHASES OF CONSTRUCTION. THIS BLOCK WILL BE DEVELOPED WITH PHASE 1 OF THE PROJECT ALONG WITH THE INFRASTRUCTURE WORK AND BLOCKS B & D. A SEPARATE PHASING PLAN HAS BEEN SUBMITTED FOR THIS PROJECT WHICH PROVIDES ADDITIONAL DETAILS/BREAKDOWN ON PHASING.

ACCESS TO THE SITE WILL BE FROM OAKVILLE STREET.

SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

1. DEVELOPMENT SPECIAL USE PERMIT WITH SITE PLAN
2. ENCROACHMENT APPLICATION
3. MECHANICAL PENTHOUSE HEIGHT MODIFICATION

COMPLETE STREETS

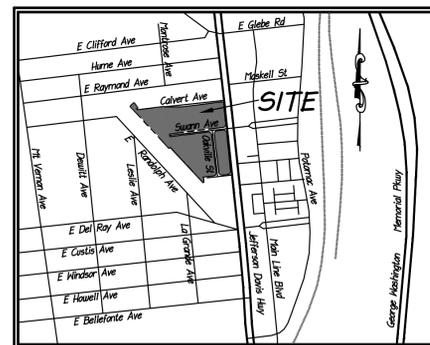
	New	Upgraded
Crosswalks (number)		
Standard	N/A	0
High Visibility	N/A	0
Curb Ramps	N/A	0
Sidewalks (LF)	675	0
Bicycle Parking (number of spaces)		
Public/Visitor	X	0
Private/Garage	X	0
Bicycle Paths (LF)	N/A	0
Pedestrian Signals	N/A	0



PREPARED BY:

christopher consultants

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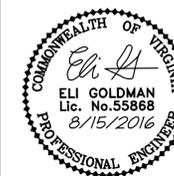
VICINITY MAP

SCALE 1" = 1000'

Sheet List Table

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C201	EXISTING CONDITIONS PLAN	A2.03	PLAZA ELEVATIONS
C300	OVERALL PRELIMINARY SITE PLAN	A2.04	SWANN ELEVATION RENDERING
C301	PRELIMINARY SITE PLAN	A2.05	OAKVILLE / ROUTE 1 ELEVATION RENDERING
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DATE	REVISION
8/15/16	COMPLETE COMMENTS ALL SHEETS



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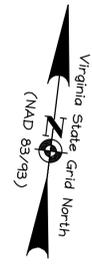
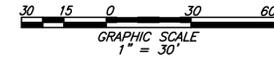
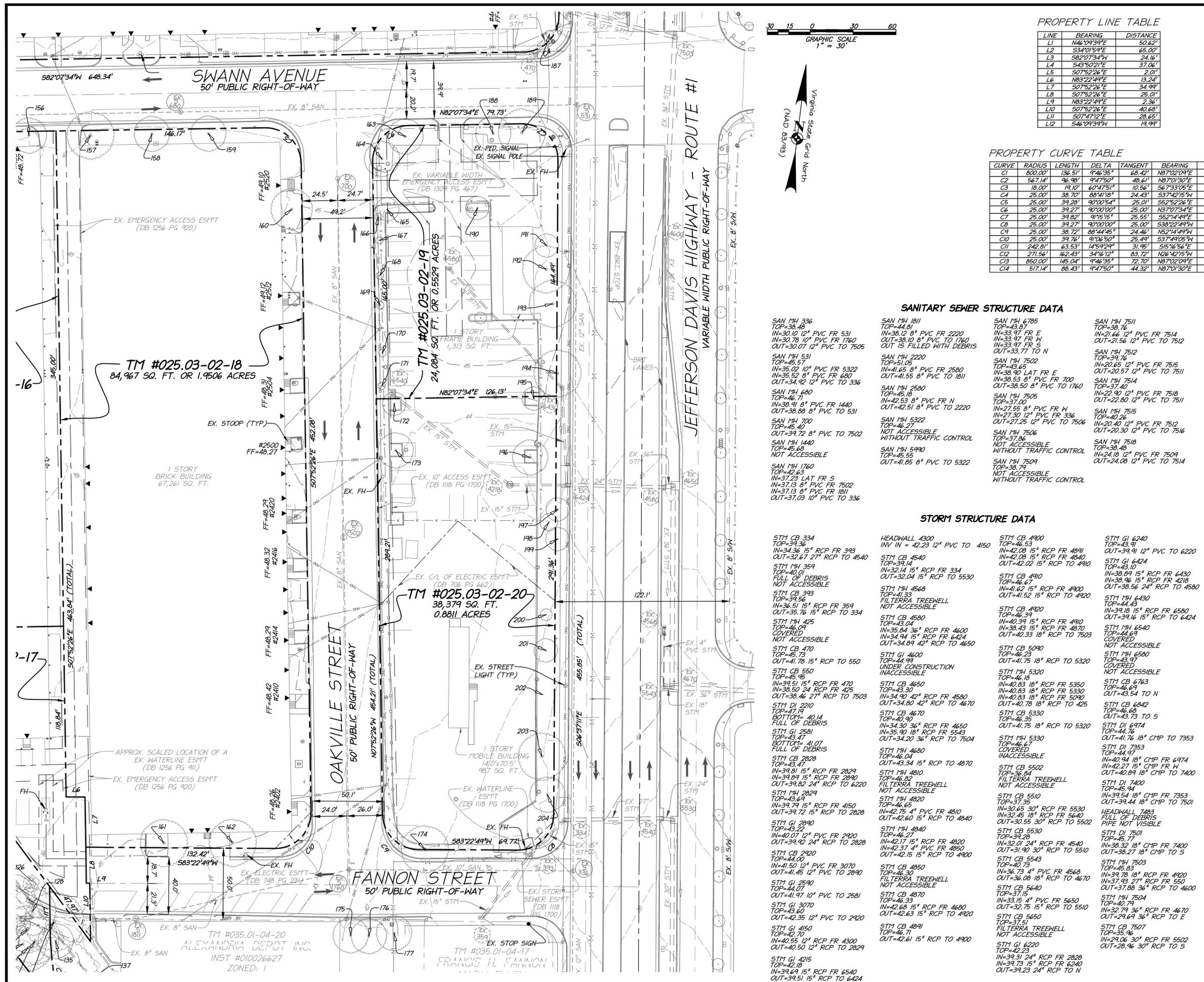
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**ESI
PEER REVIEW**

APPROVED	
SPECIAL USE PERMIT NO. 2015-00026	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO. PAGE NO.

C100



PROPERTY LINE TABLE

LINE	BEARING	DISTANCE
L1	N46°01'34"E	50.62'
L2	S34°01'54"E	65.00'
L3	S82°07'34"W	24.18'
L4	S43°50'21"E	37.06'
L5	S07°52'26"E	2.01'
L6	N83°22'49"E	13.24'
L7	S07°52'26"E	34.99'
L8	S07°52'26"E	25.01'
L9	N83°22'49"E	2.36'
L10	S07°52'26"E	40.68'
L11	S07°47'12"E	28.65'
L12	S46°01'34"W	19.99'

PROPERTY CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	800.00'	136.51'	9°46'35"	68.42'	N87°02'04"E	136.34'
C2	567.14'	96.98'	9°47'50"	48.61'	N87°01'30"E	96.86'
C3	18.00'	19.10'	60°47'51"	10.56'	S67°53'05"E	18.22'
C4	25.00'	38.70'	88°41'59"	24.43'	S37°42'15"W	34.95'
C5	25.00'	39.28'	90°02'54"	25.01'	S52°52'26"E	35.36'
C6	25.00'	39.27'	90°02'00"	25.00'	N87°01'34"E	35.36'
C7	25.00'	39.82'	91°15'15"	25.55'	S52°14'49"E	35.74'
C8	25.00'	39.27'	90°00'00"	25.00'	S38°22'49"W	35.36'
C9	25.00'	38.72'	88°44'45"	24.46'	N52°14'49"W	34.97'
C10	25.00'	39.76'	91°06'50"	25.49'	S37°49'05"W	35.70'
C11	242.81'	63.53'	14°59'29"	31.95'	S15°16'56"E	63.35'
C12	271.56'	162.43'	34°16'12"	83.72'	N26°42'15"W	160.02'
C13	850.00'	145.04'	9°46'35"	72.70'	N87°02'04"E	144.86'
C14	517.14'	88.43'	9°47'50"	44.32'	N87°01'30"E	88.32'

NOTE:
SEE SHEET C101 FOR EXISTING
TREE DATA.

SANITARY SEWER STRUCTURE DATA

- SAN MH 336
TOP=38.48
IN=30.10 12" PVC FR 531
OUT=38.78 10" PVC FR 1760
OUT=30.07 12" PVC TO 7505
- SAN MH 531
TOP=45.57
IN=35.02 10" PVC FR 5322
IN=35.52 8" PVC FR 680
OUT=34.42 12" PVC TO 336
- SAN MH 680
TOP=46.71
IN=38.91 8" PVC FR 1440
OUT=38.88 8" PVC TO 531
- SAN MH 700
TOP=45.40
OUT=39.72 8" PVC TO 7502
- SAN MH 1440
TOP=45.68
NOT ACCESSIBLE
- SAN MH 1760
TOP=42.63
IN=37.23 LAT FR S
IN=37.13 8" PVC FR 7502
IN=37.13 8" PVC FR 1811
OUT=37.03 10" PVC TO 336
- SAN MH 1811
TOP=44.81
IN=38.12 8" PVC FR 2220
IN=38.78 10" PVC FR 1760
OUT=15 FILLED WITH DEBRIS
- SAN MH 2220
TOP=51.05
IN=41.65 8" PVC FR 2580
OUT=41.55 8" PVC TO 1811
- SAN MH 2580
TOP=45.16
IN=42.53 8" PVC FR N
OUT=42.51 8" PVC TO 2220
- SAN MH 5322
TOP=46.27
NOT ACCESSIBLE
WITHOUT TRAFFIC CONTROL
- SAN MH 5990
TOP=45.55
OUT=41.85 8" PVC TO 5322
- SAN MH 6785
TOP=43.87
IN=33.97 FR W
IN=33.97 FR E
IN=33.97 FR S
OUT=33.77 TO N
- SAN MH 7502
TOP=43.65
IN=38.90 LAT FR E
IN=38.53 8" PVC FR 700
OUT=38.50 8" PVC TO 1760
- SAN MH 7505
TOP=37.00
IN=27.55 8" PVC FR W
IN=27.30 12" PVC FR 336
OUT=27.25 12" PVC TO 7506
- SAN MH 7515
TOP=40.26
IN=20.40 12" PVC FR 7512
OUT=20.30 12" PVC TO 7516
- SAN MH 7518
TOP=38.48
IN=24.18 12" PVC FR 7509
OUT=24.08 12" PVC TO 7514
- SAN MH 7519
TOP=38.79
NOT ACCESSIBLE
WITHOUT TRAFFIC CONTROL
- SAN MH 7512
TOP=39.76
IN=20.65 12" PVC FR 7515
OUT=20.57 12" PVC TO 7511
- SAN MH 7514
TOP=37.40
IN=22.90 12" PVC FR 7518
OUT=22.80 12" PVC TO 7511
- SAN MH 7515
TOP=40.26
IN=20.40 12" PVC FR 7512
OUT=20.30 12" PVC TO 7516
- SAN MH 7518
TOP=38.48
IN=24.18 12" PVC FR 7509
OUT=24.08 12" PVC TO 7514

STORM STRUCTURE DATA

- STM CB 334
TOP=39.36
IN=34.38 15" RCP FR 393
OUT=32.67 27" RCP TO 4540
- STM MH 359
TOP=40.01
FULL OF DEBRIS
NOT ACCESSIBLE
- STM CB 393
TOP=39.56
IN=36.51 15" RCP FR 359
OUT=35.76 15" RCP TO 334
- STM MH 425
TOP=46.04
COVERED
NOT ACCESSIBLE
- STM CB 470
TOP=46.71
OUT=41.78 15" RCP TO 550
- STM CB 550
TOP=45.95
IN=39.51 15" RCP FR 470
IN=38.50 24" RCP FR 425
OUT=38.46 27" RCP TO 7503
- STM DI 2210
TOP=40.90
IN=34.30 36" RCP FR 4650
IN=35.90 18" RCP FR 5543
OUT=34.20 36" RCP TO 7504
- STM MH 2828
TOP=43.47
IN=39.81 15" RCP FR 2829
IN=39.89 15" RCP FR 2840
OUT=39.82 24" RCP TO 6220
- STM MH 2829
TOP=43.64
IN=39.79 15" RCP FR 4150
OUT=39.72 15" RCP TO 2828
- STM GI 2890
TOP=43.22
IN=40.07 12" PVC FR 2920
OUT=39.42 24" RCP TO 2828
- STM CB 2920
TOP=44.00
IN=41.50 12" PVC FR 3070
OUT=41.48 12" PVC TO 2890
- STM GI 2950
TOP=43.60
OUT=41.97 10" PVC TO 2581
- STM GI 3070
TOP=43.60
OUT=42.35 12" PVC TO 2920
- STM GI 4150
TOP=42.70
IN=40.55 12" RCP FR 4300
OUT=40.50 12" RCP TO 2829
- STM GI 4215
TOP=42.18
IN=39.69 15" RCP FR 6540
OUT=39.51 15" RCP TO 6424
- HEADWALL 4300
INV IN = 42.23 12" PVC TO 4150
- STM CB 4540
TOP=39.14
IN=32.14 15" RCP FR 334
OUT=32.04 15" RCP TO 5530
- STM MH 4568
TOP=41.33
FILTERRA TREWELL
NOT ACCESSIBLE
- STM CB 4580
TOP=43.04
IN=35.84 36" RCP FR 4600
IN=34.94 15" RCP FR 6424
OUT=34.89 42" RCP TO 4650
- STM GI 4600
TOP=44.99
UNDER CONSTRUCTION
INACCESSIBLE
- STM CB 4650
TOP=43.30
IN=34.90 42" RCP FR 4580
OUT=34.80 42" RCP TO 4670
- STM CB 4670
TOP=40.90
IN=34.30 36" RCP FR 4650
IN=35.90 18" RCP FR 5543
OUT=34.20 36" RCP TO 7504
- STM MH 4680
TOP=46.04
OUT=43.34 15" RCP TO 4870
- STM MH 4810
TOP=46.82
FILTERRA TREWELL
NOT ACCESSIBLE
- STM MH 4820
TOP=46.65
IN=42.75 4" PVC FR 4810
OUT=42.60 15" RCP TO 4840
- STM MH 4840
TOP=46.27
IN=42.17 15" RCP FR 4820
IN=42.37 4" PVC FR 4850
OUT=42.15 15" RCP TO 4900
- STM CB 4850
TOP=46.30
FILTERRA TREWELL
NOT ACCESSIBLE
- STM CB 4870
TOP=46.30
IN=42.68 15" RCP FR 4680
OUT=42.63 15" RCP TO 4920
- STM CB 4891
TOP=46.71
OUT=42.61 15" RCP TO 4900
- STM CB 4900
TOP=46.53
IN=42.08 15" RCP FR 4891
IN=42.08 15" RCP FR 4840
OUT=42.02 15" RCP TO 4910
- STM CB 4910
TOP=46.67
IN=41.62 15" RCP FR 4900
OUT=41.52 15" RCP TO 4920
- STM CB 4920
TOP=46.67
IN=40.39 15" RCP FR 4910
IN=38.43 15" RCP FR 4870
OUT=40.33 18" RCP TO 7503
- STM CB 5090
TOP=46.23
OUT=41.75 18" RCP TO 5320
- STM MH 5320
TOP=46.18
IN=40.83 18" RCP FR 5350
IN=40.83 18" RCP FR 5330
IN=40.83 18" RCP FR 5090
OUT=40.78 18" RCP TO 425
- STM CB 5330
TOP=46.68
OUT=41.75 18" RCP TO 5320
- STM MH 5330
TOP=46.67
COVERED
INACCESSIBLE
- STM CB 5502
TOP=36.84
FILTERRA TREWELL
NOT ACCESSIBLE
- STM CB 5510
TOP=37.35
IN=30.65 30" RCP FR 5530
IN=32.45 18" RCP FR 5640
OUT=30.55 30" RCP TO 5502
- STM CB 5530
TOP=39.28
IN=32.01 24" RCP FR 4540
OUT=31.90 30" RCP TO 5510
- STM CB 5543
TOP=46.79
IN=36.73 4" PVC FR 4568
OUT=36.08 18" RCP TO 4670
- STM CB 5640
TOP=37.15
IN=33.15 4" PVC FR 5650
OUT=32.75 15" RCP TO 5510
- STM CB 5650
TOP=40.79
IN=32.79 36" RCP FR 4670
OUT=29.69 36" RCP TO E
- STM CB 7507
TOP=35.96
IN=29.06 30" RCP FR 5502
OUT=28.96 30" RCP TO S
- STM GI 6240
TOP=43.91
OUT=39.91 12" PVC TO 6220
- STM GI 6424
TOP=43.10
IN=38.99 15" RCP FR 6430
IN=38.96 15" RCP FR 4218
OUT=38.56 24" RCP TO 4580
- STM MH 6430
TOP=44.43
IN=39.18 15" RCP FR 6580
OUT=39.16 15" RCP TO 6424
- STM MH 6540
TOP=44.69
COVERED
NOT ACCESSIBLE
- STM MH 6580
TOP=43.97
COVERED
NOT ACCESSIBLE
- STM CB 6763
TOP=46.69
OUT=43.54 TO N
- STM CB 6842
TOP=46.68
OUT=43.73 TO S
- STM DI 6974
TOP=44.76
OUT=41.76 18" CMP TO 7353
- STM DI 7353
TOP=44.91
IN=40.54 18" CMP FR 6974
IN=42.27 15" CMP FR W
OUT=40.89 18" CMP TO 7400
- STM DI 7400
TOP=45.94
IN=39.54 18" CMP FR 7353
OUT=39.44 18" CMP TO 7501
- HEADWALL 7483
FULL OF DEBRIS
PIPE NOT VISIBLE
- STM DI 7501
TOP=45.71
IN=38.32 18" CMP FR 7400
OUT=38.27 18" CMP TO S
- STM MH 7503
TOP=45.83
IN=39.78 18" RCP FR 4920
IN=37.93 27" RCP FR 550
OUT=37.88 36" RCP TO 4600
- STM MH 7504
TOP=40.79
IN=32.79 36" RCP FR 4670
OUT=29.69 36" RCP TO E
- STM CB 7507
TOP=35.96
IN=29.06 30" RCP FR 5502
OUT=28.96 30" RCP TO S

ESI
PEER REVIEW

APPROVED
SPECIAL USE PERMIT NO. 2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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EXISTING CONDITIONS PLAN

BLOCK "A1" PRELIMINARY PLAN

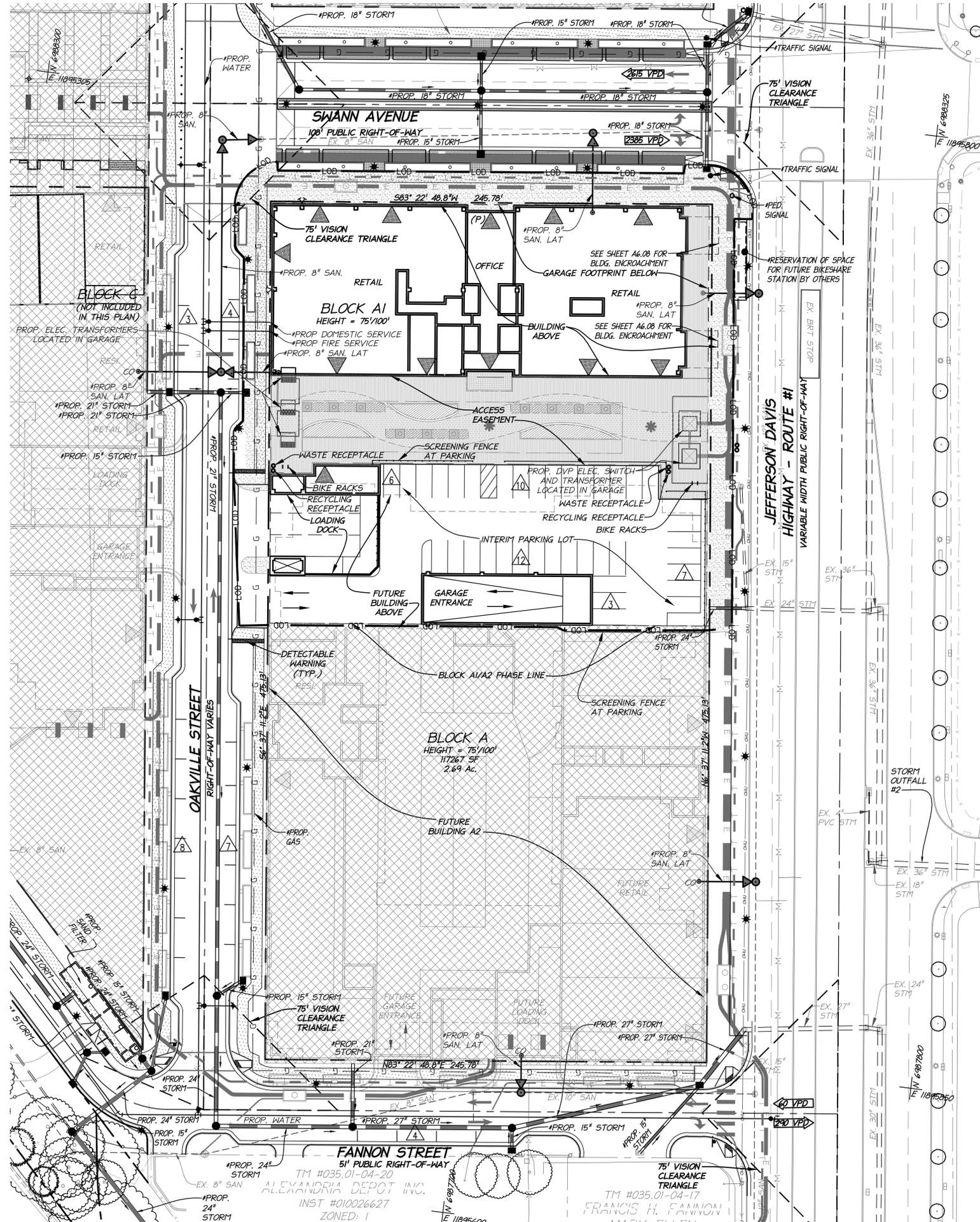
CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: H007.400.00
SCALE: 1"=30'
DATE: 08/15/16
DESIGN: EG
DRAWN: JS
CHECKED: EG
SITE NO.

C201
106978

UTILITY OWNER INFORMATION:

1. STORM SEWER WITHIN PUBLIC RIGHTS-OF-WAY AND SHOWN WITHIN PUBLIC EASEMENTS ARE OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA UNLESS OTHERWISE NOTED. STORM SEWERS NOT WITHIN PUBLIC RIGHTS-OF-WAY OR PUBLIC EASEMENTS ARE PRIVATELY MAINTAINED.
2. SANITARY SEWERS WITHIN PUBLIC RIGHTS-OF-WAY AND SHOWN WITHIN PUBLIC EASEMENTS ARE OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA UNLESS OTHERWISE NOTED. SANITARY SEWERS NOT WITHIN PUBLIC RIGHTS-OF-WAY OR PUBLIC EASEMENTS ARE PRIVATELY MAINTAINED.
3. WATER LINES, FIRE LINES, AND FIRE HYDRANTS ARE MAINTAINED BY VIRGINIA AMERICAN WATER (VAW).
4. GAS LINES ARE OWNED AND MAINTAINED BY WASHINGTON GAS.
5. ELECTRIC LINES ARE OWNED AND MAINTAINED BY DOMINION VIRGINIA POWER.
6. CABLE LINES ARE OWNED AND MAINTAINED BY COMCAST.
7. TELEPHONE LINES ARE OWNED AND MAINTAINED BY COMCAST.



DATE	REVISION
8-15-16	COMPLETENESS COMMENTS

LEGEND

- # DENOTES NUMBER OF STANDARD PARKING SPACES
- CURB AND GUTTER
- HEADER CURB
- - - CENTERLINE OF STREET
- PROPERTY BOUNDARY
- PROPOSED BUILDING OUTLINE
- (P)▲ PROPOSED BUILDING ENTRANCE (PRIMARY)
- ▲ PROPOSED BUILDING ENTRANCE
- LOD LIMITS OF DISTURBANCE
- ▨ BY OTHERS

NOTES:

1. ALL INFRASTRUCTURE WORK (ROADS AND UTILITIES) SHOWN AROUND BLOCK A1 IS PROPOSED WITH THE OAKVILLE INFRASTRUCTURE FINAL SITE PLAN, DSP #2014-00032.
2. ANY LABEL WITH AN 'A' IS BY OTHERS.
3. ALL DIMENSIONS NEAR THE BUILDING/PROPERTY LINE ARE ASSUMED TO BE TO THE PROPERTY LINE UNLESS OTHERWISE NOTED BY A 'BLDG' LABEL.
4. PARKING SPACES ARE ASSUMED TO BE STANDARD UNLESS OTHERWISE NOTED BY 'C' FOR COMPACT, AND HANDICAP SYMBOL FOR HANDICAP.
5. SEE SHEET C300 FOR DEVELOPMENT NARRATIVE.

**ESI
PEER REVIEW**

APPROVED
SPECIAL USE PERMIT NO. 2015-00026
DEPARTMENT OF PLANNING & ZONING

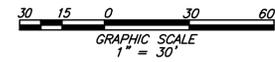
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHARMAN, PLANNING COMMISSION _____ DATE _____

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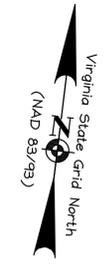
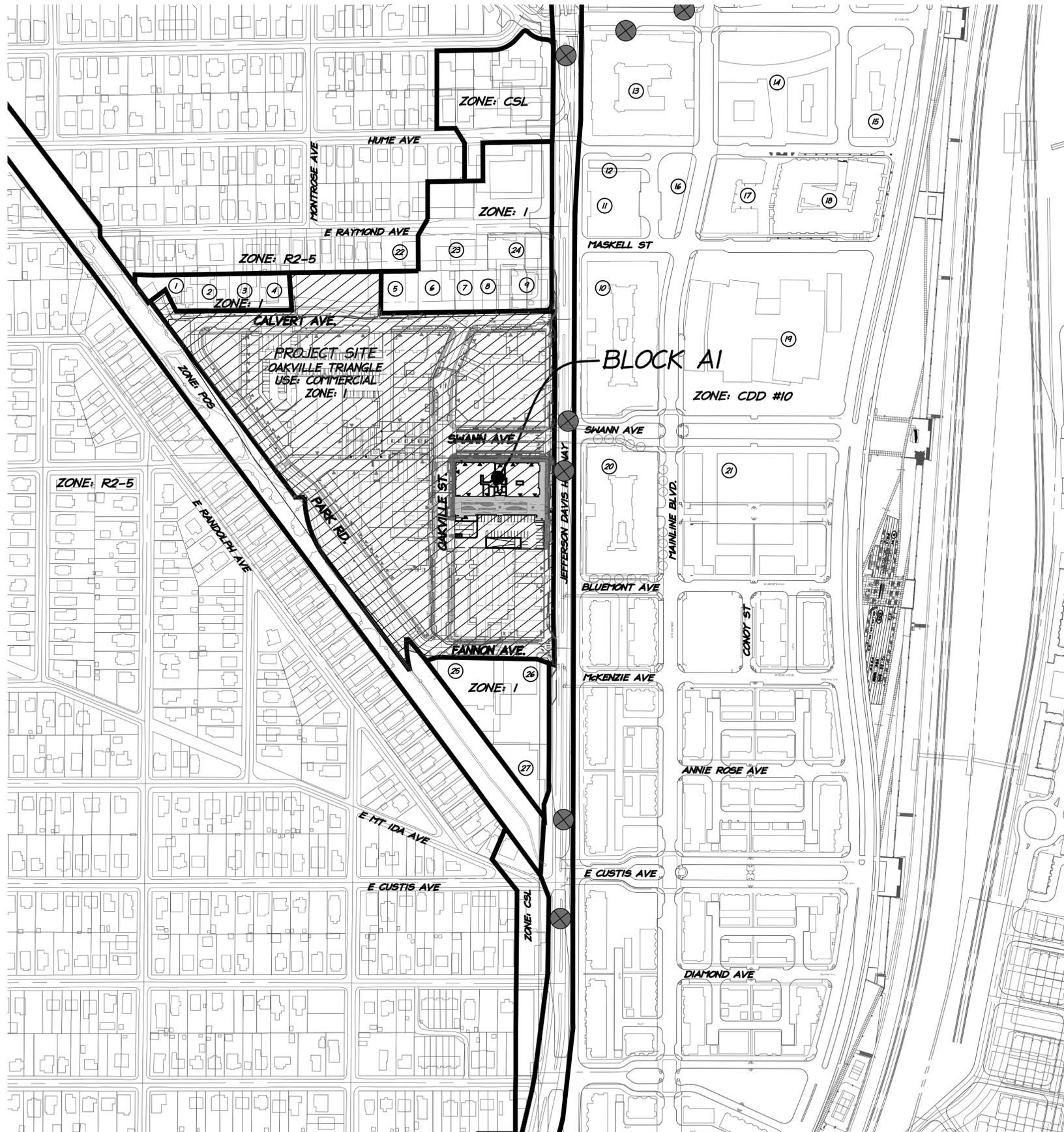
COMMONWEALTH OF VIRGINIA
ELI GOLDMAN
Lic. No. 55868
8/15/2016
PROFESSIONAL ENGINEER

PRELIMINARY SITE PLAN

**BLOCK "A1"
PRELIMINARY PLAN**

CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 14007.400.00
SCALE: 1"=30'
DATE: 08/15/16
DESIGN: EG
DRAWN: JS
CHECKED: EG
SHEET No.
C301
106978



LEGEND

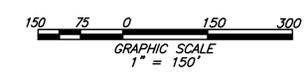
- SITE
- OWNER INFORMATION NUMBER
- BUS STOP (BRT)
- PROPERTY LINE
- STREET CENTER LINE
- ZONING LINE

DATE	REVISION
8-15-16	COMPLETENESS COMMENTS

OWNERSHIP INFORMATION

1. 300 CALVERT STREET LLC
300 CALVERT AVE E
USE: GENERAL COMMERCIAL
ZONE: I
2. MALEY ROBERT C III OR GINA
304 CALVERT AVE
USE: GENERAL COMMERCIAL
ZONE: I
3. BRASWELL HARRY A OR SUE B
308 CALVERT AVE
USE: OFFICE/COMMERCIAL WAREHOUSE
ZONE: I
4. BRASWELL HARRY A OR SUE B
312 CALVERT AVE
USE: OFFICE/COMMERCIAL WAREHOUSE
ZONE: I
5. 410-420 CALVERT AVENUE LLC
410 CALVERT AVE
USE: OFFICE COMMERCIAL WAREHOUSE
ZONE: I
6. 410-420 CALVERT AVENUE LLC
420 CALVERT AVE
USE: OFFICE COMMERCIAL WAREHOUSE
ZONE: I
7. FIRST BAPTIST OF ALEXANDRIA FOUNDATION INC
434 CALVERT AVE
USE: VACANT LANE-INDUSTRIAL
ZONE: I
8. FIRST BAPTIST OF ALEXANDRIA FOUNDATION INC
446 CALVERT AVE
USE: OFFICE/COMMERCIAL WAREHOUSE
ZONE: I
9. TONY'S CORNER LLC
2700 JEFFERSON DAVIS HY
USE: VACANT LAND COMMERCIAL
ZONE: I
10. POTOMAC YARD DEVELOPMENT LLC
2600 MAIN LINE BV
USE: VACANT LAND COMMERCIAL
ZONE: CDD #10
11. STATION AT POTOMAC YARD CONDOMINIUM
2801 JEFFERSON DAVIS HY
USE: CONDO MASTER CARDS
ZONE: CDD #10
12. LBG PARCEL H LLC
601 SEATON AV
USE: VACANT LAND COMMERCIAL
ZONE: CDD #10
13. NOTCH 8 RESIDENTIAL LLC
2900 MAIN LINE BV
USE: MED RISE ELEV (4-65)
ZONE: CDD#10
14. LBG PARCEL E LLC
2901 MAIN LINE BV
USE: VACANT LAND COMMERCIAL
ZONE: CDD #10
15. LBG PARCEL B LLC
2900 POTOMAC AV
USE: VACANT LAND COMMERCIAL
ZONE: CDD #10
16. POTOMAC YARD HOMEOWNERS ASSOCIATION INC
2802 MAIN LINE BV
USE: VACANT LAND COMMERCIAL
ZONE: CDD #10
17. GATEWAY RESIDENCES AT EXCHANGE LLC
701 SEATON AV
USE: MED RISE ELEV (4-65)
ZONE: CDD #10
18. GATEWAY RESIDENCES AT EXCHANGE LLC
731 SEATON AV
USE: MED RISE ELEV (4-65)
ZONE: CDD #10
19. POTOMAC YARD DEVELOPMENT LLC
2601 MAIN LINE BV
USE: VACANT LAND COMMERCIAL
ZONE: CDD #10
20. POTOMAC YARD APARTMENTS LLC
2500 MAIN LINE BV
USE: MED RISE ELEV (4-65)
ZONE: CDD #10
21. POTOMAC YARD DEVELOPMENT LLC
MAIN LINE BV
USE: VACANT LAND-RESID
ZONE: CDD #10
22. POTOMAC FLATS CONDOMINIUM
409 E RAYMOND AV
USE: CONDO MASTER CARDS
ZONE: R 2-5
23. SKINKER THOMAS C AND MARJORIE B TR
415 E RAYMOND AV
USE: OFFICE/COMMERCIAL WAREHOUSE
ZONE: I
24. TONY'S CORNER LLC
2706 JEFFERSON DAVIS HY
USE: SUB-PARCEL
ZONE: I
25. ALEXANDRIA DEPOT INC
405 FANNON ST
USE: OFFICE/COMMERCIAL WAREHOUSE
ZONE: I
26. FANNON FRANCIS H III FEENEY MARY
2320 JEFFERSON DAVIS HY
USE: REPAIR SERVICES
ZONE: I

NOTE:
 1.) TRANSIT STOPS FOR THE BRT ARE LOCATED IN THE MIDDLE OF ROUTE 1.
 2.) THE PROPOSED COMPLETE STREET TYPOLOGY FOR THE FOLLOWING STREETS ARE:
 SWANN AVENUE: MIXED-USE BOULEVARD
 OAKVILLE STREET: MAIN STREET
 PARK ROAD: PARK ROAD
 CALVERT AVENUE: NEIGHBORHOOD CONNECTOR
 FANNON AVENUE: NEIGHBORHOOD CONNECTOR



**ESI
PEER REVIEW**

APPROVED
 SPECIAL USE PERMIT NO. 2015-00026
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHARMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NO: 14007.400.00
 SCALE: 1"=150'
 DATE: 08/15/16
 DESIGN: EG
 DRAWN: JS
 CHECKED: EG
 SHEET No.

C500
106978

christopher consultants
 9900 main street (suite 400) · Fairfax, VA 22031
 phone 703.273.6820 · fax 703.273.6820

CONTEXTUAL PLAN

BLOCK "AI" PRELIMINARY PLAN

CITY OF ALEXANDRIA, VIRGINIA

COMMONWEALTH OF VIRGINIA
 ELI GOLDMAN
 Lic. No. 55868
 8/15/2016
 PROFESSIONAL ENGINEER

EXISTING CONDITION SITE NARRATIVE

THE PRELIMINARY INFRASTRUCTURE (CDD #2014-0002) IS 12.86 ACRES (EXCLUDING RIGHT-OF-WAYS) AND IS A LIGHT INDUSTRIAL PARK CONSISTING OF A VARIETY OF USES. THE SITE IS LOCATED ON THE WEST SIDE OF ROUTE 1, BETWEEN FANNON STREET AND CALVERT AVENUE, WITH MOUNT JEFFERSON PARK ON THE WEST BOUNDARY.

REVIEW OF EXISTING TOPOGRAPHY INDICATES THAT THE PROPERTY DRAINS TO THE NORTH AND TO THE EAST. THE NORTHWEST PORTION OF THE SITE DRAINS TO EXISTING STORM STRUCTURE #220 (REFER TO SHEET C300 FOR LOCATION) AND THEN OFFSITE TO THE NORTH. SOME OF THE EXISTING BUILDINGS ALONG THE WEST DRAIN DIRECTLY TO MOUNT JEFFERSON PARK. THE REST OF THE SITE, INCLUDING THIS PROJECT (BLOCK A1) DRAINS TO THE STORM SYSTEM IN ROUTE 1, TOWARDS POTOMAC YARD.

THERE ARE NO RESOURCE PROTECTION AREAS ON THIS PROPERTY.

PROPOSED CONDITION SITE NARRATIVE

THIS PROJECT (BLOCK A1) PROPOSES AN OFFICE BUILDING WITH GROUND FLOOR RETAIL. THERE WILL BE TWO LEVELS OF BELOW GRADE GARAGE WITH A HYDRODYNAMIC SEPARATOR AND A SWM DETENTION VAULT. THE STREETSCAPES FRONTING BLOCK A1 WILL ALSO BE CONSTRUCTED WITH THIS PHASE.

WATER QUALITY TREATMENT (BMP) NARRATIVE

TO COMPLY WITH THE CHESAPEAKE BAY ACT (CBA) AND ARTICLE XIII OF THE ZONING ORDINANCE, THE PROJECT WILL PROVIDE WATER QUALITY TREATMENT THROUGH THE USE OF HYDRODYNAMIC SEPARATORS AND SWM DETENTION VAULT. BOTH DEVICES WILL BE FINALIZED WITH THE FINAL SITE PLAN.

REFER TO THE OAKVILLE STORMWATER MANAGEMENT MASTER PLAN FOR OVERALL, PHASE 1, AND PHASE 2 STORMWATER MANAGEMENT COMPLIANCE.

SITE AREA

THE LIMITS OF THE BMP ANALYSIS WILL BE DA "B" (SEE SHEET C701). THE AREA WITHIN THESE LIMITS IS 1.32 ACRES. THIS AREA WILL BE USED FOR COMPUTING THE STATE AND CITY BMP REQUIREMENT.

REFER TO THE OAKVILLE STORMWATER MANAGEMENT MASTER PLAN FOR OVERALL, PHASE 1, AND PHASE 2 BMP DRAINAGE AREAS.

WQV TREATMENT

THE WQV TO BE TREATED AS PER THE CITY OF ALEXANDRIA SUPPLEMENT TO THE NORTHERN VIRGINIA BMP HANDBOOK IS 1816 CU FT/ ACRE OF IMPERVIOUS SURFACE. THEREFORE WQV REQUIRED = 1.20 x 1816 = 2,179 CU FT.

BMP TREATMENT PROVIDED

FOR THIS PROJECT, 1.20 AC OF ON-SITE IMPERVIOUS COVER IS TREATED WITH THE BMP HYDRODYNAMIC SEPARATORS.

STORM WATER MANAGEMENT / BEST MANAGEMENT PRACTICES NARRATIVE

BEST MANAGEMENT PRACTICES (BMP) - STORMWATER QUALITY

TO MEET THE STATE REQUIREMENTS FOR STORMWATER QUALITY, THE VIRGINIA RUNOFF REDUCTION METHOD SPREADSHEET FOR RE-DEVELOPMENT MUST BE FILLED OUT AND MEET ALL POLLUTANT LOAD REDUCTION REQUIREMENTS. THE CITY REQUIREMENT IS MORE STRINGENT IN THIS CASE, THE ENTIRE SITE'S WATER QUALITY VOLUME (WQV) NEEDS TO BE TREATED (13-104-E-1). SINCE THERE IS A NET DECREASE IN IMPERVIOUS AREA FOR THE SITE (BLOCK A1), A 20% REDUCTION OF PHOSPHORUS FROM THE PRE-DEVELOPMENT LOAD WILL BE REQUIRED TO BE MET. THE SITE IS BEING DESIGNED TO CAPTURE AND TREAT AS MUCH WATER AS POSSIBLE WITH HYDRODYNAMIC SEPARATORS AND SWM DETENTION VAULT.

STORMWATER QUANTITY (CHANNEL PROTECTION / FLOOD PROTECTION)

REFER TO SHEETS C702 FOR NARRATIVE AND COMPUTATIONS.

VIRGINIA VRRM SPREADSHEET DRAINAGE AREAS

THE FOLLOWING DRAINAGE AREAS WERE USED TO FOR THE VRRM SPREADSHEET: - DA B: OUTFALL 2

SITE DATA: BLOCK A1

Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014

To be used w/ DRAFT 2013 BMP Standards and Specifications

Site Data

Project Name: Oakville - Phase 1 - Block A1
Date: 8/7/16

data input cells
calculation cells
constant values

Post-ReDevelopment Project & Land Cover Information Total Disturbed Acreage 1.32

Constants

Annual Rainfall (inches)	43	
Target Rainfall Event (inches)	1.00	
Phosphorus EMC (mg/L)	0.26	Nitrogen EMC (mg/L) 1.86
Target Phosphorus Target Load (lb/acre/yr)	0.41	
Pj	0.90	

Pre-ReDevelopment Land Cover (acres)		A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land		0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed		0.00	0.00	0.00	0.04	0.04
Impervious Cover (acres)		0.00	0.00	0.00	1.28	1.28
Total						1.32

Post-ReDevelopment Land Cover (acres)		A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land		0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed		0.00	0.00	0.00	0.12	0.12
Impervious Cover (acres)		0.00	0.00	0.00	1.20	1.20
Total						1.32

Area Check Okay Okay Okay Okay

Rv Coefficients		A Soils	B Soils	C Soils	D Soils
Forest/Open Space		0.02	0.03	0.04	0.05
Managed Turf		0.15	0.20	0.22	0.25
Impervious Cover		0.95	0.95	0.95	0.95

Land Cover Summary		Listed	Adjusted ¹	Land Cover Summary	
Pre-ReDevelopment				Post-ReDevelopment	
Forest/Open Space Cover (acres)		0.00	0.00	Forest/Open Space Cover	0.00
Composite Rv(forest)		0.00	0.00	Composite Rv(forest)	0.00
% Forest		0%	0%	% Forest	0%
Managed Turf Cover (acres)		0.04	0.04	Managed Turf Cover (acres)	0.12
Composite Rv(turf)		0.25	0.25	Composite Rv(turf)	0.25
% Managed Turf		3%	3%	% Managed Turf	9%
Impervious Cover (acres)		1.28	1.28	ReDev Impervious Cover (acres)	1.20
Rv(impervious)		0.95	0.95	Rv(impervious)	0.95
% Impervious		97%	97%	% Impervious	91%
Total Site Area (acres)		1.32	1.32	Total ReDev. Site Area (acres)	1.32
Site Rv		0.93	0.93	ReDev. Site Rv	0.89
Pre-Development Treatment Volume (acre-ft)		0.1022	0.1022	Post-Development Treatment Volume (acre-ft)	0.0000
Pre-Development Treatment Volume (cubic feet)		4,450	4,450	Post-Development Treatment Volume (cubic feet)	0
Pre-Development Load (TP) (lb/yr)		2.80	2.80	Post-Development Load (TP) (lb/yr)	2.67

¹Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column 1.

Maximum % Reduction Required Below Pre-ReDevelopment Load 20%

TP Load Reduction Required for Redeveloped Area (lb/yr) 0.43

Total Load Reduction Required (lb/yr) 0.43

Pre-Development Load (TN) (lb/yr) 20.00 Post-Development Load (TN) (lb/yr) 19.09

WATER QUALITY SUMMARY: BLOCK A1

Site Results

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	0.00	1.20	0.00	0.00	0.00	OK
IMPERVIOUS COVER TREATED	0.00	1.19	0.00	0.00	0.00	OK
TURF AREA	0.00	0.12	0.00	0.00	0.00	OK
TURF AREA TREATED	0.00	0.12	0.00	0.00	0.00	OK
AREA CHECK	OK	OK	OK	OK	OK	OK

Phosphorous

TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR) 0.43

RUNOFF REDUCTION (cf) 0

PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR) 0.53

ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr) 2.14

REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0.1 LB/YEAR!!

Nitrogen (for information purposes)

RUNOFF REDUCTION (cf) 0

NITROGEN LOAD REDUCTION ACHIEVED (LB/YR) 0.00

ADJUSTED POST-DEVELOPMENT NITROGEN LOAD (TP) (lb/yr) 19.09

Miscellaneous Information

Total WQV treated yes no

Detention on Site yes no

Project is within which watershed? FOUR MILE RUN / POTOMAC RIVER

Project Discharges to which body of water? FOUR MILE RUN / POTOMAC RIVER

WQVD CALCULATIONS

REQUIRED = (1816 CU FT/ACRE) * (1.20 ACRES) = 2,179 CU FT

NOT CAPTURED WQVD = 0.00 CU FT

IMPERVIOUS AREA COVERAGE

TOTAL IMPERVIOUS AREA = 1.20 ACRES

TOTAL IMPERVIOUS AREA AREA TREATED TREATED = 1.20

NOTE: THIS PLAN PROPOSES A HYDRODYNAMIC SEPARATOR FOR STORMWATER QUALITY TREATMENT AND A STORMWATER VAULT FOR STORMWATER QUANTITY CONTROL. BOTH DEVICES WILL BE LOCATED IN THE GARAGE OF BLOCK A1.

THIS PLAN IS PART OF THE 'PHASE 1' BMP & SWM COMPUTATIONS. REFER TO THE OAKVILLE STORMWATER MANAGEMENT MASTER PLAN FOR COMPLETE BMP & SWM COMPUTATIONS.

PORTIONS OF THE 'PHASE 1' PLAN ARE BEING PROPOSED AND APPROVED IN SEPARATE DSUPs AND FINAL SITE PLANS, BUT WILL ALL BE CONSTRUCTED AS A SINGLE PHASE. THE 'PHASE 2' PORTION WILL BE CONSTRUCTED SEPARATE FROM THE 'PHASE 1' AT A LATER DATE.

SITE DATA SUMMARY: BLOCK A1

Site Data Summary

Total Rainfall = 43 inches

Print

Site Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Turf (acres)	0.00	0.00	0.00	0.12	0.12	9.09
Impervious (acres)	0.00	0.00	0.00	1.20	1.20	90.91
Total					1.32	100.00

Site Rv	0.89
Post Development Treatment Volume (ft ³)	4247
Post Development TP Load (lb/yr)	2.67
Post Development TN Load (lb/yr)	19.09
Total TP Load Reduction Required (lb/yr)	0.43

Total Runoff Volume Reduction (ft ³)	0
Total TP Load Reduction Achieved (lb/yr)	1
Total TN Load Reduction Achieved (lb/yr)	0.00
Adjusted Post Development TP Load (lb/yr)	2.14
Remaining Phosphorous Load Reduction (lb/yr) Required	0.00

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Turf (acres)	0.00	0.12	0.00	0.00	0.00	0.12
Impervious (acres)	0.00	1.20	0.00	0.00	0.00	1.20
Total						1.32

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Red. (lb/yr)	0.00	0.53	0.00	0.00	0.00	0.53
TN Load Red. (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

ESI PEER REVIEW

APPROVED
SPECIAL USE PERMIT NO. 2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT SITE (BLOCK A1) RUNOFF COMPUTATIONS:

PRE-DEVELOPMENT
A = 1.32 ACRES
C = (0.04)(0.35) + (1.28)(0.90)
C = 1.32
T = 5 MINUTES
I_s = 6.2 INCHES/HOUR
I_w = 9.0 INCHES/HOUR
Q₂ = (0.88)(6.2)(1.32) = 7.20 CFS
Q₀ = (0.88)(9.0)(1.32) = 10.45 CFS

POST-DEVELOPMENT
A = 1.32 ACRES
C = (0.12)(0.35) + (1.20)(0.90)
C = 1.32
T_c = 5 MINUTES
I_s = 6.2 INCHES/HOUR
I_w = 9.0 INCHES/HOUR
Q₂ = (0.85)(6.2)(1.32) = 6.96 CFS
Q₀ = (0.84)(9.0)(1.32) = 10.10 CFS

NET DECREASE IN RUNOFF
Q₂ = 7.20 CFS - 6.96 CFS = 0.24 CFS
Q₀ = 10.45 CFS - 10.10 CFS = 0.35 CFS



SWM WATER QUALITY (BLOCK A1)

BLOCK "A1" PRELIMINARY PLAN

CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 14007.400.00
SCALE: N/A
DATE: 08/15/16
DESIGN: EG
DRAWN: JS
CHECKED: EG
SHEET No. C700
106978



COOPER CARRY

THE CENTER FOR CONNECTIVE ARCHITECTURE

625 North Washington Street
Suite 200
Alexandria, VA 22314
(703) 519-6152
coopercarry.com

ATLANTA NEW YORK WASHINGTON

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SCOPE DOCUMENTS
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

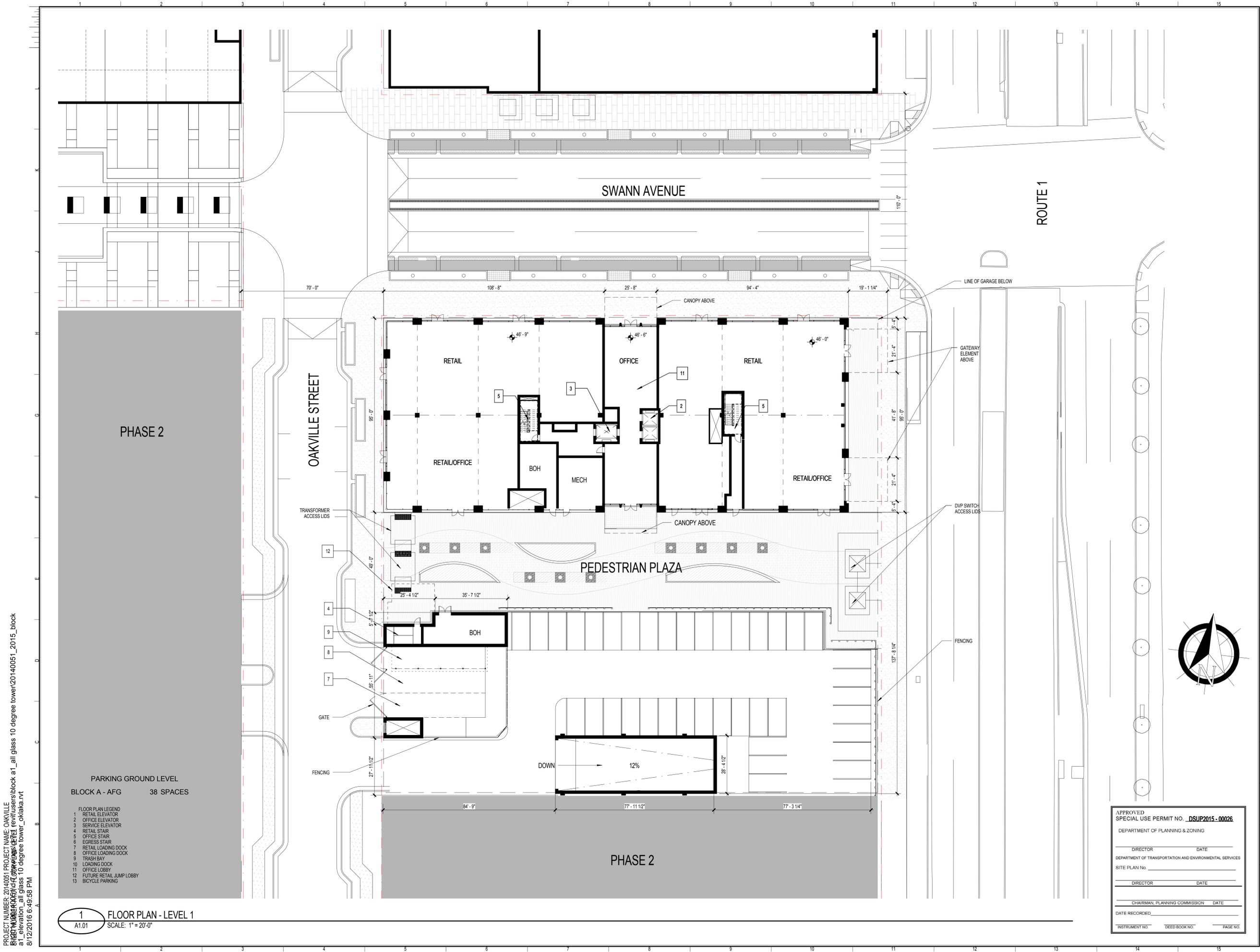
ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 1

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.01

NOT ISSUED FOR CONSTRUCTION



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - AFG 38 SPACES
DATE: 8/12/2016 6:49:58 PM
DRAWN BY: [Name]
CHECKED BY: [Name]
REVISED BY: [Name]

PARKING GROUND LEVEL
BLOCK A - AFG 38 SPACES

- 1 FLOOR PLAN LEGEND
- 2 RETAIL ELEVATOR
- 3 OFFICE ELEVATOR
- 4 SERVICE ELEVATOR
- 5 RETAIL STAIR
- 6 OFFICE STAIR
- 7 EGRESS STAIR
- 8 RETAIL LOADING DOCK
- 9 OFFICE LOADING DOCK
- 10 TRASH BAY
- 11 LOADING DOCK
- 12 OFFICE LOBBY
- 13 FUTURE RETAIL JUMP LOBBY
- 14 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 1
A1.01 SCALE: 1" = 20'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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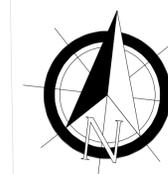
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

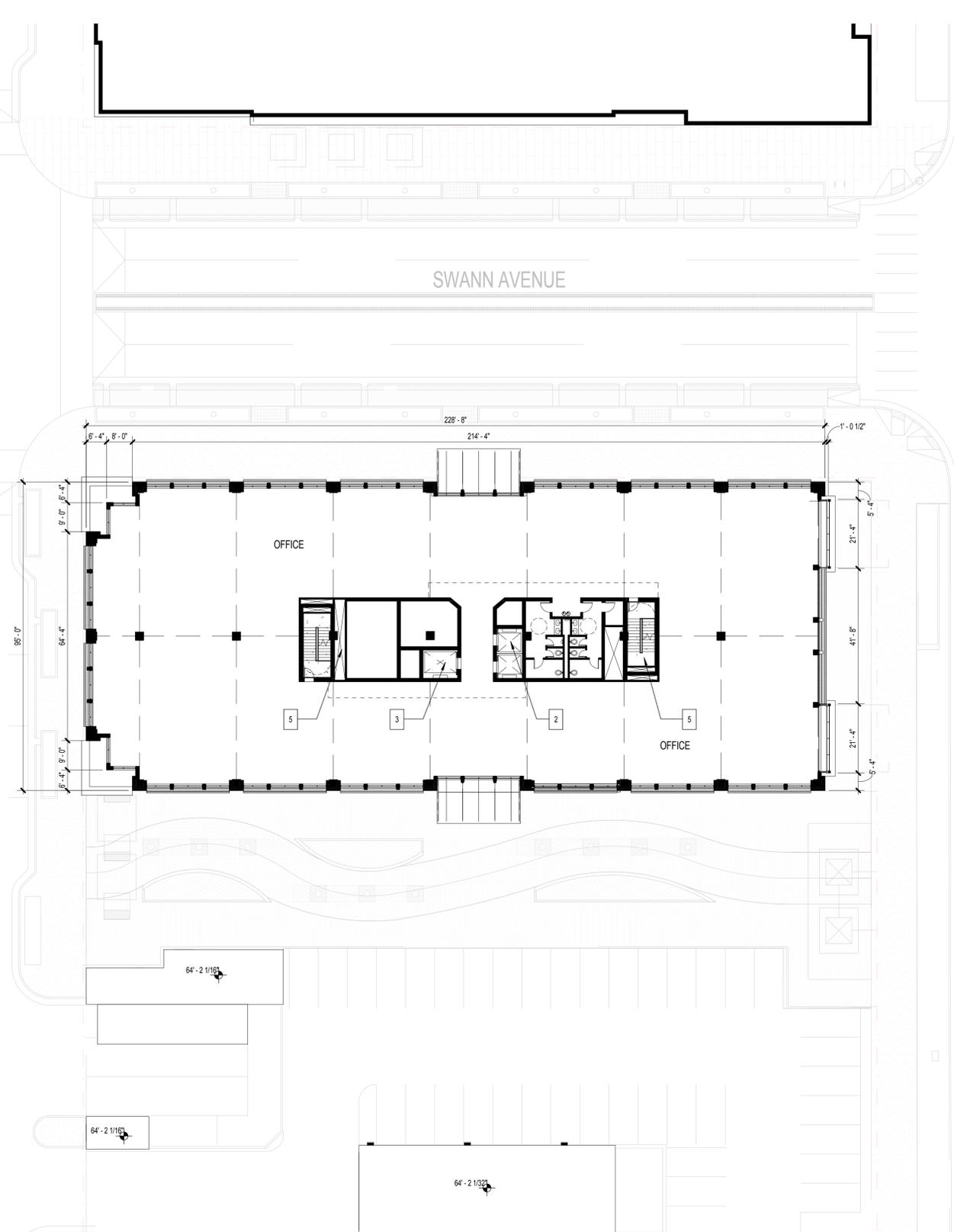
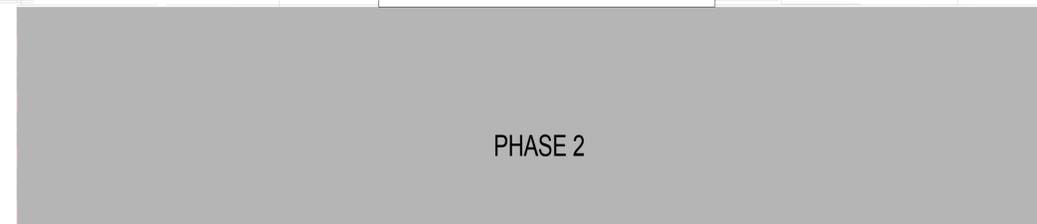
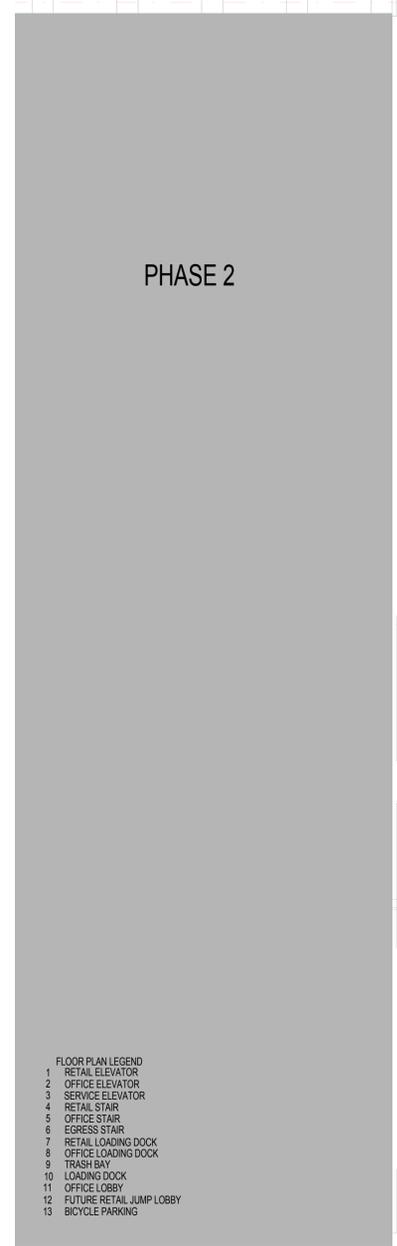
ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 2

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.02

NOT ISSUED FOR CONSTRUCTION



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
BLOCK A1 - COMPLETENESS II PLAN
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:50:12 PM

- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 2
A1.02 SCALE: 1" = 20'-0"



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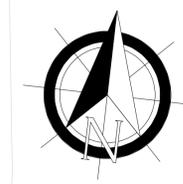
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 3

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.03

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

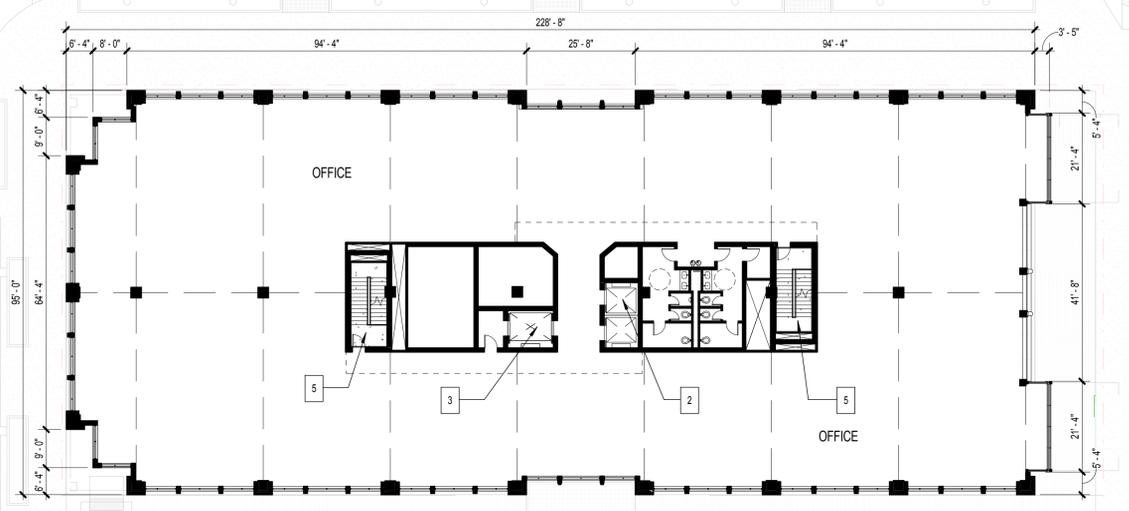
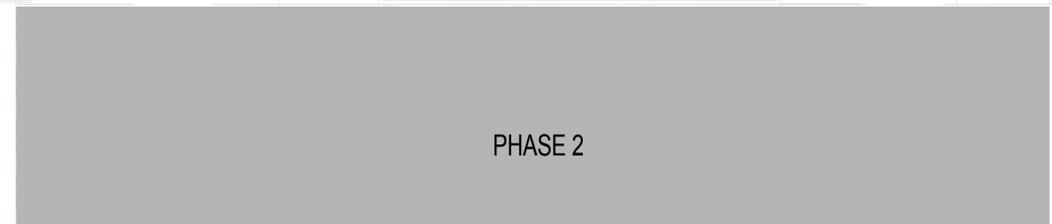
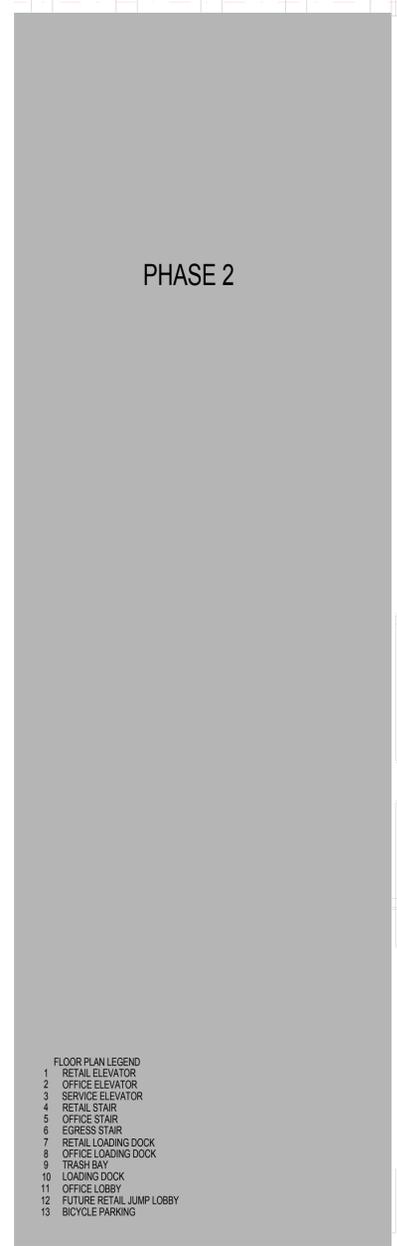
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 DEPARTMENT OF PLANNING & ZONING SITE PLAN NO. DSUP2015-00026
at_1_elevation_all glass 10 degree tower_oklaka.rvt
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1 FLOOR PLAN - LEVEL 3
A1.03 SCALE: 1" = 20'-0"



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No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



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OAKVILLE

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ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 4

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.04

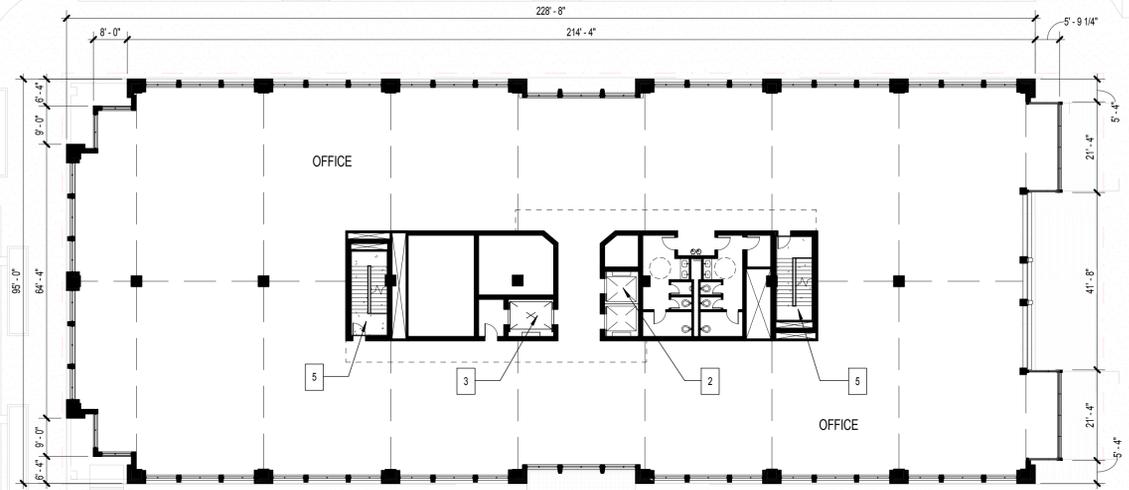
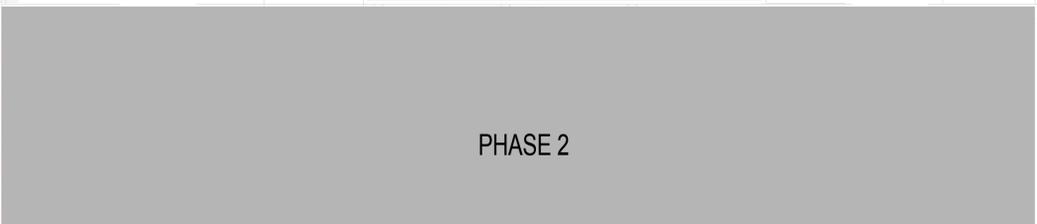
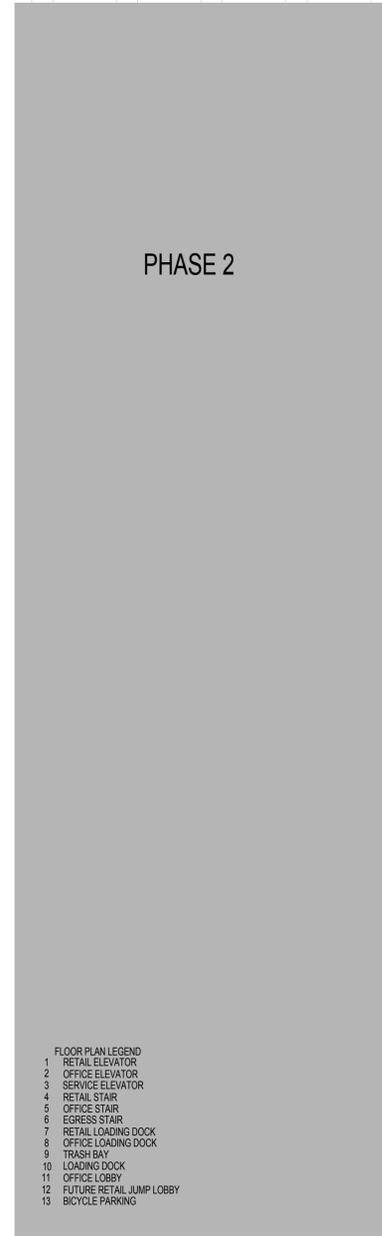
APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

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DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 4
A1.04 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
BLOCK A1 - COMPLETENESS II PLAN
at_1_elevation_all glass 10 degree tower_okiaka.rvt
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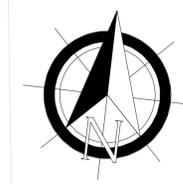
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2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



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OAKVILLE

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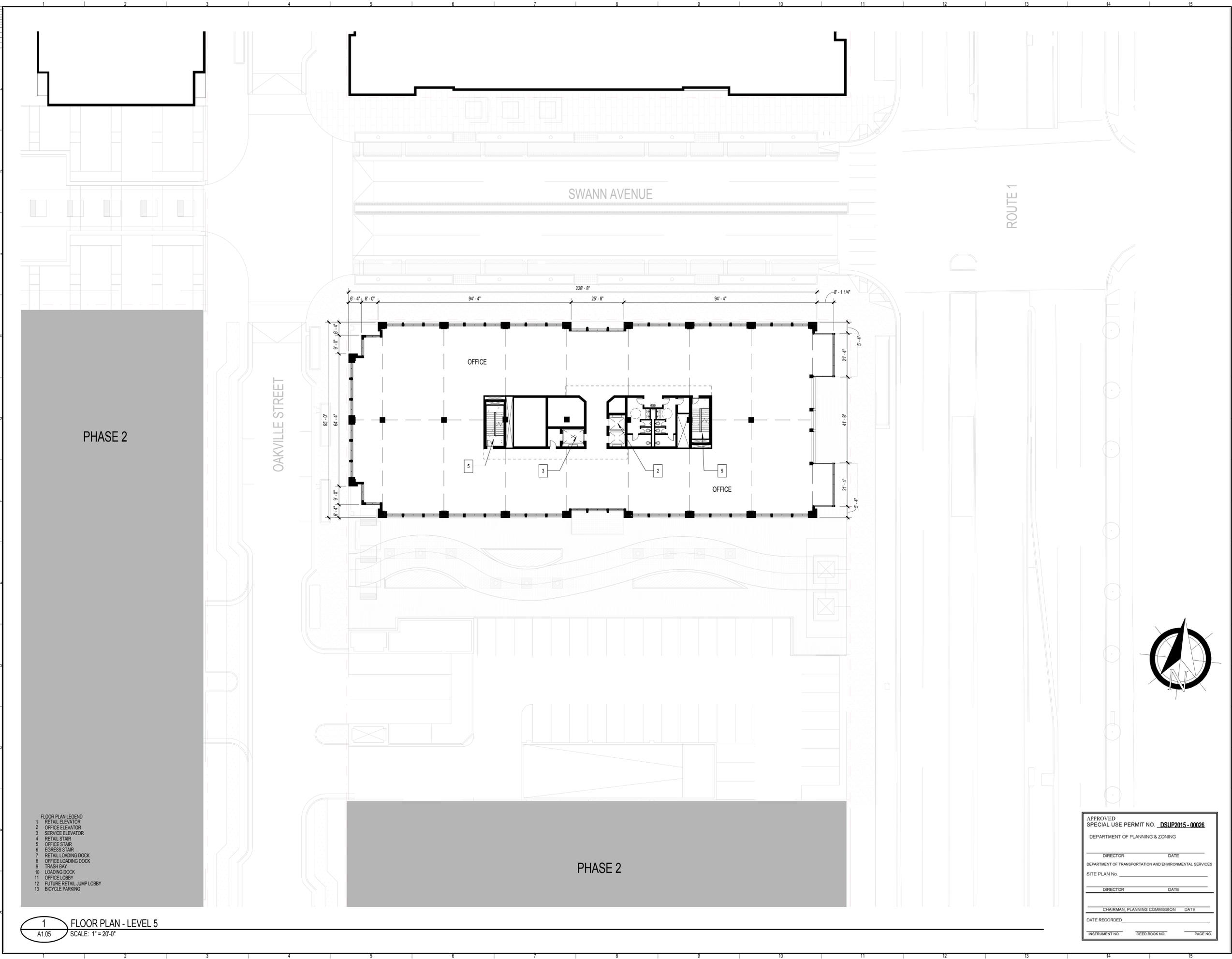
ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 5

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.05

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- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 5
A1.05 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
BLOCK A1 - COMPLETENESS II PLAN
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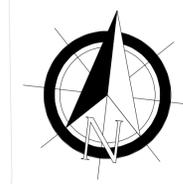
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No.	Drawing Issue Description	Date
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2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



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OAKVILLE

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ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 6

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.06

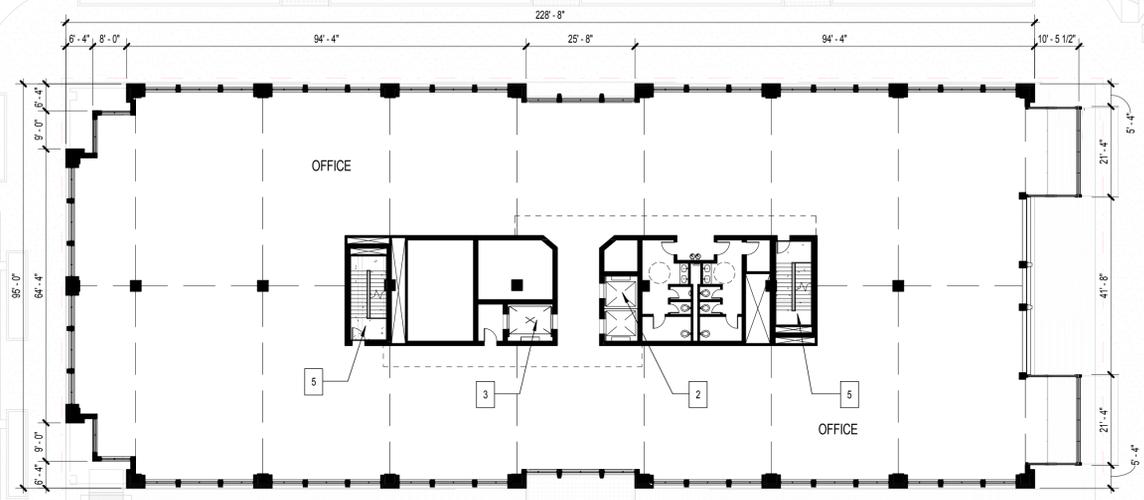
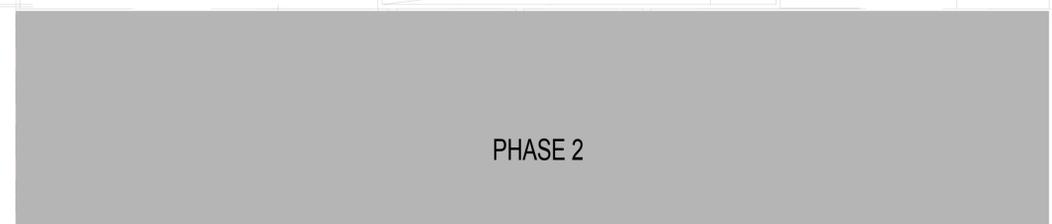
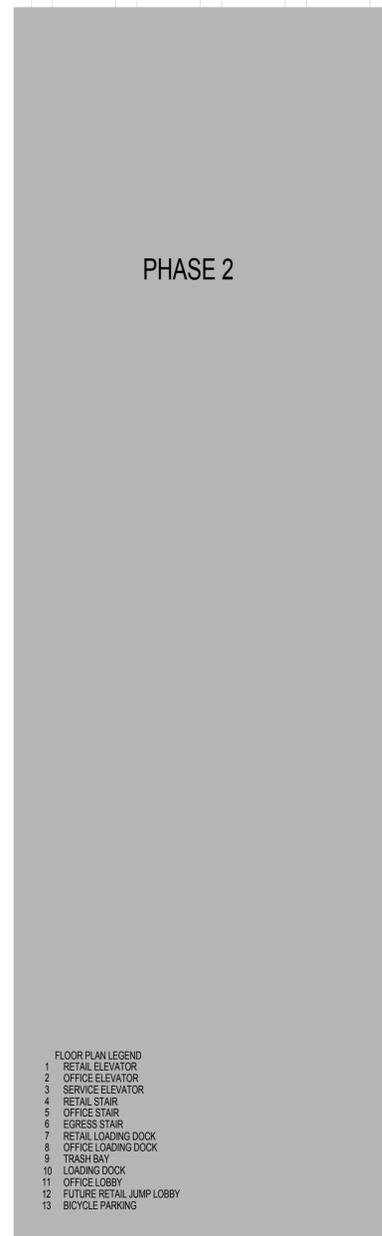
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SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 6
A1.06 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
BLOCK A1 - COMPLETENESS II PLAN
at_1_elevation_all glass 10 degree tower_okiaka.rvt
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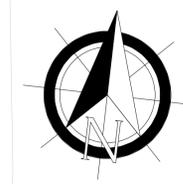
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1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
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3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



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ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 7

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

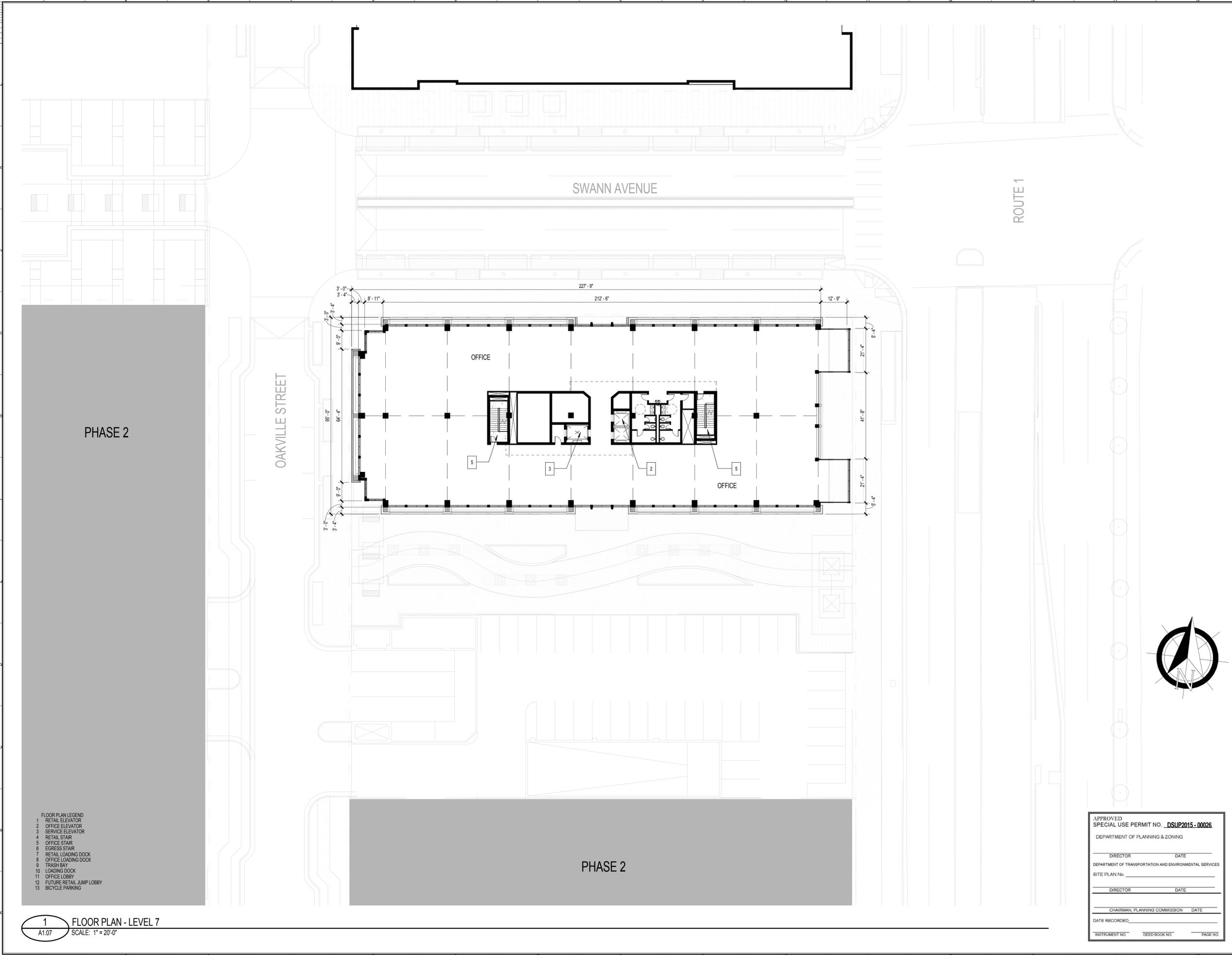
A1.07

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II AND CONCEPT III REVIT/USERS/BLOCK A1 - ALL GLASS 10 DEGREE TOWER/20140051_2015_BLOCK
A1 - elevation_all glass 10 degree tower_oklaka.rvt
8/12/2016 6:50:58 PM

- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 7
A1.07 SCALE: 1" = 20'-0"



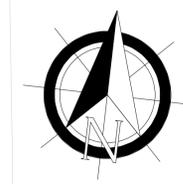


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No.	Drawing Issue Description	Date
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2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



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FLOOR PLAN - ROOF LEVEL

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DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.08

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 ELEVATION: 10 DEGREE TOWER
8/12/2016 6:51:02 PM

1 FLOOR PLAN - ROOF LEVEL
A1.08 SCALE: 1" = 20'-0"

PHASE 2

PHASE 2

SWANN AVENUE

ROUTE 1

OAKVILLE STREET

145 - 2 1/32"

ENCLOSED MECHANICAL PENTHOUSE

OPEN PENTHOUSE

LOBBY

MECH

MECH

WC

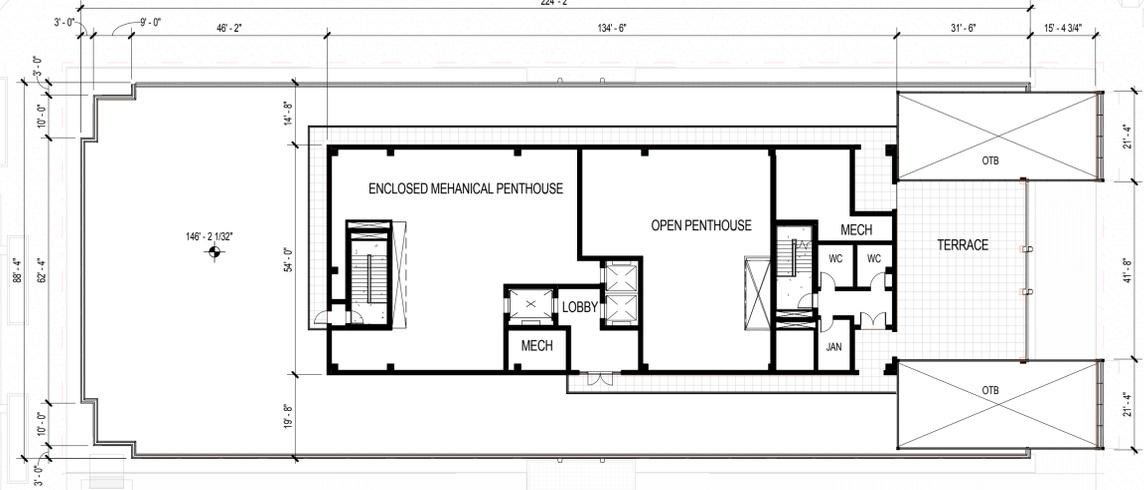
WC

JAN

TERRACE

OTB

OTB



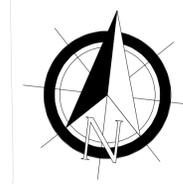


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3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



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ALEXANDRIA, VIRGINIA

FLOOR PLAN - ROOF PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.09

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
Block A1 - elevation_all glass 10 degree tower_2015_block
at_1_elevation_all glass 10 degree tower_oklaka.rvt
8/12/2016 7:38:33 PM

1 FLOOR PLAN - ROOF PLAN
A1.09 SCALE: 1" = 20'-0"

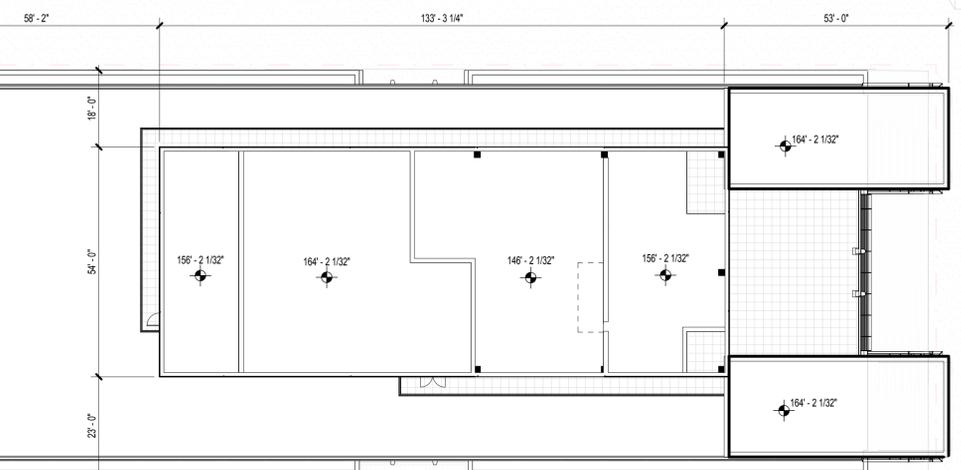
PHASE 2

PHASE 2

SWANN AVENUE

OAKVILLE STREET

ROUTE 1





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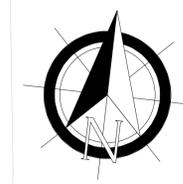
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3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



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OAKVILLE

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ALEXANDRIA, VIRGINIA

FLOOR PLAN - GARAGE LEVEL 1

1

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.10

NOT ISSUED FOR CONSTRUCTION

PHASE 2

PARKING GARAGE LEVEL 1
GARAGE LEVEL 1 107 SPACES

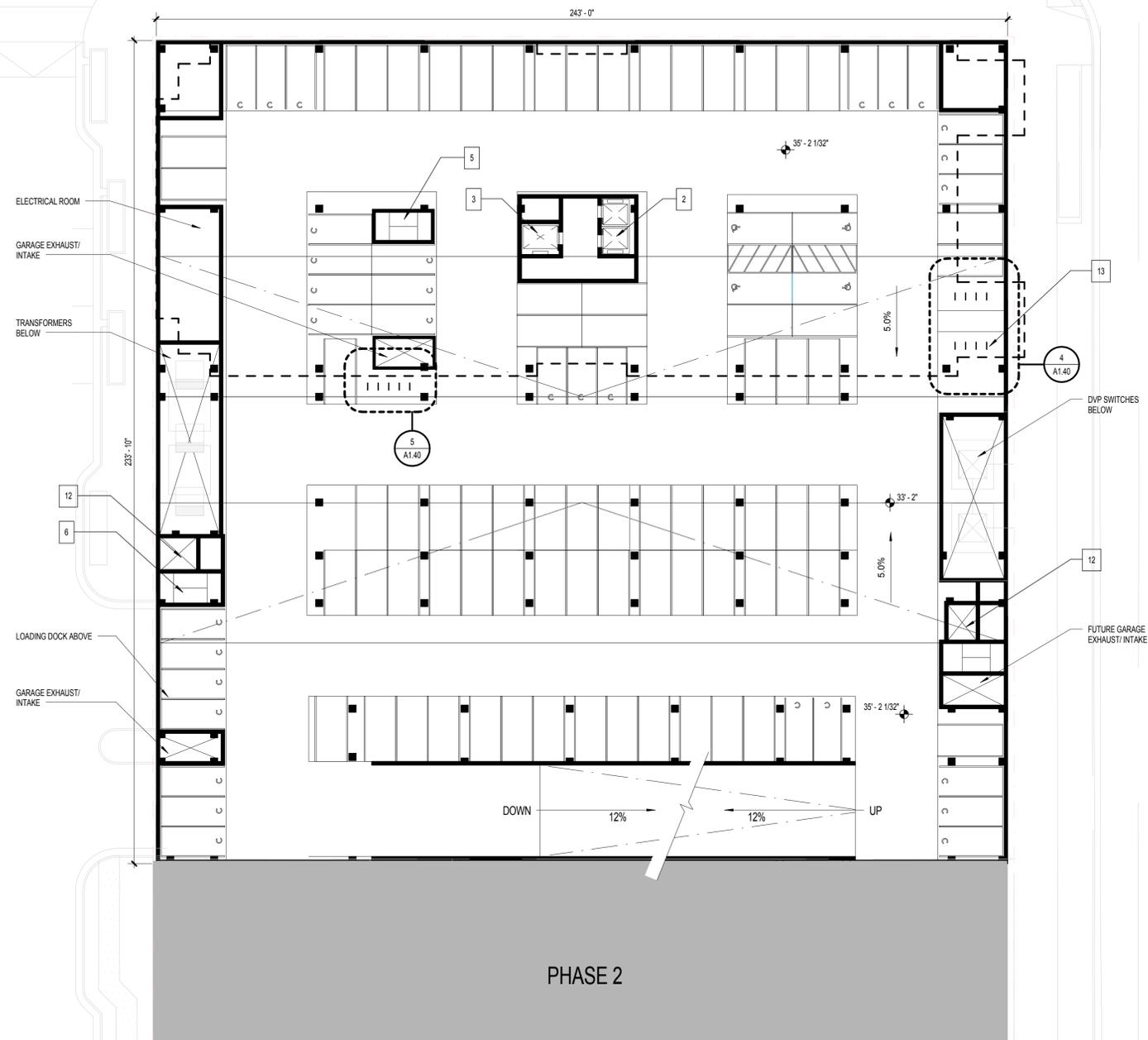
FLOOR PLAN LEGEND

- 1 RETAIL ELEVATOR
- 2 OFFICE ELEVATOR
- 3 SERVICE ELEVATOR
- 4 RETAIL STAIR
- 5 OFFICE STAIR
- 6 EXPRESS STAIR
- 7 RETAIL LOADING DOCK
- 8 OFFICE LOADING DOCK
- 9 TRASH BAY
- 10 LOADING DOCK
- 11 OFFICE LOBBY
- 12 FUTURE RETAIL JUMP LOBBY
- 13 BICYCLE PARKING

OAKVILLE STREET

SWANN AVENUE

ROUTE 1



PHASE 2

1 FLOOR PLAN - GARAGE LEVEL 1
A1.10 SCALE: 1" = 20'-0"

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SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 RETAIL GARAGE LEVEL 1
at_1_elevation_all glass 10 degree tower_okiaka.nt
8/12/2016 6:51:16 PM



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No.	Drawing Issue Description	Date
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2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

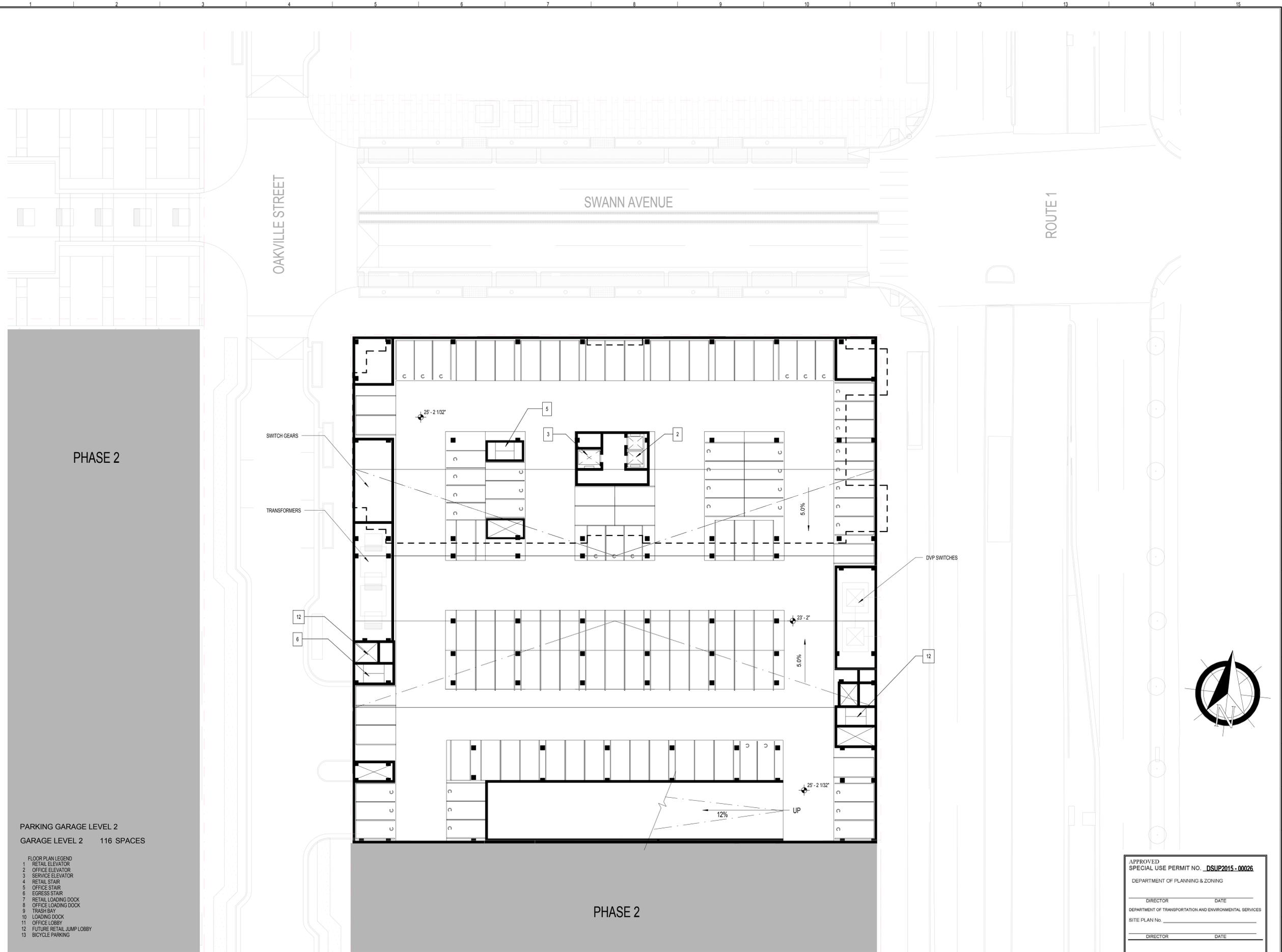
ALEXANDRIA, VIRGINIA

FLOOR PLAN - GARAGE LEVEL 2

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.11

NOT ISSUED FOR CONSTRUCTION



PARKING GARAGE LEVEL 2
GARAGE LEVEL 2 116 SPACES

- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - GARAGE LEVEL 2
A1.11 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
DATE: 08/15/16
DRAWN BY: ABBEY OKLAK
CHECKED BY: LAYTON GOLDING
DATE: 8/12/2016 6:51:24 PM

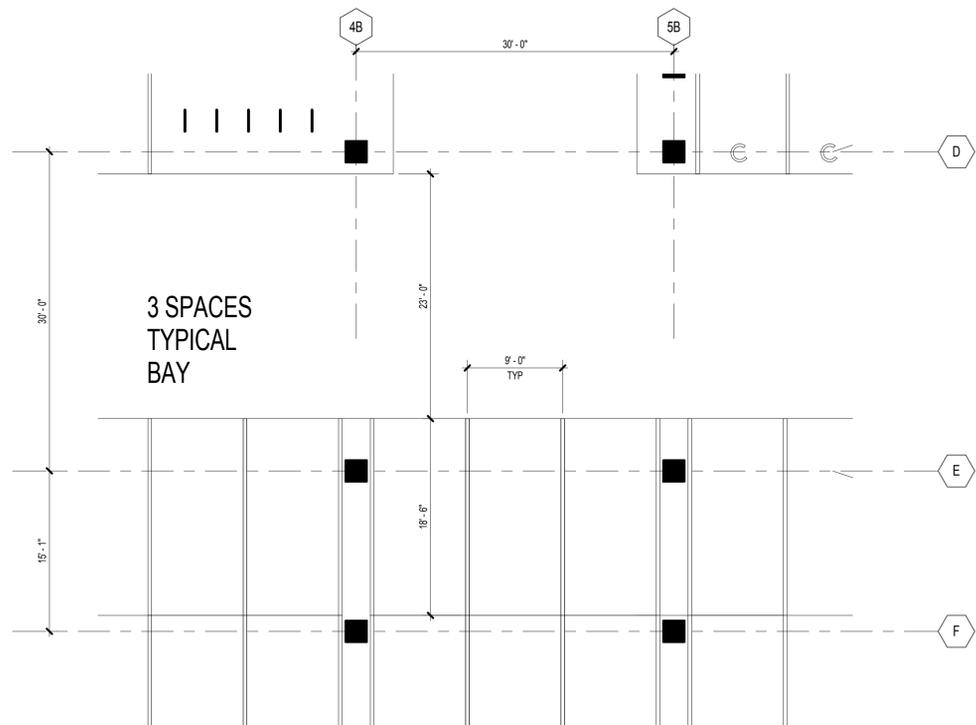


SCOPE DOCUMENTS

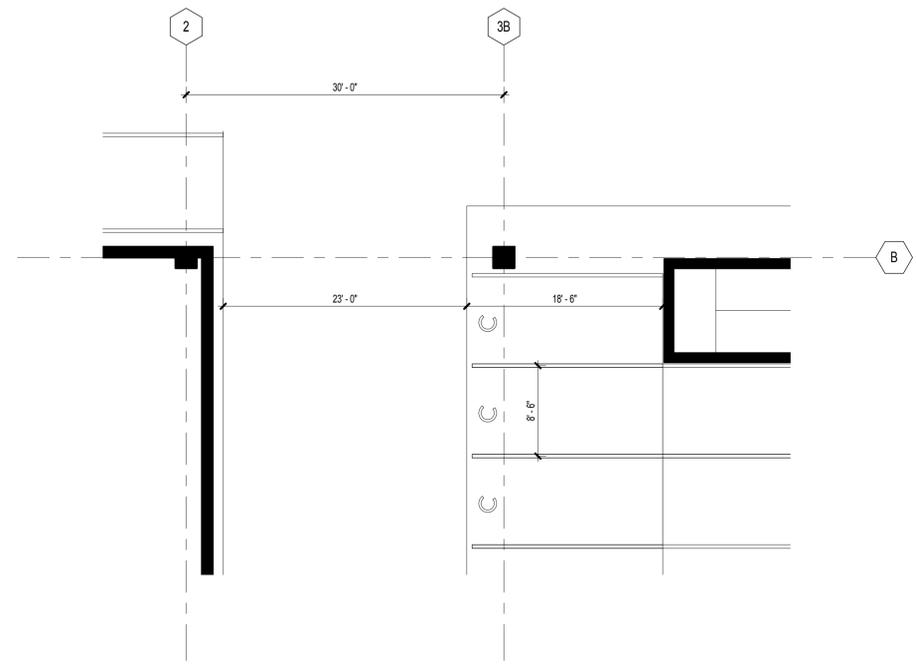
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ISSUANCES

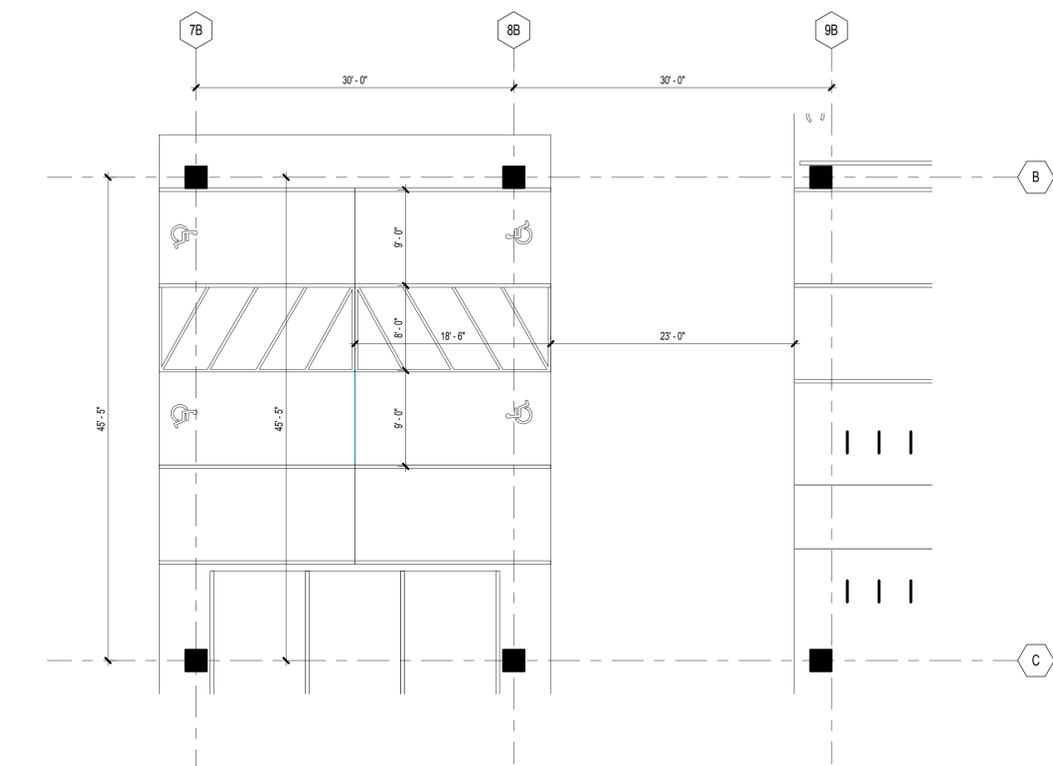
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



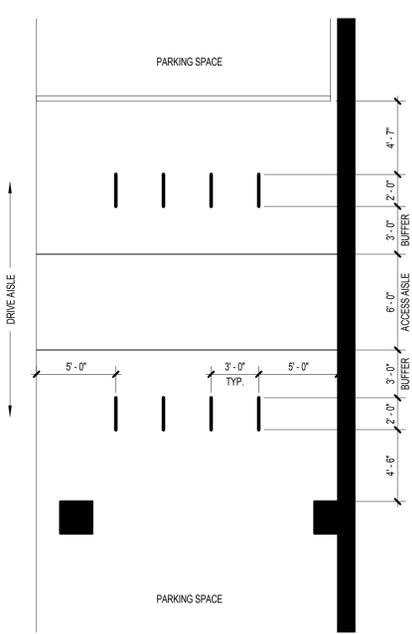
1 TYPICAL PARKING SPACES
A1.40 SCALE: 1/8" = 1'-0"



3 COMPACT PARKING SPACES
A1.40 SCALE: 1/8" = 1'-0"

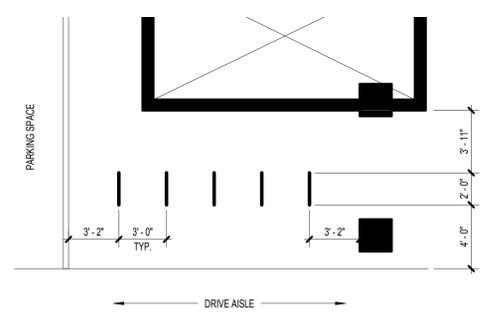


2 ADA PARKING SPACES
A1.40 SCALE: 1/8" = 1'-0"



4 BICYCLE PARKING - GARAGE LEVEL 1 - EAST
A1.40 SCALE: 3/16" = 1'-0"

USE	CLASS	REQUIRED	PROVIDED
OFFICE	2	26 SPACES	26 SPACES
RETAIL	3	7 SPACES	8 SPACES



5 BICYCLE PARKING - GARAGE LEVEL 1 - WEST
A1.40 SCALE: 3/16" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

ENLARGED PLAN - PARKING SPACES

DAVID KITCHENS 20140051
Principal-in-Charge Project No.
ABBEY OKLAK 08/15/16
Project Manager Date
LAYTON GOLDING
Project Architect
STEPHANIE SMID
Staff Architect

A1.40

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - ELEVATION - ALL GLASS 10 DEGREE TOWER
8/12/2016 6:51:28 PM



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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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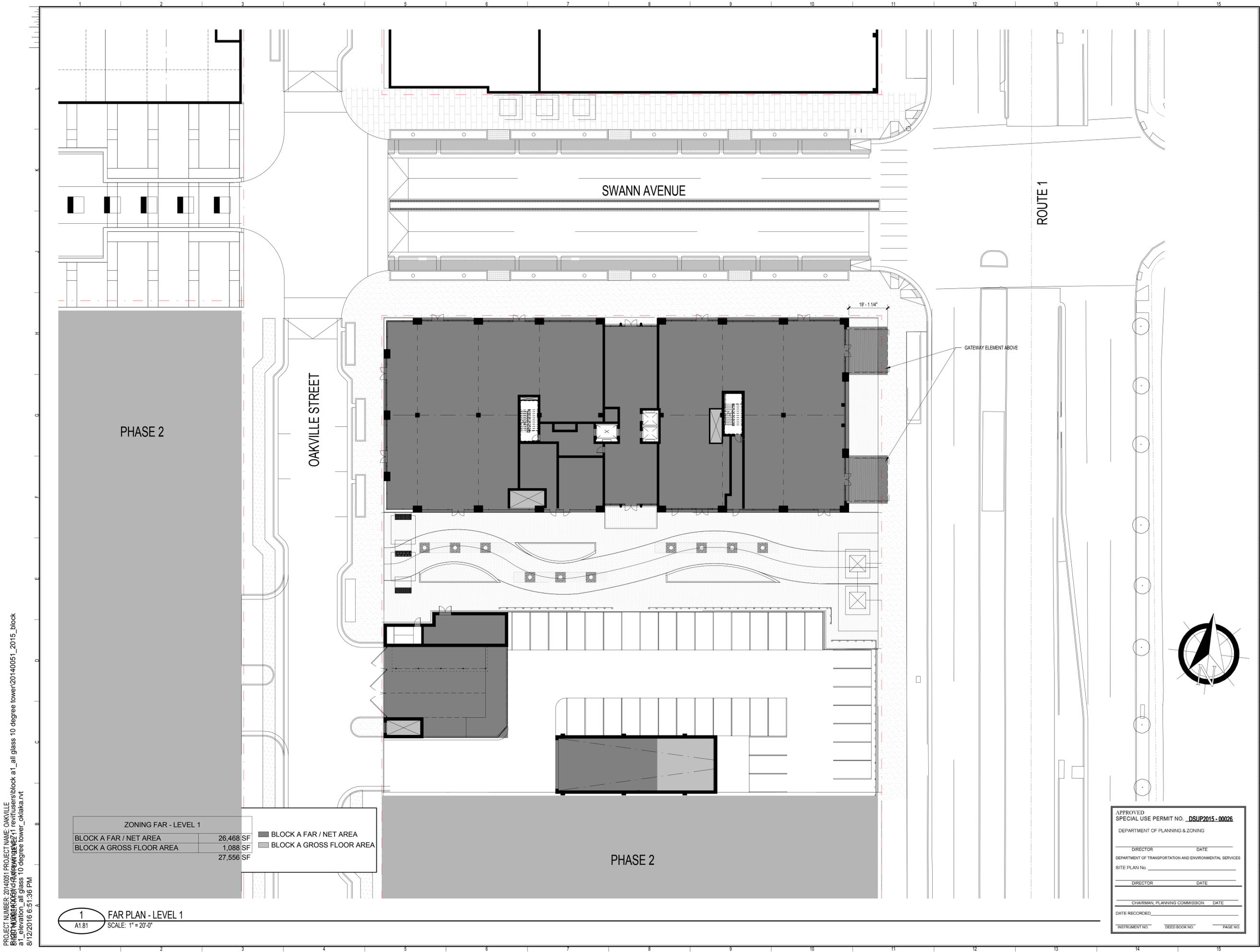
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 1

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.81

NOT ISSUED FOR CONSTRUCTION



ZONING FAR - LEVEL 1	
BLOCK A FAR / NET AREA	26,468 SF
BLOCK A GROSS FLOOR AREA	1,088 SF
	27,556 SF

1 FAR PLAN - LEVEL 1
A1.81 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 26,468 SF
BLOCK A GROSS FLOOR AREA: 1,088 SF
DATE: 8/12/2016 6:51:36 PM



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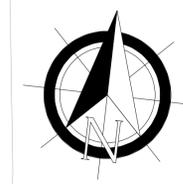
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 2

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.82

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR PLAN - LEVEL 2
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:51:41 PM

ZONING FAR - LEVEL 2	
BLOCK A FAR / NET AREA	20,607 SF
BLOCK A GROSS FLOOR AREA	233 SF
BLOCK A FAR / NET AREA	20,839 SF
BLOCK A GROSS FLOOR AREA	20,839 SF

1 FAR PLAN - LEVEL 2
A1.82 SCALE: 1" = 20'-0"

PHASE 2

SWANN AVENUE

OAKVILLE STREET

ROUTE 1

PHASE 2

3'-5"



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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

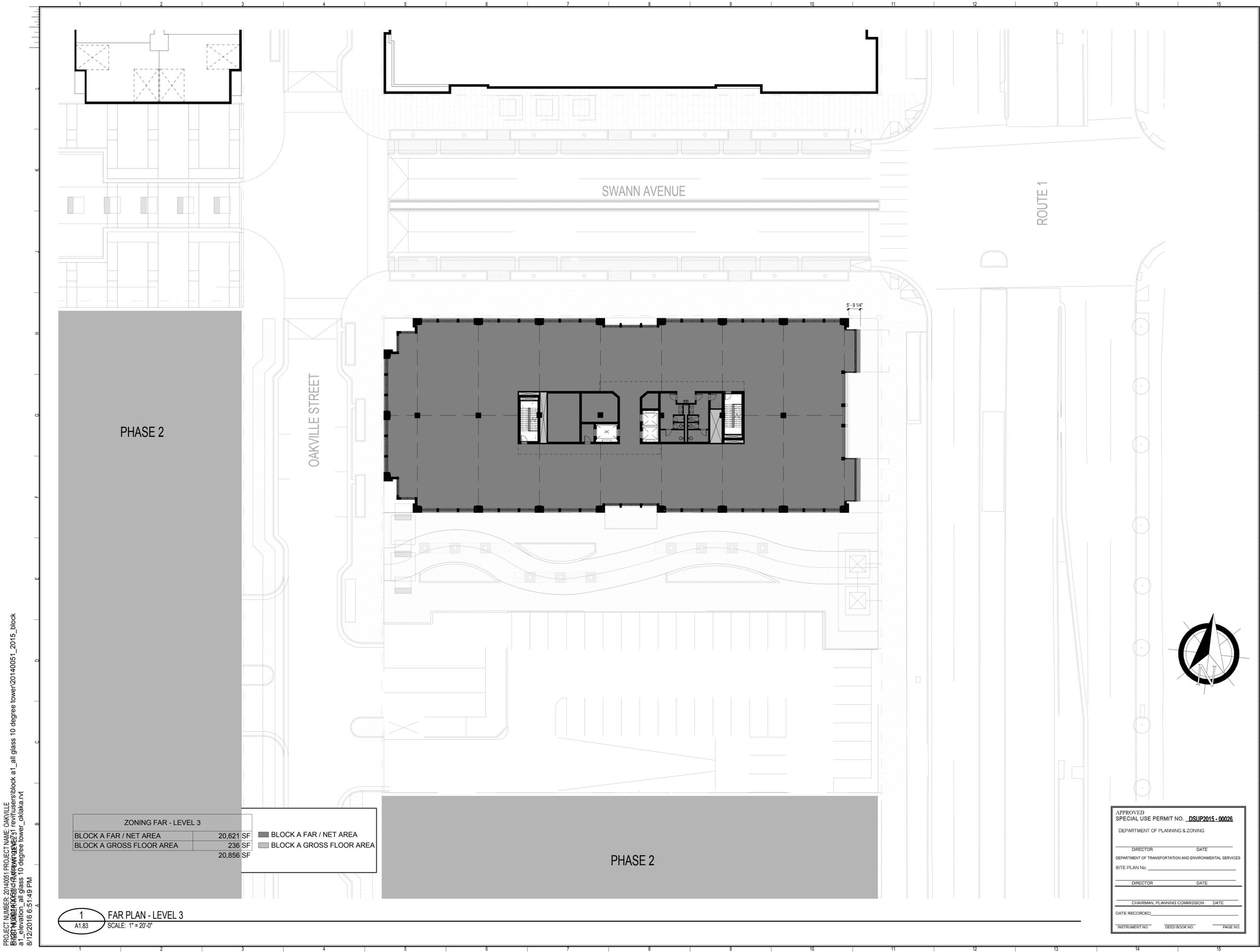
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 3

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.83

NOT ISSUED FOR CONSTRUCTION



ZONING FAR - LEVEL 3	
BLOCK A FAR / NET AREA	20,621 SF
BLOCK A GROSS FLOOR AREA	236 SF
BLOCK A FAR / NET AREA	20,856 SF
BLOCK A GROSS FLOOR AREA	20,856 SF

1 FAR PLAN - LEVEL 3
A1.83 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
 BLOCK A FAR / NET AREA: 20,621 SF
 BLOCK A GROSS FLOOR AREA: 236 SF
 BLOCK A FAR / NET AREA: 20,856 SF
 BLOCK A GROSS FLOOR AREA: 20,856 SF
 8/12/2016 6:51:49 PM



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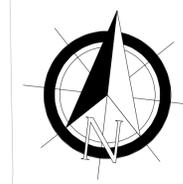
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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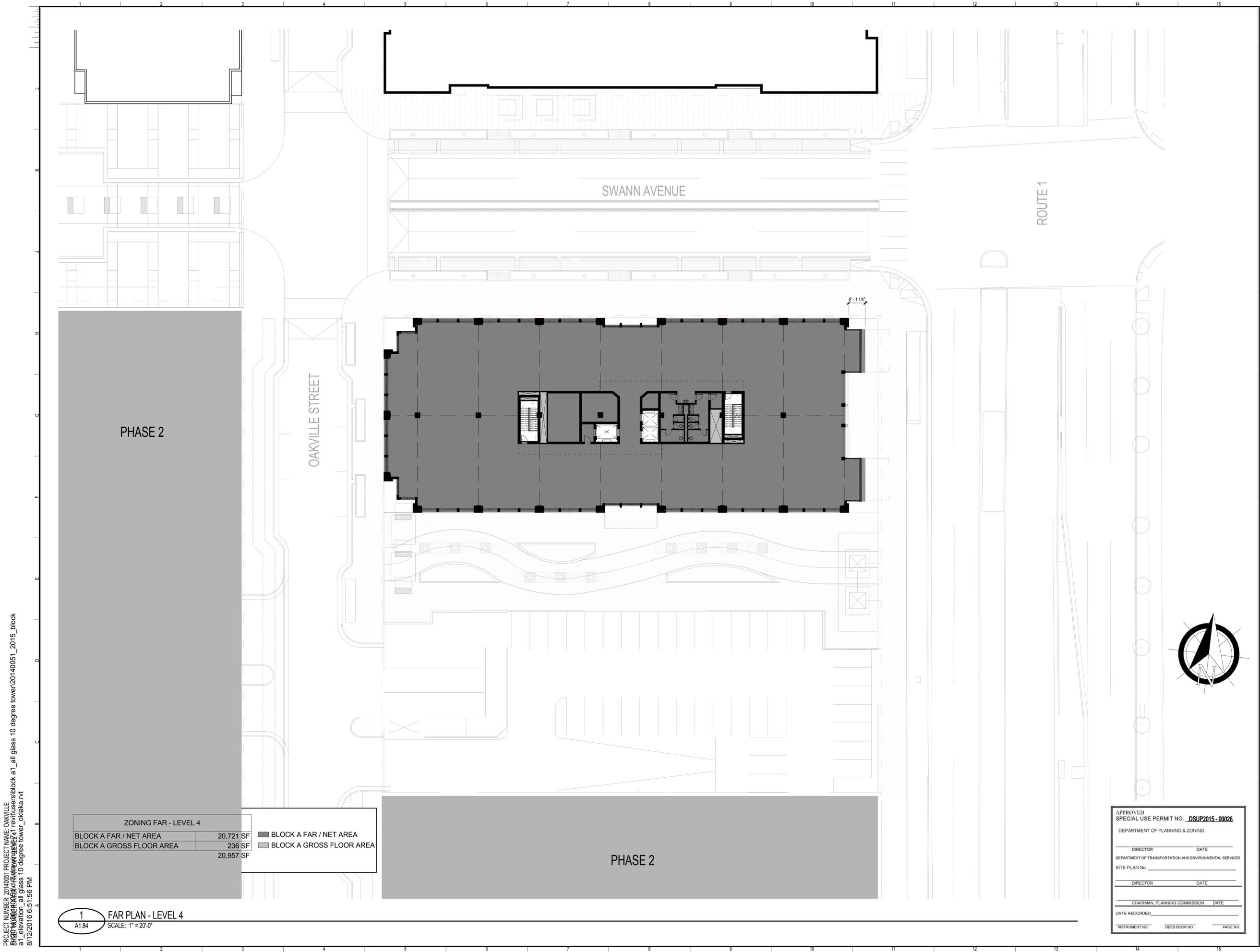
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 4

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.84

NOT ISSUED FOR CONSTRUCTION



PHASE 2

OAKVILLE STREET

SWANN AVENUE

ROUTE 1

PHASE 2

ZONING FAR - LEVEL 4	
BLOCK A FAR / NET AREA	20,721 SF
BLOCK A GROSS FLOOR AREA	236 SF
BLOCK A FAR / NET AREA	20,957 SF
BLOCK A GROSS FLOOR AREA	20,957 SF

1 FAR PLAN - LEVEL 4
A1.84 SCALE: 1" = 20'-0"

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SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 20,721 SF
BLOCK A GROSS FLOOR AREA: 236 SF
8/12/2016 6:51:56 PM



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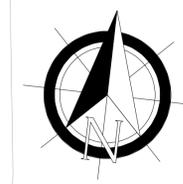
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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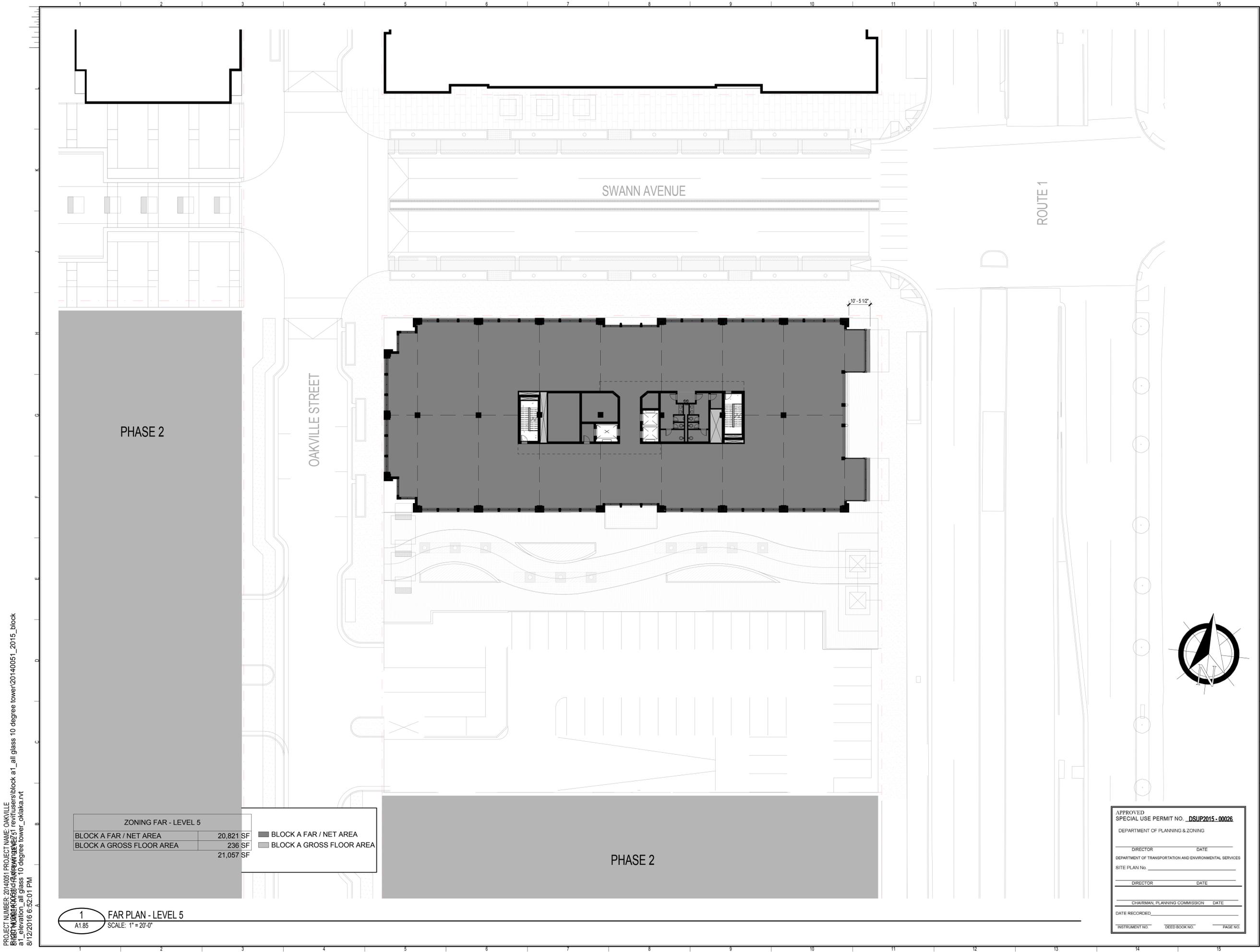
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 5

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.85

NOT ISSUED FOR CONSTRUCTION



PHASE 2

OAKVILLE STREET

SWANN AVENUE

ROUTE 1

PHASE 2

ZONING FAR - LEVEL 5

BLOCK A FAR / NET AREA	20,821 SF	■ BLOCK A FAR / NET AREA
BLOCK A GROSS FLOOR AREA	236 SF	■ BLOCK A GROSS FLOOR AREA
	21,057 SF	

1 FAR PLAN - LEVEL 5
A1.85 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 20,821 SF
BLOCK A GROSS FLOOR AREA: 236 SF
DATE: 8/12/2016 6:52:01 PM



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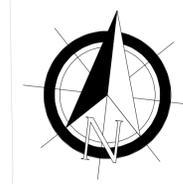
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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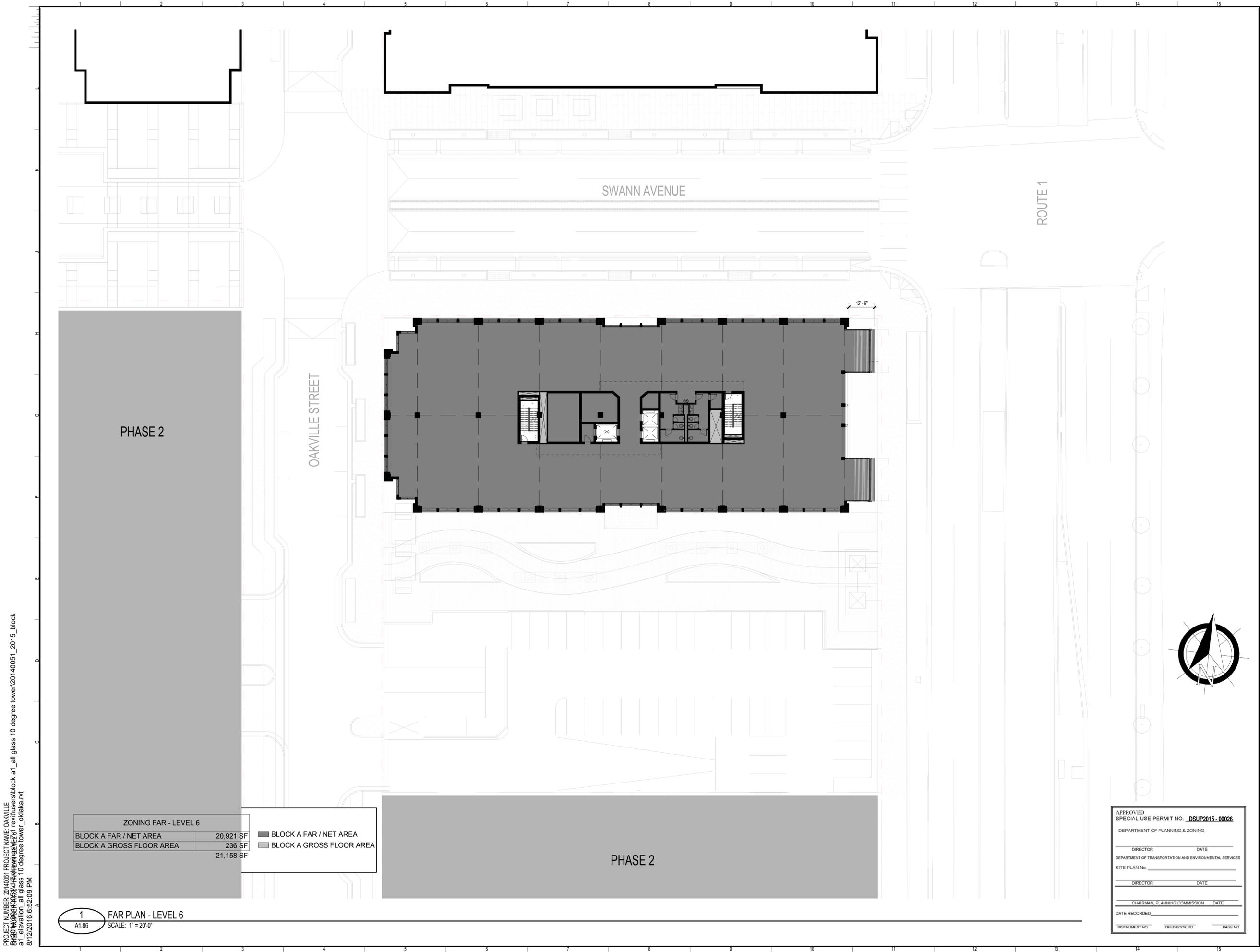
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 6

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.86

NOT ISSUED FOR CONSTRUCTION



PHASE 2

OAKVILLE STREET

SWANN AVENUE

ROUTE 1

12'-9"

PHASE 2

ZONING FAR - LEVEL 6

BLOCK A FAR / NET AREA	20,921 SF	■ BLOCK A FAR / NET AREA
BLOCK A GROSS FLOOR AREA	236 SF	■ BLOCK A GROSS FLOOR AREA
	21,158 SF	

1 FAR PLAN - LEVEL 6
A1.86 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 20,921 SF
BLOCK A GROSS FLOOR AREA: 236 SF
DATE: 8/12/2016 6:52:09 PM



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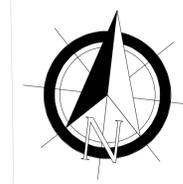
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



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OAKVILLE

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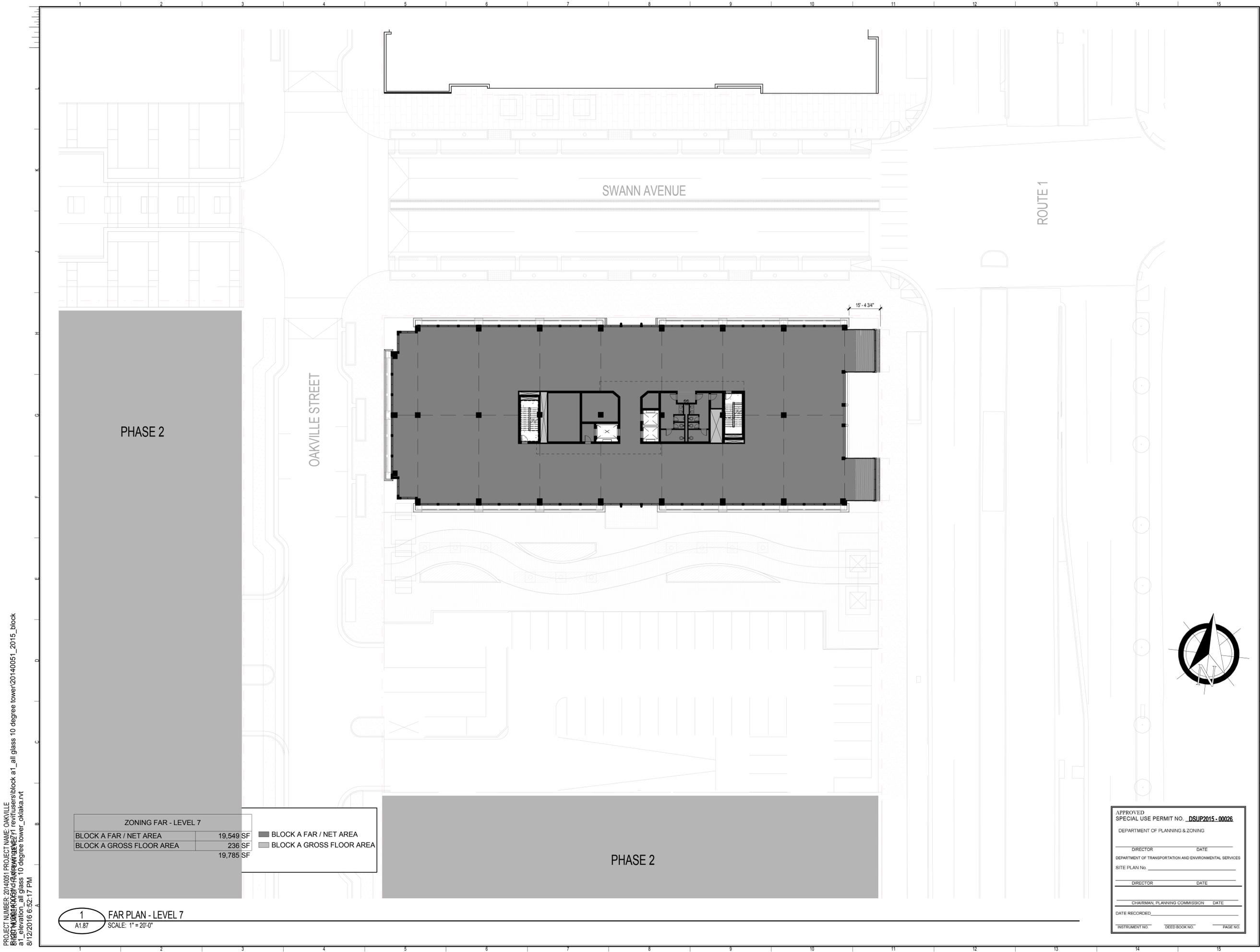
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 7

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.87

NOT ISSUED FOR CONSTRUCTION



PHASE 2

OAKVILLE STREET

SWANN AVENUE

ROUTE 1

15'-4 3/4"

PHASE 2

ZONING FAR - LEVEL 7

BLOCK A FAR / NET AREA	19,549 SF	■ BLOCK A FAR / NET AREA
BLOCK A GROSS FLOOR AREA	236 SF	■ BLOCK A GROSS FLOOR AREA
	19,785 SF	

1 FAR PLAN - LEVEL 7
A1.87 SCALE: 1" = 20'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 19,549 SF
BLOCK A GROSS FLOOR AREA: 236 SF
19,785 SF
8/12/2016 6:52:17 PM



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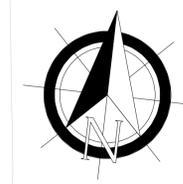
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FAR PLAN - ROOF LEVEL

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.88

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 FAR PLAN - ROOF LEVEL
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:52:24 PM

ZONING FAR - ROOF LEVEL	
BLOCK A FAR / NET AREA	1,203 SF
BLOCK A GROSS FLOOR AREA	57 SF
	1,259 SF

■ BLOCK A FAR / NET AREA
■ BLOCK A GROSS FLOOR AREA

1 FAR PLAN - ROOF LEVEL
A1.88 SCALE: 1" = 20'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PHASE 2

PHASE 2

OAKVILLE STREET

SWANN AVENUE

ROUTE 1



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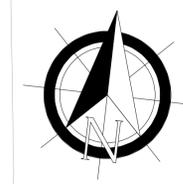
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FAR PLAN - GARAGE LEVEL 1

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

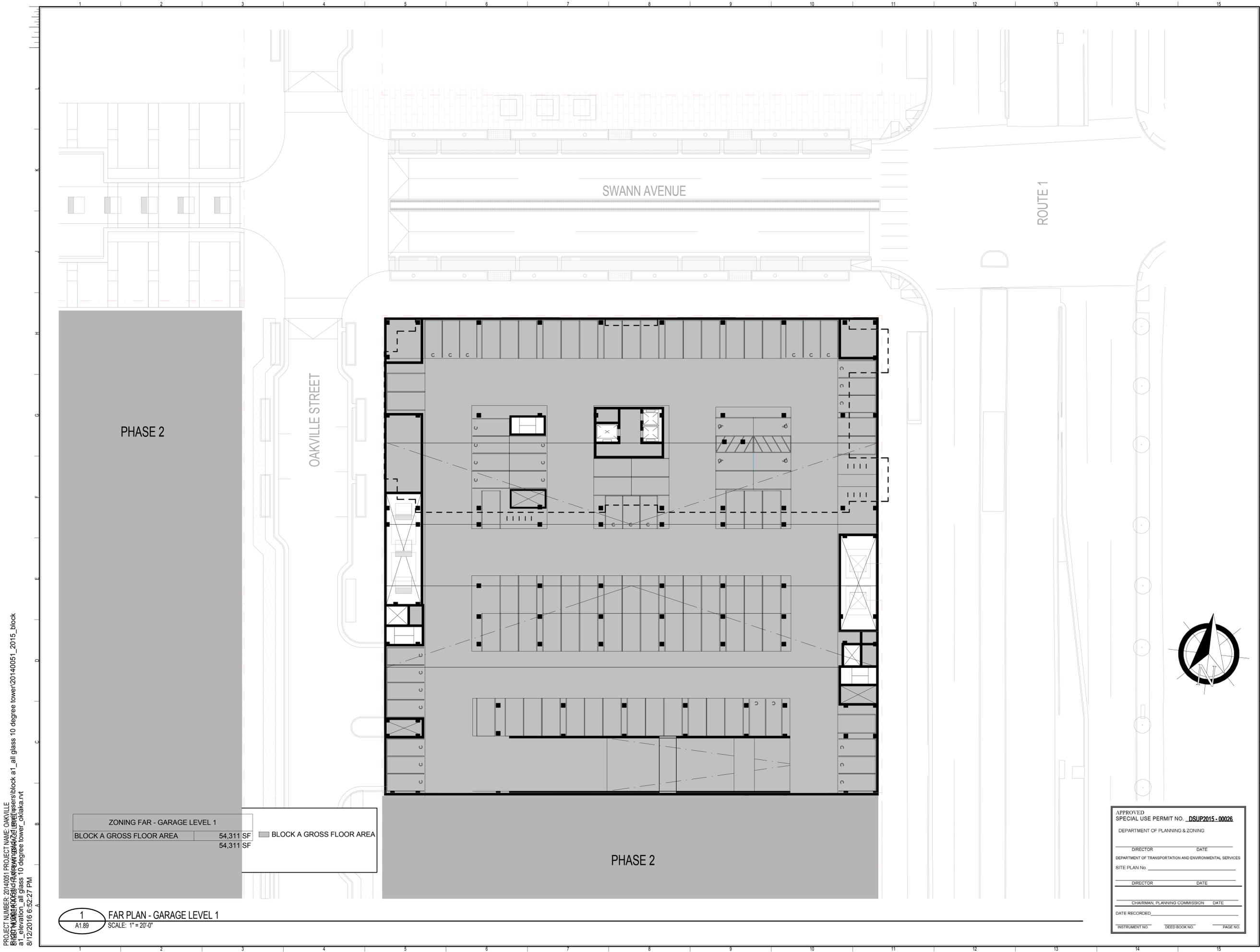
CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.89

NOT ISSUED FOR CONSTRUCTION



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
 BLOCK A FAR PLAN - GARAGE LEVEL 1
 at 1' elevation, all glass 10 degree tower_okiaka.rvt
 8/12/2016 6:52:27 PM

ZONING FAR - GARAGE LEVEL 1	
BLOCK A GROSS FLOOR AREA	54,311 SF
	54,311 SF

1
A1.89
FAR PLAN - GARAGE LEVEL 1
SCALE: 1" = 20'-0"



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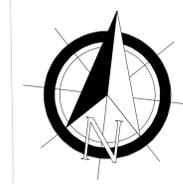
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FAR PLAN - GARAGE LEVEL 2

APPROVED
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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

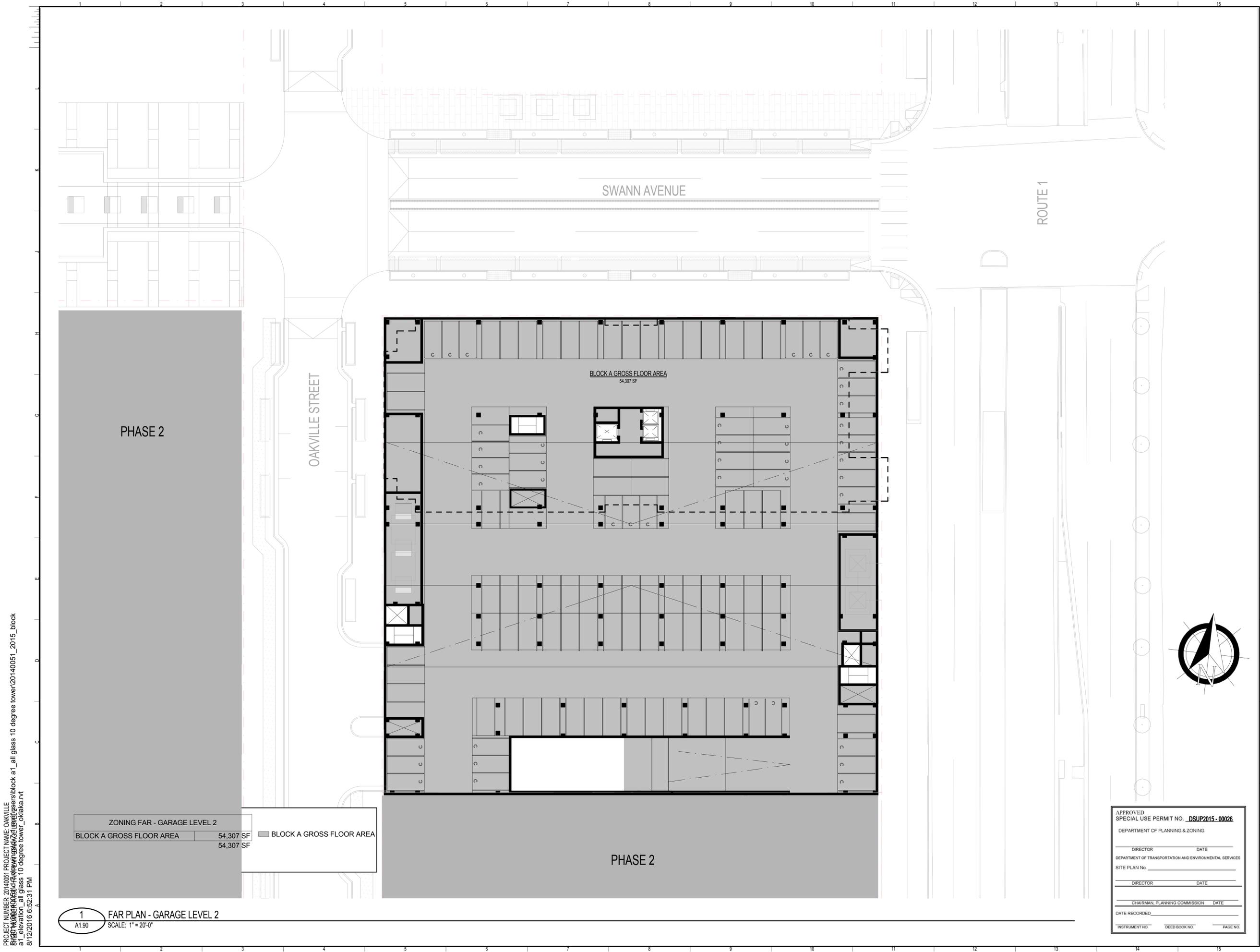
CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS	20140051
Principal in Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.90

NOT ISSUED FOR CONSTRUCTION



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A GROSS FLOOR AREA FAR PLAN - GARAGE LEVEL 2
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:52:31 PM

ZONING FAR - GARAGE LEVEL 2	
BLOCK A GROSS FLOOR AREA	54,307 SF
	54,307 SF

1 FAR PLAN - GARAGE LEVEL 2
SCALE: 1" = 20'-0"



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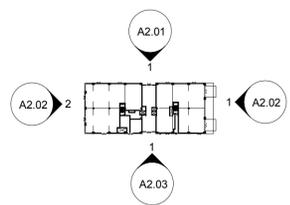
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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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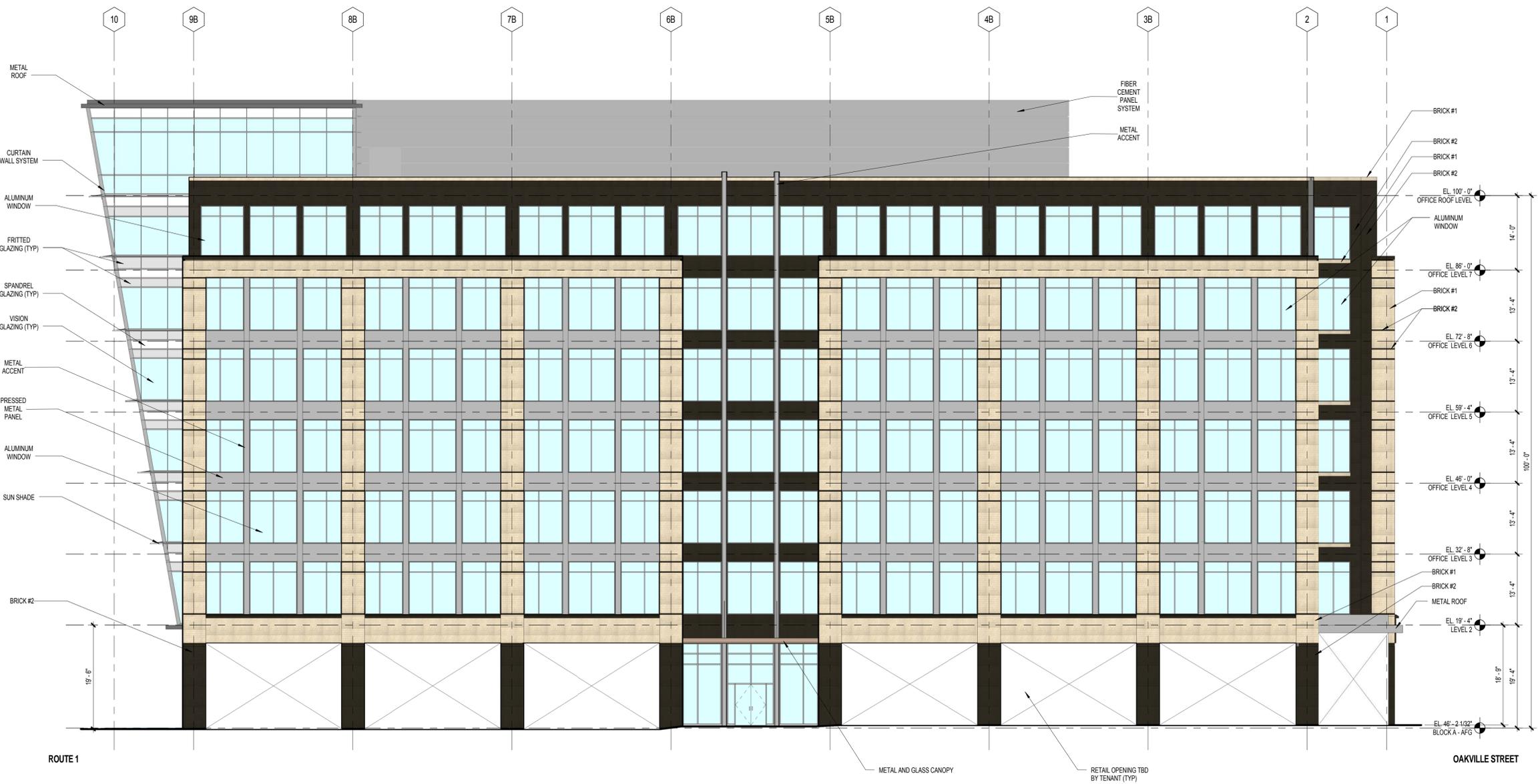
SWANN ELEVATION

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.01

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 SWANN ELEVATION
8/12/2016 6:52:55 PM
at_1_elevation_all glass 10 degree tower_okiaka.rvt
1 revert\users\block at_1_elevation_all glass 10 degree tower_okiaka.rvt



1 OFFICE ELEVATION - SWANN
A2.01 SCALE: 3/32" = 1'-0"

APPROVED
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SITE PLAN No. _____
DIRECTOR: _____ DATE: _____

CHAIRMAN, PLANNING COMMISSION DATE: _____
DATE RECORDED: _____

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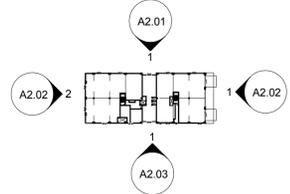
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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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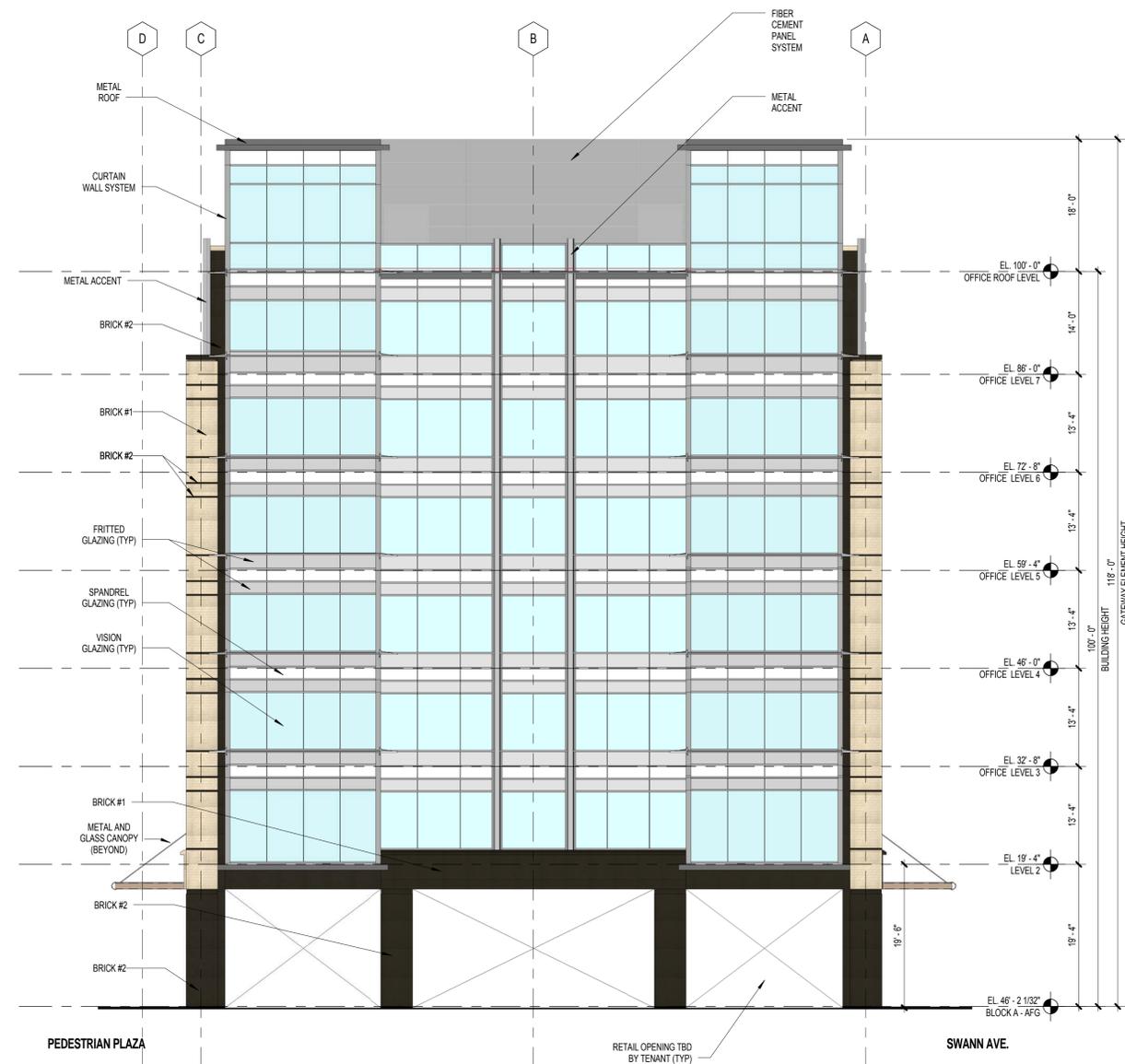
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OAKVILLE / ROUTE 1
ELEVATIONS

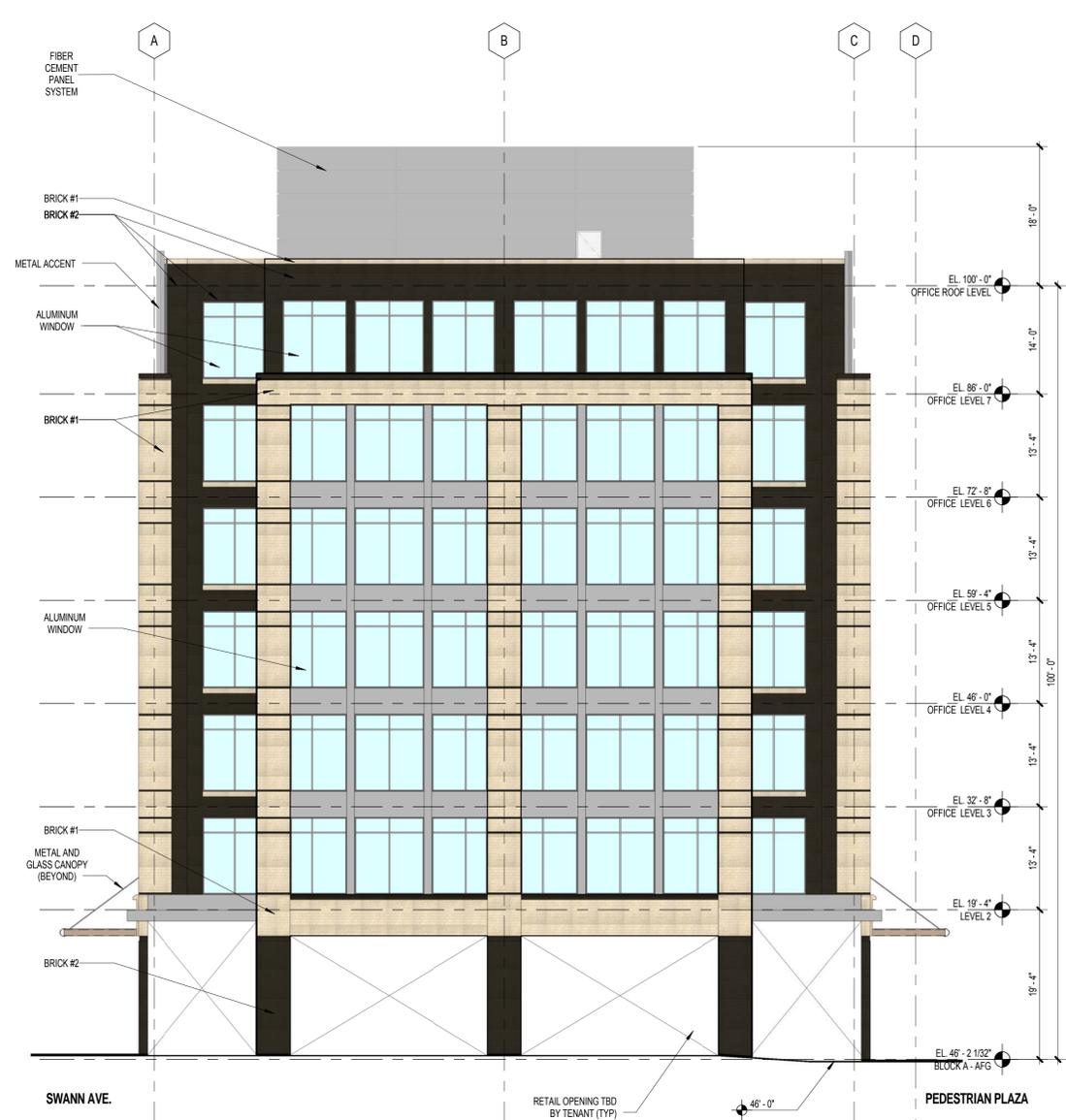
DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.02

NOT ISSUED FOR CONSTRUCTION



1 OFFICE ELEVATION - ROUTE 1
A2.02 SCALE: 3/32" = 1'-0"



2 OFFICE ELEVATION - OAKVILLE
A2.02 SCALE: 3/32" = 1'-0"

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SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - COMPLETENESS II PLAN
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:53:25 PM



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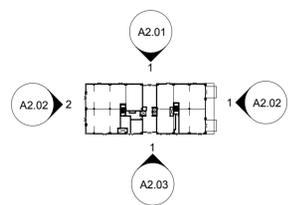
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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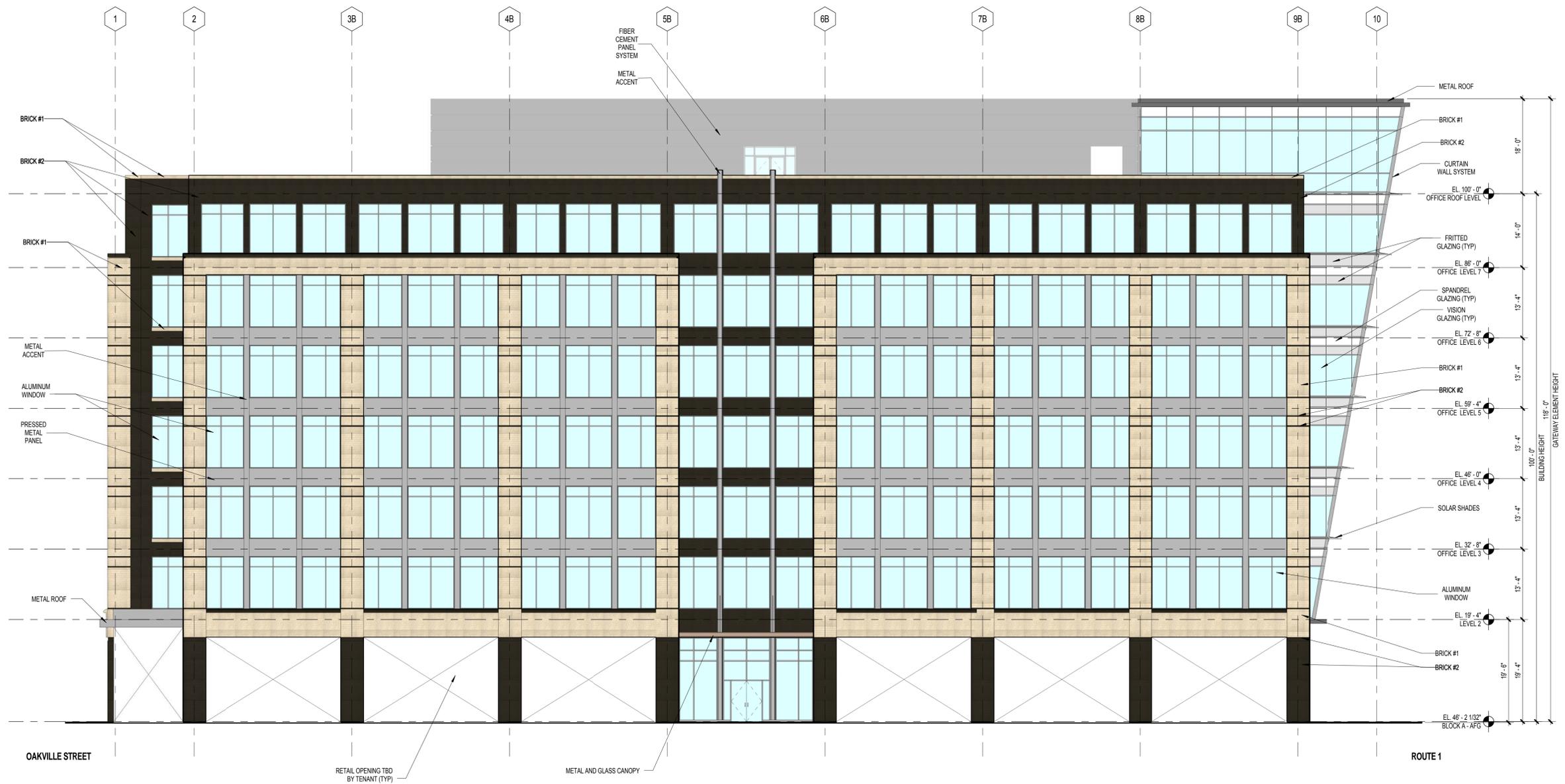
ALEXANDRIA, VIRGINIA

PLAZA ELEVATION

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.03

NOT ISSUED FOR CONSTRUCTION



1 OFFICE ELEVATION - PLAZA
A2.03 SCALE: 3/32" = 1'-0"

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SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR: _____ DATE: _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR: _____ DATE: _____

CHAIRMAN, PLANNING COMMISSION DATE: _____
DATE RECORDED: _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 PLAZA ELEVATION
8/12/2016 6:53:43 PM



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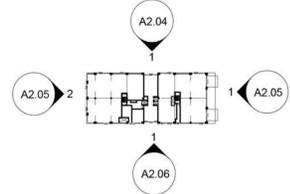
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

SWANN ELEVATION
RENDERING

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.04

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 SWANN ELEVATION RENDERING
at 1_elevation_all glass 10 degree tower_vehs.rvt
8/12/2016 6:43:16 PM



1 OFFICE ELEVATION RENDERING - SWANN
A2.04 SCALE: 3/32" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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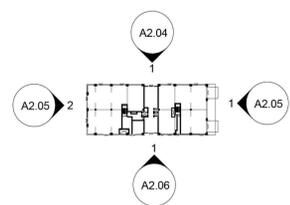
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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OAKVILLE / ROUTE 1 ELEVATION RENDERINGS

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.05

NOT ISSUED FOR CONSTRUCTION



1 OFFICE ELEVATION RENDERING - ROUTE 1
A2.05 SCALE: 3/32" = 1'-0"



2 OFFICE ELEVATION RENDERING - OAKVILLE
A2.05 SCALE: 3/32" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. **_DSUP2015-00026**

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
8/12/2016 6:43:28 PM
at_1_elevation_all glass 10 degree tower_vchrs.rvt



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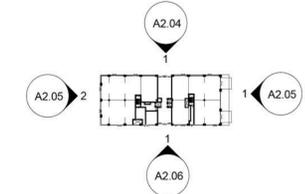
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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

PLAZA ELEVATION
RENDERING

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.06

NOT ISSUED FOR CONSTRUCTION



1 OFFICE ELEVATION RENDERING - PLAZA
A2.06 SCALE: 3/32" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. **DSUP2015-00026**
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
8/12/2016 6:43:32 PM
at_1_elevation_all glass 10 degree tower_vchrs.rvt



SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

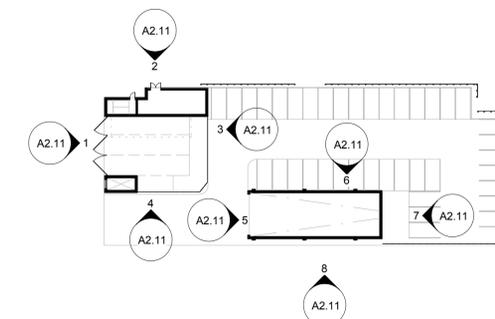
StonebridgeCarras

ALEXANDRIA, VIRGINIA

TEMPORARY ELEVATIONS -
PHASE 1

DAVID KITCHENS 20140051
Principal-in-Charge Project No.
ABBEY OKLAK 08/15/16
Project Manager Date
LAYTON GOLDING
Project Architect
STEPHANIE SMID
Staff Architect

A2.11



NOTE: FENCING DETAILS ON SHEET L4.1

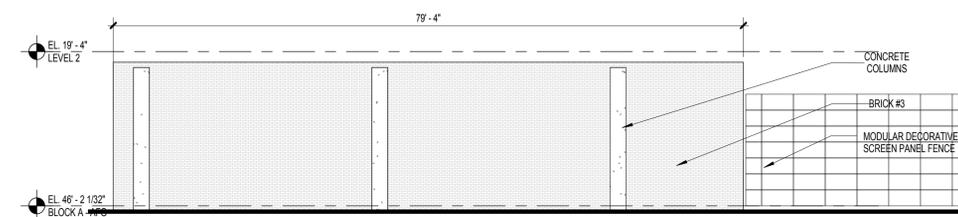
APPROVED
SPECIAL USE PERMIT NO. **DSUP2015-00026**
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DIRECTOR _____ DATE _____
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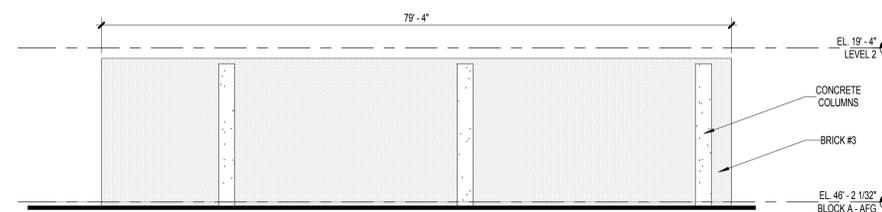
SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

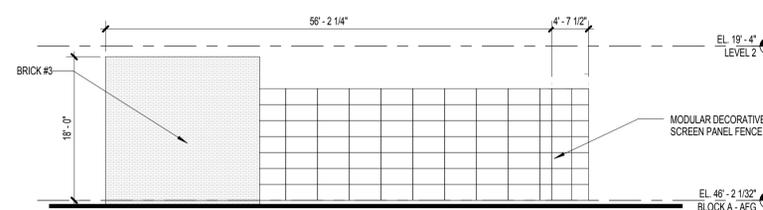
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



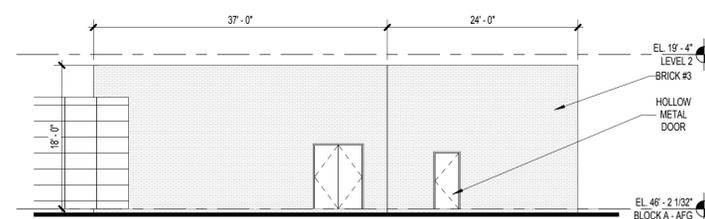
8 RAMP - SOUTH ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



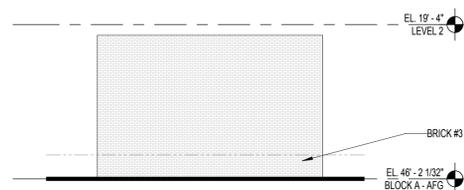
6 RAMP - NORTH ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



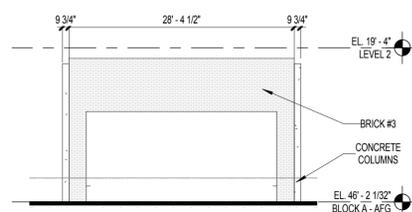
4 LOADING DOCK - SOUTH ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



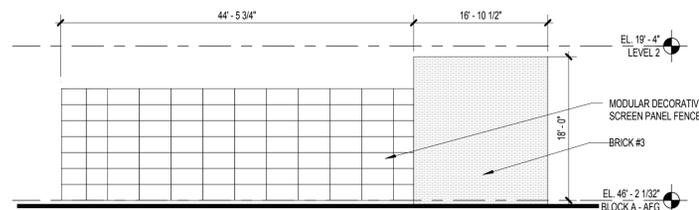
2 LOADING DOCK - NORTH ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



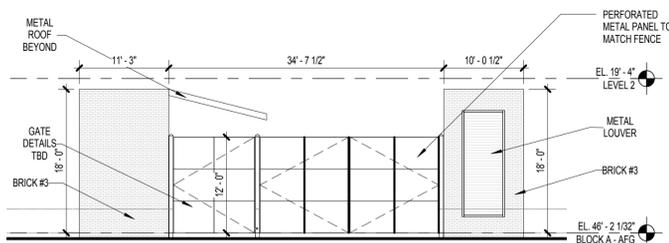
7 RAMP - EAST ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



5 RAMP - WEST ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



3 LOADING DOCK - EAST ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



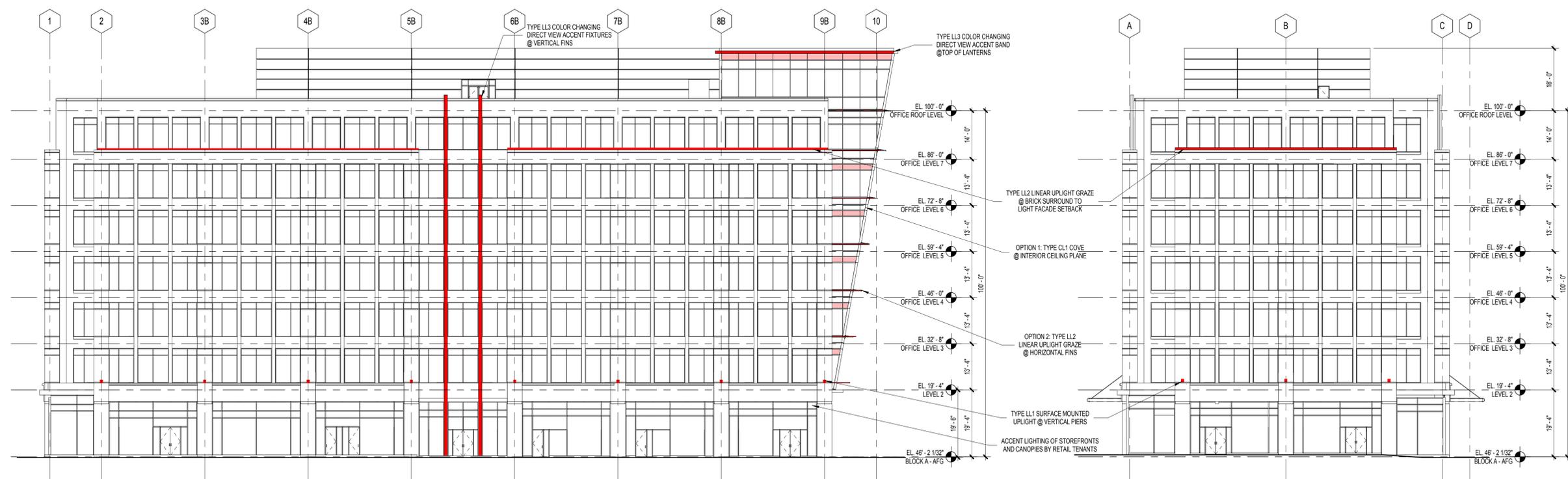
1 LOADING DOCK - OAKVILLE ELEVATION
A2.11 SCALE: 3/32" = 1'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
BLOCK A1 - COMPLETENESS II PLAN
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:54:27 PM

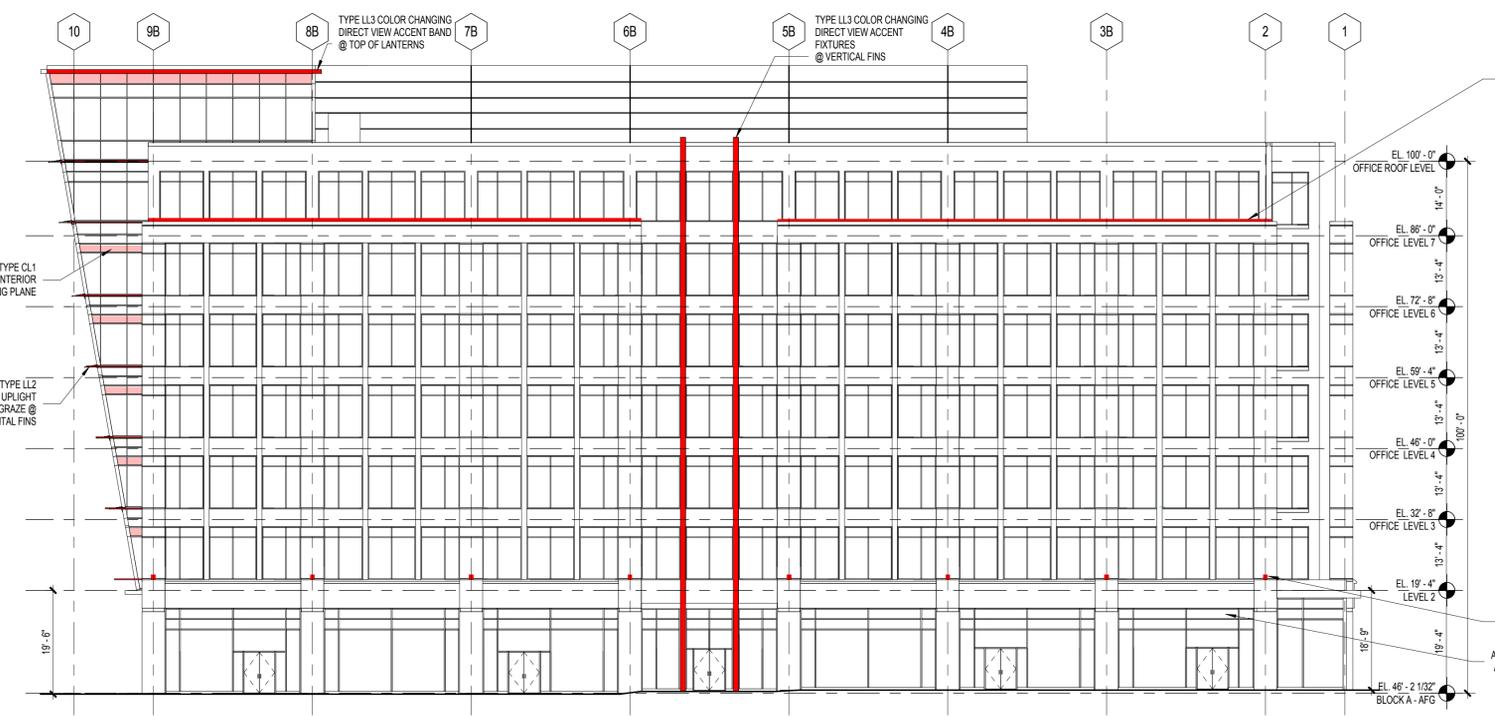


SCOPE DOCUMENTS
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016

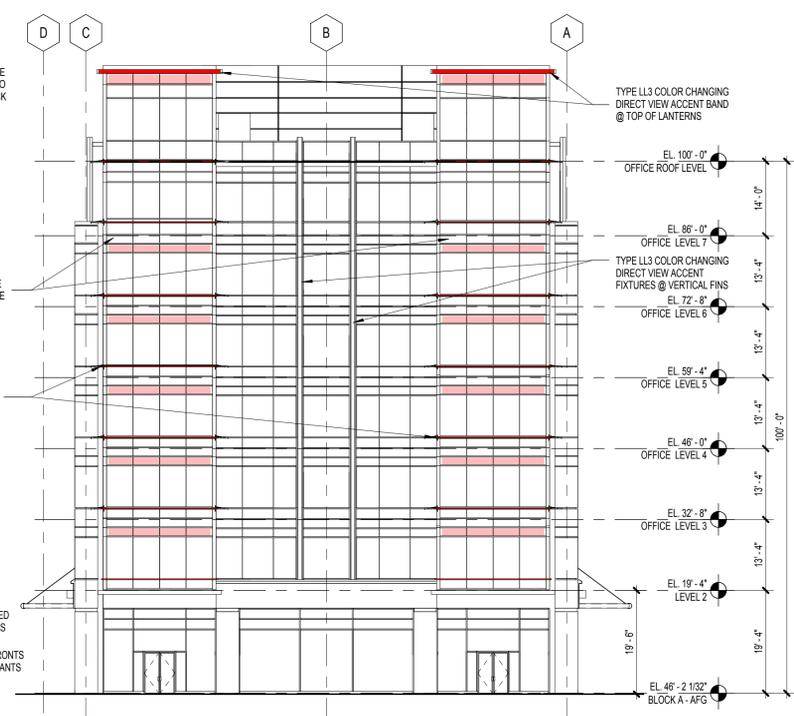


3 OFFICE LIGHTING - PLAZA
A2.20 SCALE: 1/16" = 1'-0"



1 OFFICE LIGHTING - SWANN
A2.20 SCALE: 1/16" = 1'-0"

4 OFFICE LIGHTING - OAKVILLE
A2.20 SCALE: 1/16" = 1'-0"



2 OFFICE LIGHTING - ROUTE 1
A2.20 SCALE: 1/16" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. **DSUP2015-00026**
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

OFFICE LIGHTING

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.20

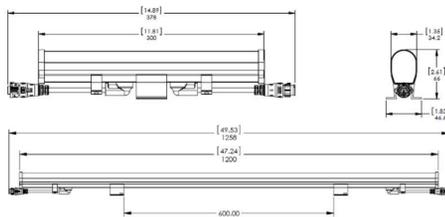
PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - OFFICE LIGHTING - 1
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:54:37 PM



SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016

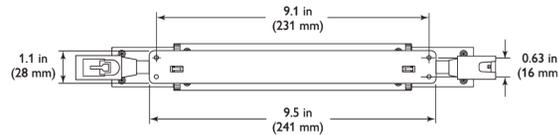


VAYA TUBE
WIDTH 47 MM INCLUDING MOUNTING BRACKET
HEIGHT 66 MM (2.6 IN), INCLUDING MOUNTING BRACKET
LENGTH 300 MM (1 FT) 1200 MM (4 FT)
MOUNTING FRONT-SERVICEABLE SURFACE MOUNT BRACKETS
LENS TRANSLUCENT COVER LENS
HOUSING UV-STABILIZED POLYCARBONATE, DARK GREY FINISH
WEIGHT <0.5 KG (1 LBS) <1.0KG (2 LBS)
INPUT VOLTAGE 24V DC

MANUFACTURER
PHILIPS LIGHTING
3 BURLINGTON WOODS DRIVE
BURLINGTON, MA 01803

TEL 888 385 5742
FAX 617 338 0454

www.colorkinetics.com



EW COVE MX POWERCORE
WIDTH 38 MM (1.5 IN)
HEIGHT 42 MM (1.64 IN)
LENGTH 305 MM (12 IN)
LENS POLYCARBONATE
HOUSING DIE-CAST ALUMINUM, WHITE POWDER-COATED FINISH
WEIGHT 372 G (0.82 LBS)
INPUT VOLTAGE 100 - 277 VAC

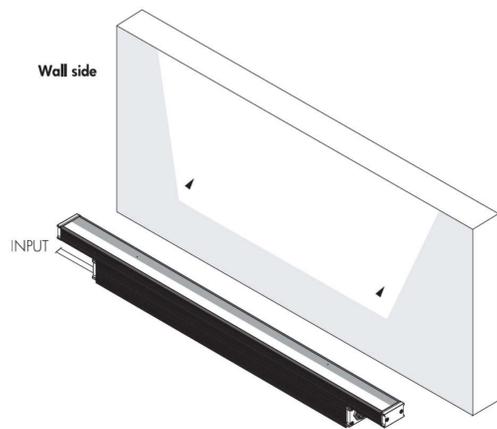
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PHILIPS COLOR KINETICS
3 BURLINGTON WOODS DRIVE
BURLINGTON, MA 01803

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FAX 617 338 0454

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1 COLORED ACCENT BAND
SCALE: 3" = 1'-0"

2 COVE AT INTERIOR CEILING PLANE
SCALE: 3" = 1'-0"

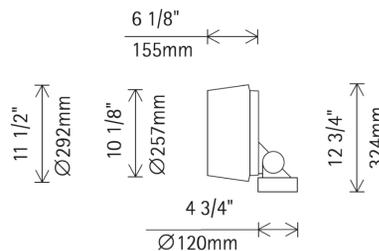


WWLF
Asymmetric Wallwash Optic, Left Feed

LUMENFACADE
LENGTH AVAILABLE IN 1', 2', 3', OR 4' SECTIONS
FINISH ELECTRO-STATICALLY APPLIED POLYESTER POWDER COAT
POWER 100, 120, 208, 220, 240, 277
MOUNTING SLIM ADJUSTABLE MOUNTING

MANUFACTURER
LUMENPULSE
1751 RICHARDSON, SUITE 1505
MONTREAL (QUEBEC), CANADA
H3K 1G6

TEL 514 937 3003
www.lumenpulse.com



KONA PROJECTOR LED
MOUNTING SURFACE MOUNT OR SINGLE POLE TOP
HOUSING CORROSION-RESISTANT CAST ALUMINUM, DOUBLE POWDER-COATED
GASKETING UV AND OZONE-RESISTANT SILICONE GASKET
FINISH DOUBLE POWDER COATED
VOLTAGE 18, 32, 42, 48, 72, 96
LENS SPHERULIT LENS, SPOT

MANUFACTURER
ERCO LIGHTING

TEL 732 225 8856
FAX 732 225 8857
www.erco.com

3 LINEAR UPLIGHT AT HORIZONTAL FIN
SCALE: 3" = 1'-0"

4 SURFACE MOUNTED UPLIGHT
SCALE: 3" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

OFFICE FIXTURES

DAVID KITCHENS 20140051
Principal-in-Charge Project No.
ABBEY OKLAK 08/15/16
Project Manager Date
LAYTON GOLDING
Project Architect
STEPHANIE SMID
Staff Architect

A2.21



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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE OAKVILLE

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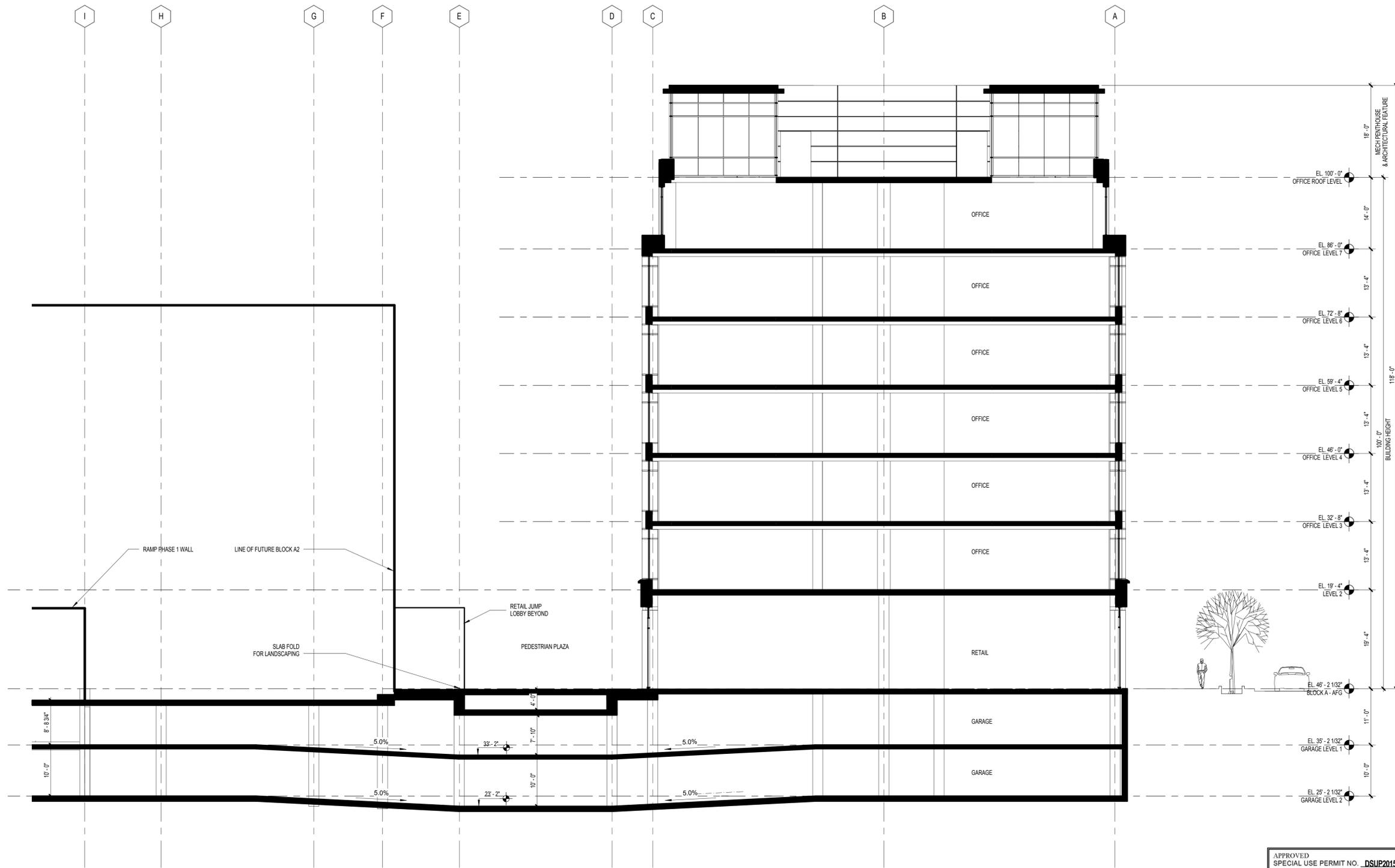
ALEXANDRIA, VIRGINIA

BUILDING SECTION 1

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.01

NOT ISSUED FOR CONSTRUCTION



1 BUILDING SECTION - BLOCK A1 - NORTH SOUTH
A3.01 SCALE: 1" = 10'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
BLOCK A1 - COMPLETENESS II PLAN
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:54:41 PM



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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE OAKVILLE

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ALEXANDRIA, VIRGINIA

BUILDING SECTION 2

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.02

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
BLOCK A1 - COMPLETENESS II PLAN
at_1_elevation_all_glass_10_degree_tower_okiaka.rvt
8/12/2016 6:54:43 PM

1 BUILDING SECTION - BLOCK A1 - EAST WEST
A3.02 SCALE: 1" = 10'-0"

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SPECIAL USE PERMIT NO. DSUP2015-00026
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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

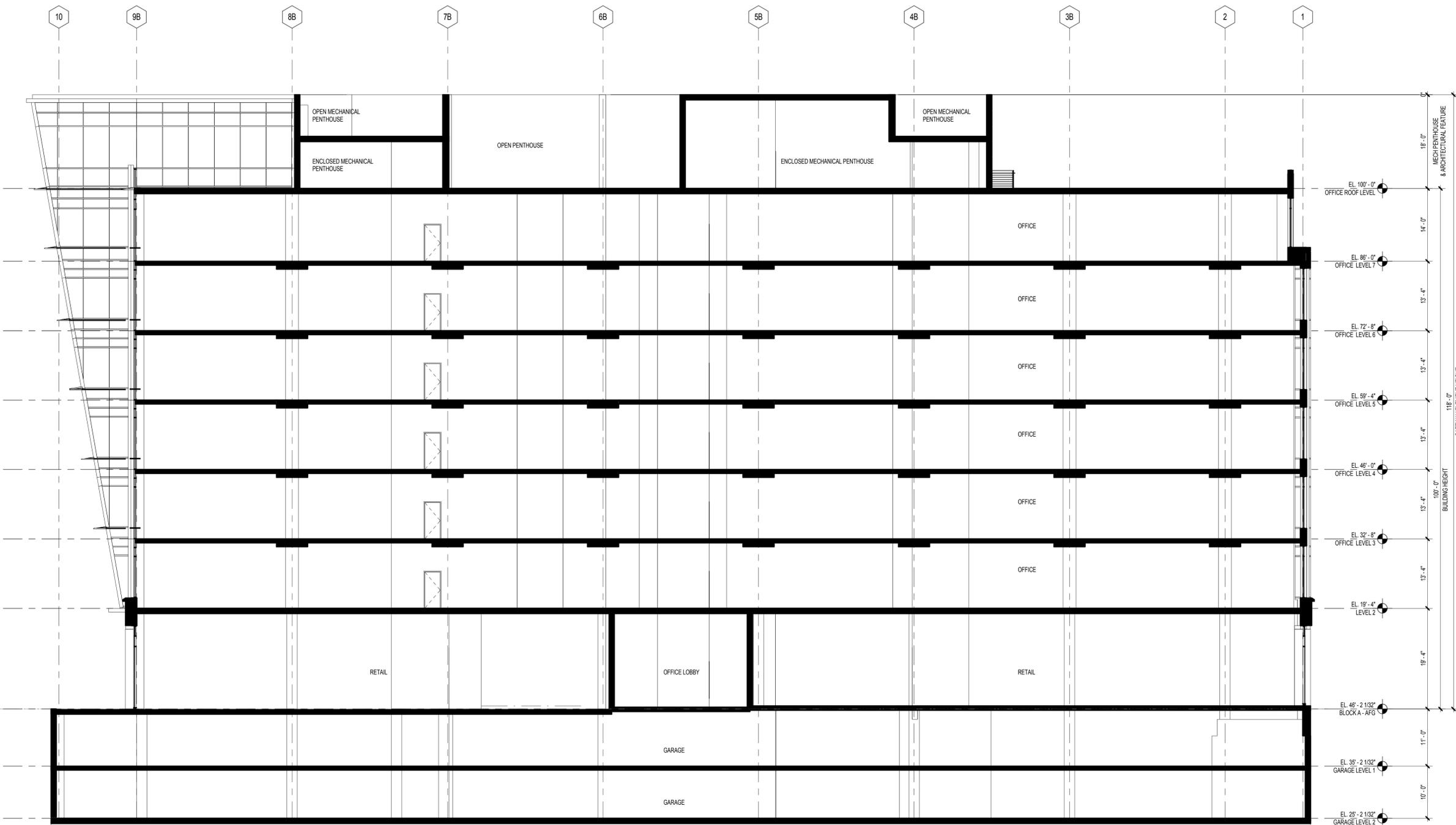
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____





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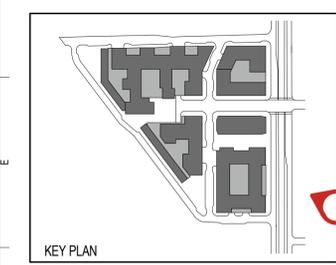
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No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



KEY PLAN

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

SITE MASSING - VIEW 1 - LOOKING NORTHWEST

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SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

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SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.10

SUBJECT TO CHANGE WITH DSUP SUBMISSION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - COMPLETENESS II PLAN - VIEW 1 - LOOKING NORTHWEST
at 1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:55:16 PM



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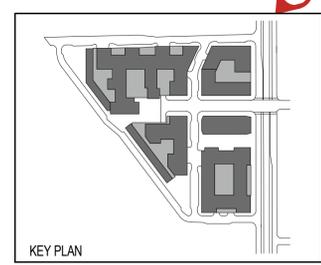
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SCOPE DOCUMENTS

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No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



KEY PLAN

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

SITE MASSING - VIEW 2 - LOOKING SOUTHWEST

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.11

SUBJECT TO CHANGE WITH DSUP SUBMISSION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - COMPLETENESS II PLAN - VIEW 2 - LOOKING SOUTHWEST
at_1_elevation_all glass 10 degree tower_akiaka.rvt
8/12/2016 6:55:50 PM



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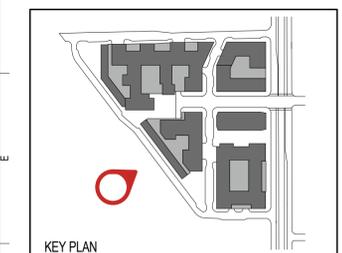
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No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



KEY PLAN

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

SITE MASSING - VIEW 3 - LOOKING NORTHEAST

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SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.12

SUBJECT TO CHANGE WITH DSUP SUBMISSION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - COMPLETENESS II PLAN - VIEW 3 - LOOKING NORTHEAST
at 1_elevation_all glass 10 degree tower_akiaka.rvt
8/12/2016 6:56:25 PM



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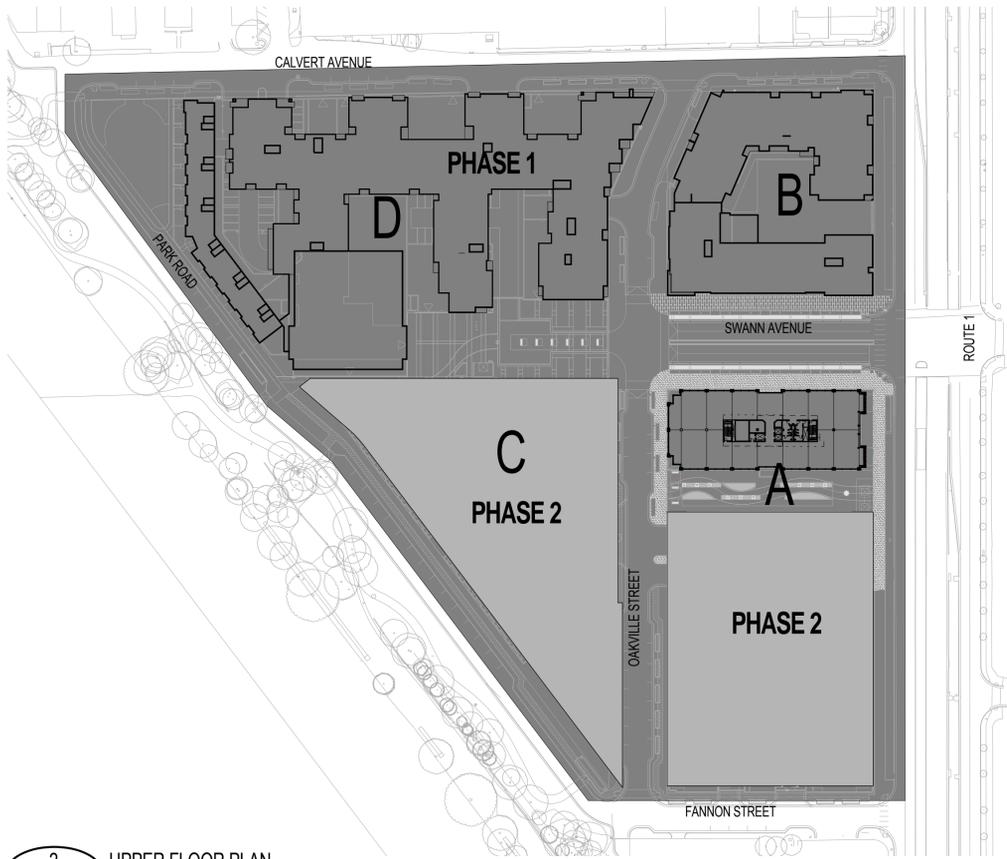
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SCOPE DOCUMENTS

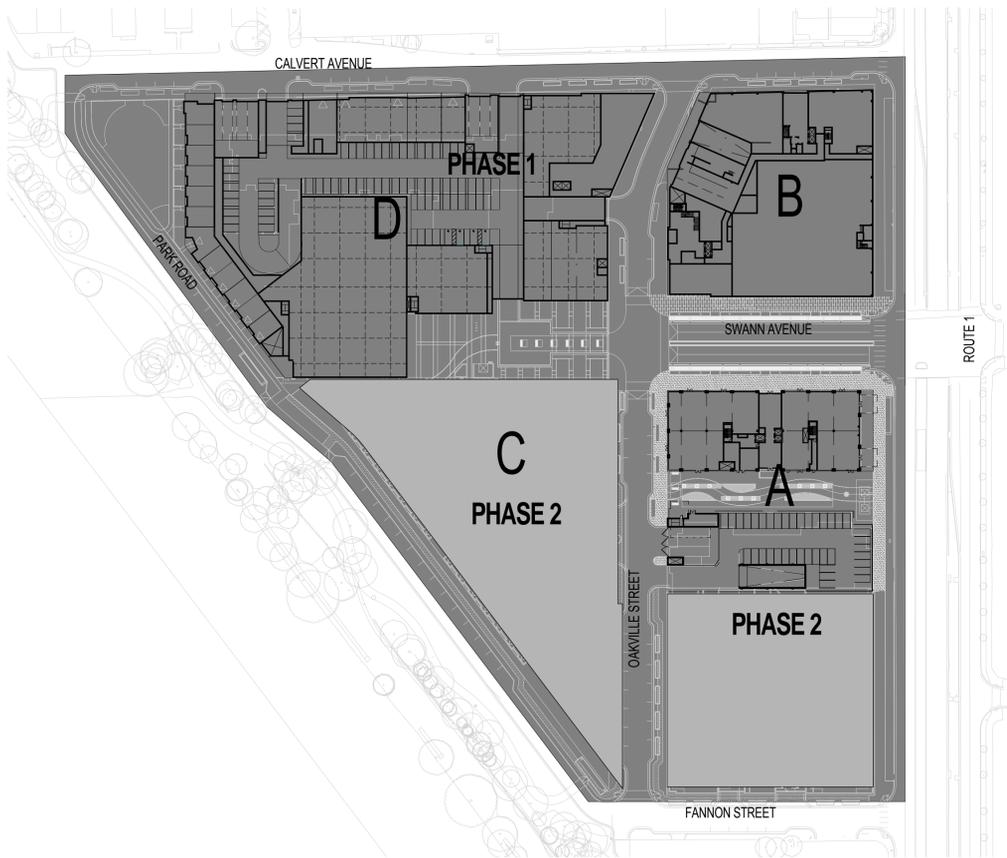
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



2 UPPER FLOOR PLAN
A4.00 SCALE: 1" = 100'-0"



1 GROUND FLOOR PLAN
A4.00 SCALE: 1" = 100'-0"

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____ DATE _____
DIRECTOR _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

PHASING PLAN

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A4.00

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - PHASING PLAN
8/12/2016 6:56:41 PM
at_1_elevation_all glass 10 degree tower_okiaka.rvt
7-1 revert/users/block at_1_all glass 10 degree tower(20140051_2015_block



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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

HEIGHT MAP

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

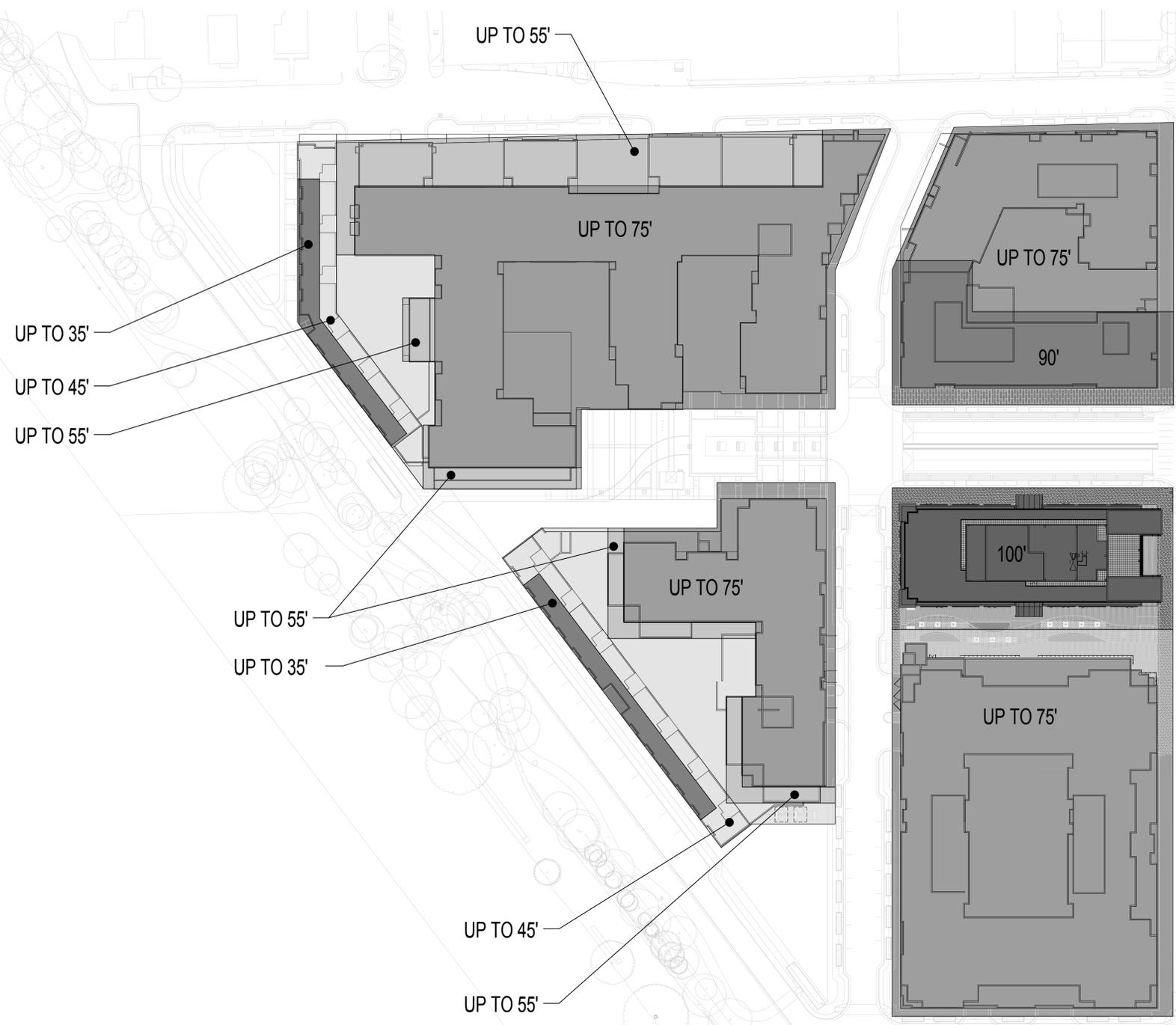
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A6.00

NOT ISSUED FOR CONSTRUCTION

1 SITE HEIGHTS
A6.00 SCALE: 1" = 60'-0"



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - COMPLETENESS II PLAN
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:56:53 PM



SCOPE DOCUMENTS

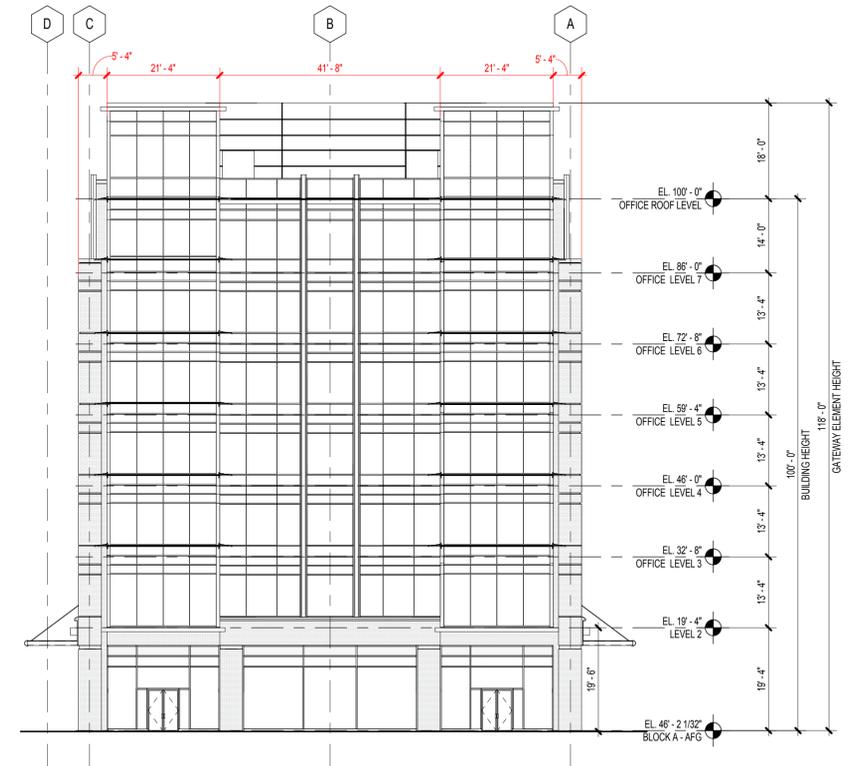
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



1 GATEWAY ANALYSIS - SWANN
A6.01 SCALE: 1/16" = 1'-0"



2 GATEWAY ANALYSIS - ROUTE 1
A6.01 SCALE: 1/16" = 1'-0"



3 GATEWAY ANALYSIS - PERSEPECTIVE
A6.01 SCALE:

GATEWAY MATERIAL

- CURTAIN WALL SYSTEM - KAWNEER 1600 UT
- FRITTED SPANDREL PANEL - SIMILAR TO VIRASPAN V175
- VISION GLASS - LOW-E SIMILAR TO VIRACON VE 1-2M
- MULLIONS AND FINS - SMOKE GREY FINISH

NOTE:
SEE A6.03 FOR TYPICAL GATEWAY PIER PLAN DETAILS

APPROVED
SPECIAL USE PERMIT NO. **DSUP2015-00026**
DEPARTMENT OF PLANNING & ZONING

DIRECTOR: _____ DATE: _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR: _____ DATE: _____

CHAIRMAN, PLANNING COMMISSION DATE: _____

DATE RECORDED: _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

GATEWAY ELEMENT

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A6.01

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 ELEVATION at 10 degree tower
8/12/2016 8:06:13 PM



SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
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ALEXANDRIA, VIRGINIA

TYPICAL BAY DETAILS

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A6.02

BRICKS

BRICK #1 - BLEND OF TAYLOR 319 GRAY & PEARL GRAY BRICK

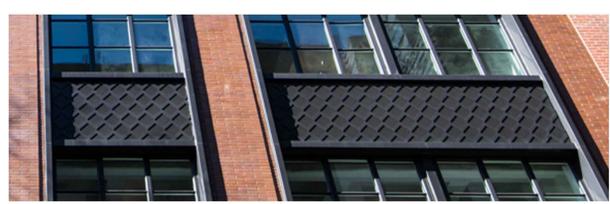


BRICK #2 - BELDEN EBONY BLACK SMOOTH BRICK



METAL PANEL

STAMPED METAL PANEL- SIMILAR TO PATTERN SHOWN IN SMOKE GREY FINISH



WINDOWS

ALUMINIM WINDOWS WITH LOW-E GLASS AND SMOKE GREY FINISH MULLIONS

WINDOW WALL

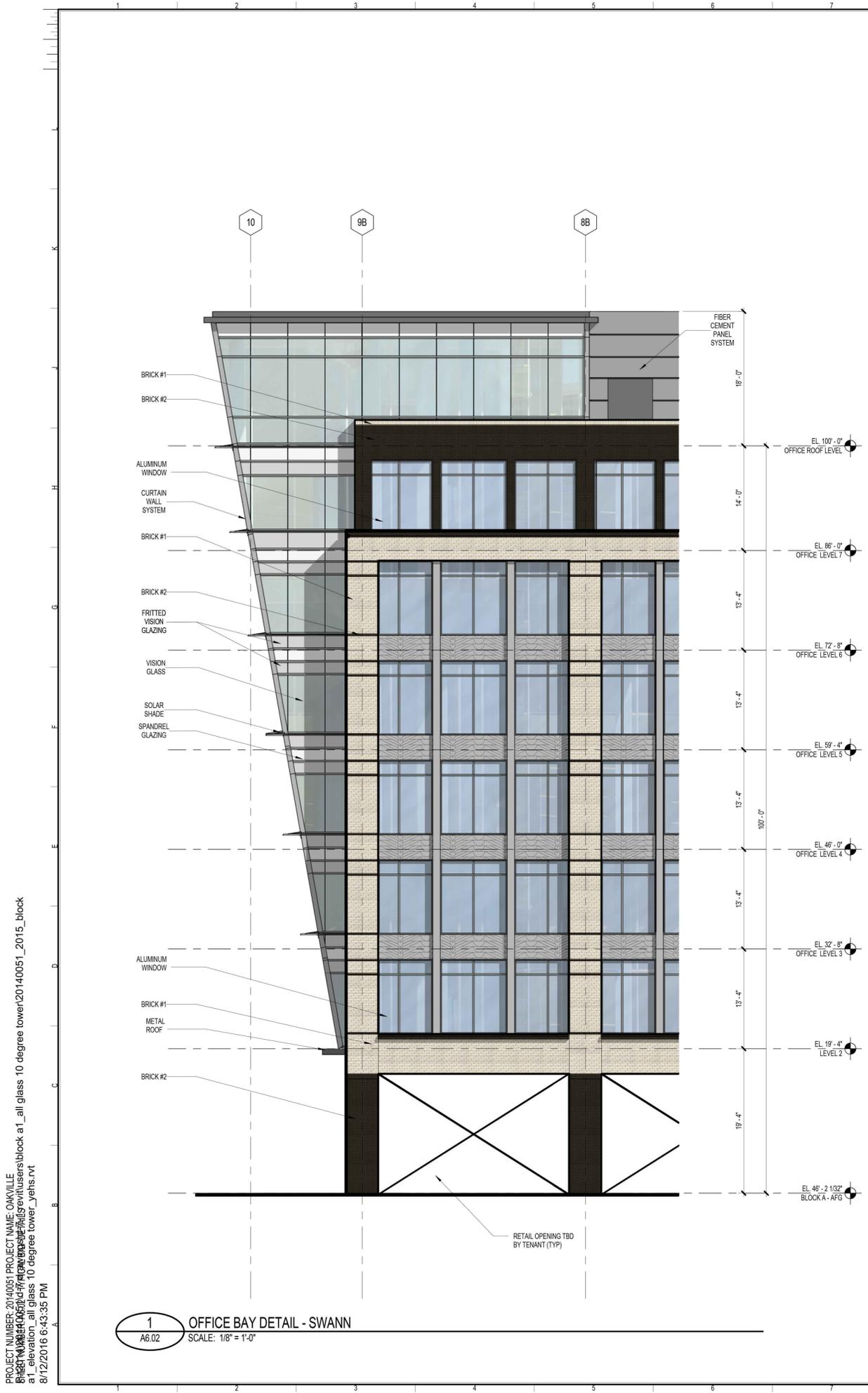
FRITTED SPANDREL PANEL- SIMILAR TO VIRASPAN V175

MULLIONS AND FINS - SMOKE GREY FINISH

VISION GLASS - LOW-E SIMILAR TO VIRACON VE 1-2M

STOREFRONT

ALUMINUM RETAIL STOREFRONT WITH CLEAR VISION GLASS AND SMOKE GREY FINISH MULLIONS



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - ELEVATION - ALL GLASS 10 DEGREE TOWER - 2015_BLOCK
8/12/2016 6:43:35 PM

1 OFFICE BAY DETAIL - SWANN
SCALE: 1/8" = 1'-0"

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SPECIAL USE PERMIT NO. **DSUP2015-00026**
DEPARTMENT OF PLANNING & ZONING

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CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

OFFICE VOID PERCENTAGE CALCULATION

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A6.04

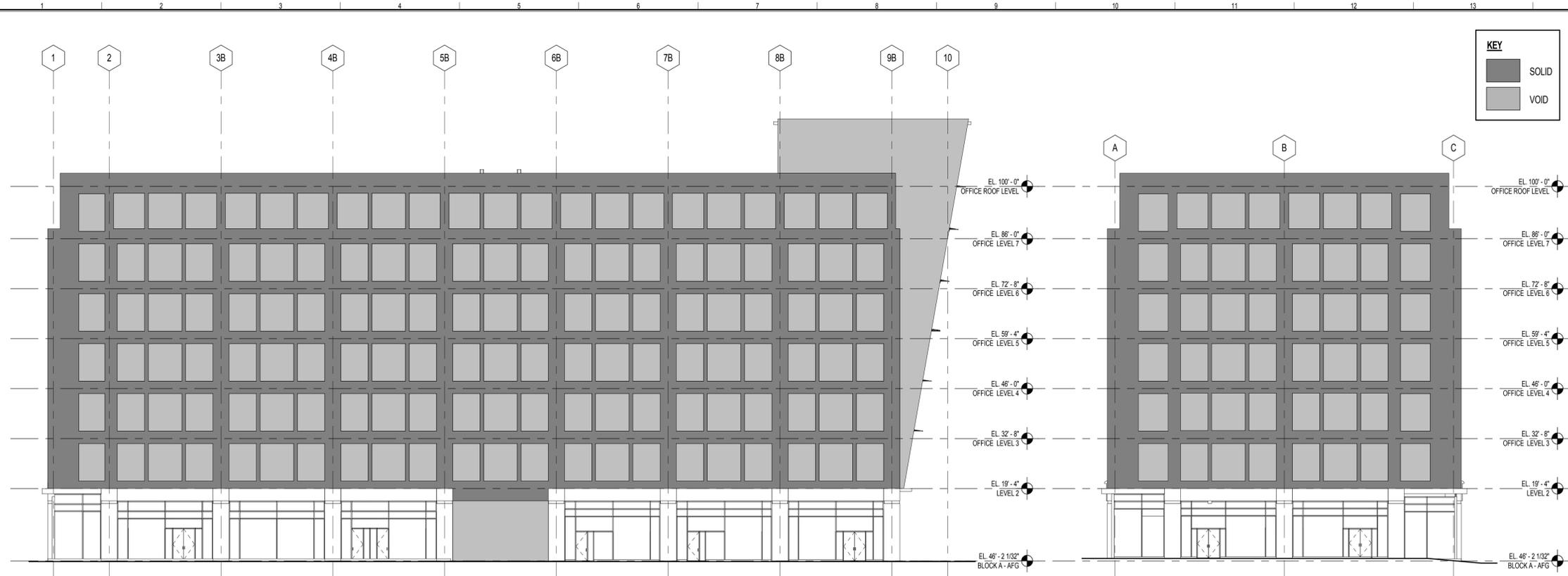
NOT ISSUED FOR CONSTRUCTION

OFFICE - VOID CALCULATION			
	wt	Area	PERCENTAGE
OAKVILLE			
TOTAL SOLID	4,083 SF		52%
TOTAL VOID	3,814 SF		48%
	7,897 SF		100%
PLAZA			
TOTAL SOLID	8,856 SF		42%
TOTAL VOID	12,274 SF		58%
	21,130 SF		100%
ROUTE 1			
TOTAL SOLID	882 SF		10%
TOTAL VOID	7,647 SF		90%
	8,530 SF		100%
SWANN			
TOTAL SOLID	8,856 SF		42%
TOTAL VOID	12,275 SF		58%
	21,131 SF		100%
TOTAL SOLID	22,677 SF		39%
TOTAL VOID	36,010 SF		61%
Grand total	58,687 SF		100%

KEY

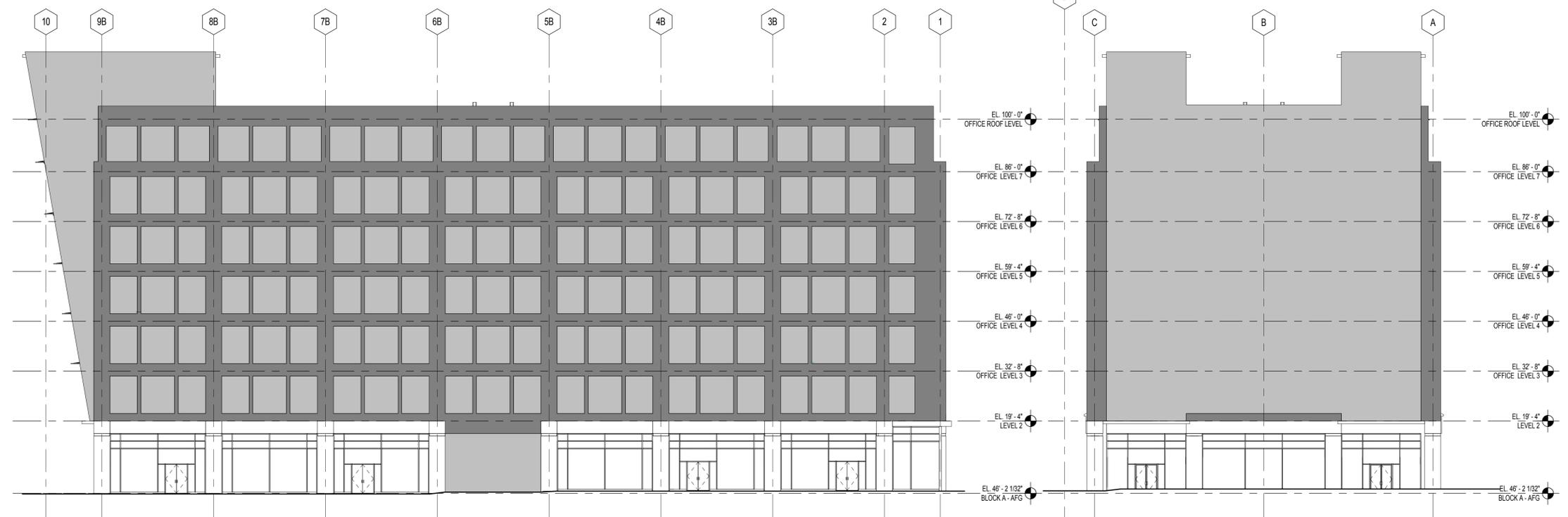
SOLID

VOID



3 VOID CALCULATION - OFFICE - PLAZA
A6.04 SCALE: 1/16" = 1'-0"

4 VOID CALCULATION - OFFICE - OAKVILLE
A6.04 SCALE: 1/16" = 1'-0"



1 VOID CALCULATION - OFFICE - SWANN
A6.04 SCALE: 1/16" = 1'-0"

2 VOID CALCULATION - OFFICE - ROUTE 1
A6.04 SCALE: 1/16" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026

DEPARTMENT OF PLANNING & ZONING

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SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
Block A1 - Office Void Percentage Calculation
at 1_elevation_all glass 10 degree tower_oklaka.rvt
8/12/2016 7:29:26 PM



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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
3	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

RETAIL VOID PERCENTAGE CALCULATION

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

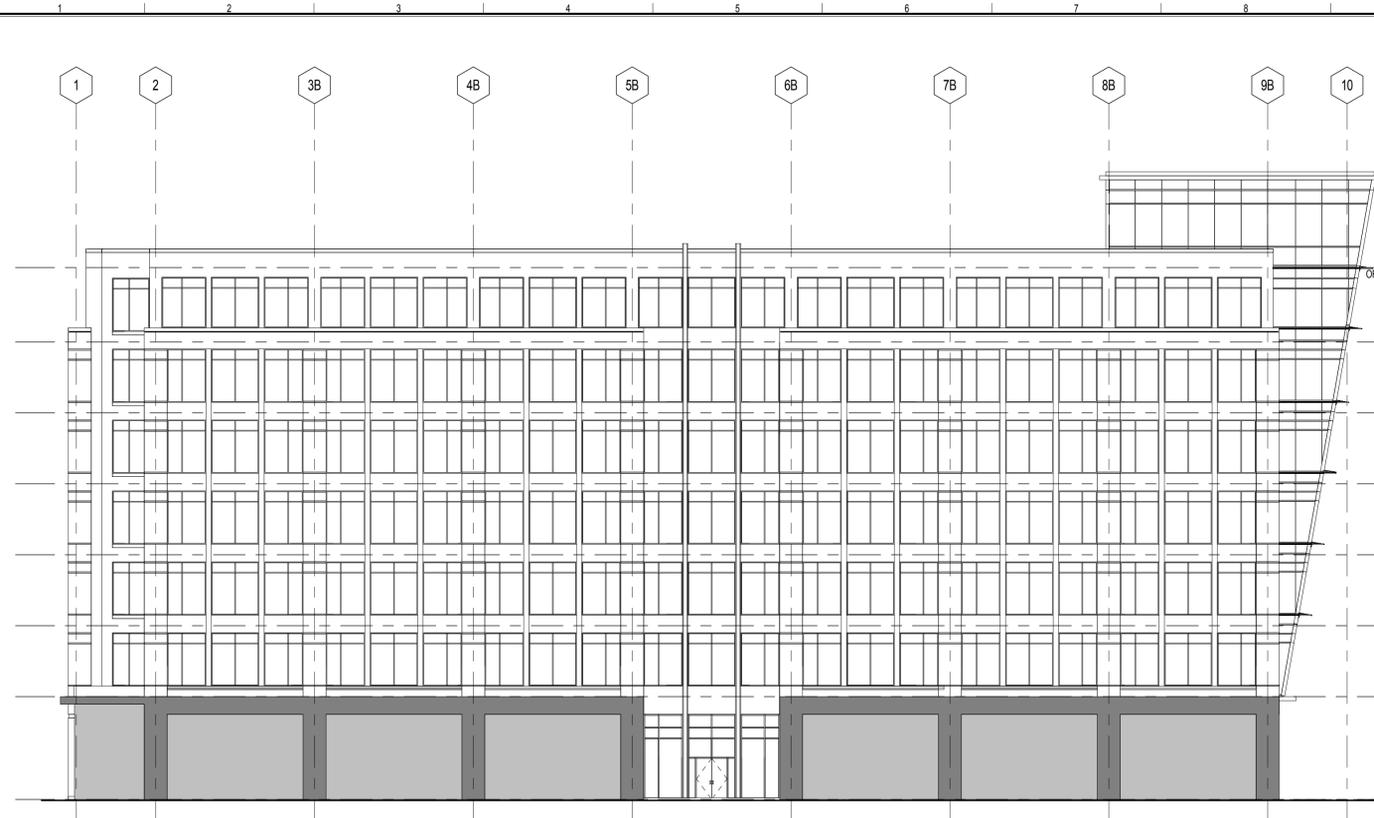
A6.05

NOT ISSUED FOR CONSTRUCTION

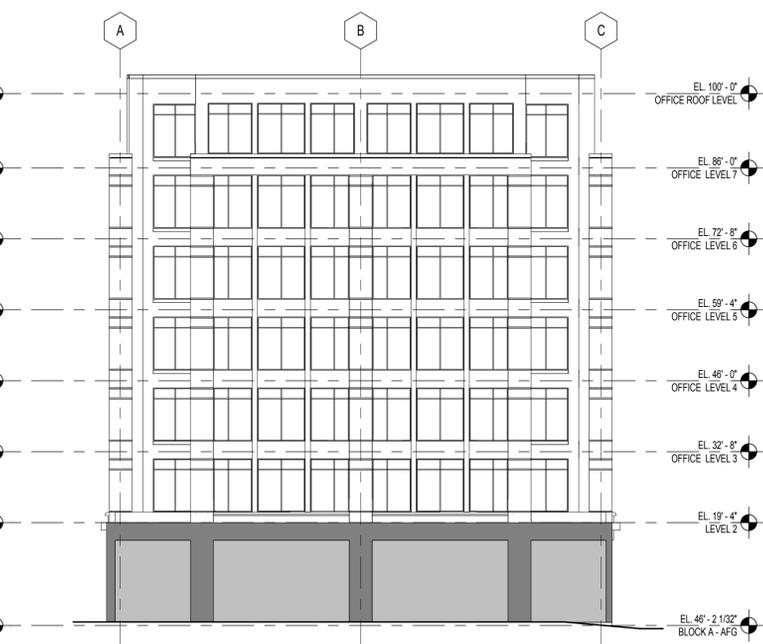
RETAIL - VOID CALCULATION		
CATEGORY	Area	PERCENTAGE
OAKVILLE		
TOTAL SOLID	561 SF	31%
TOTAL VOID	1,223 SF	69%
	1,785 SF	100%
PLAZA		
TOTAL SOLID	1,206 SF	31%
TOTAL VOID	2,700 SF	69%
	3,906 SF	100%
ROUTE 1		
TOTAL SOLID	606 SF	35%
TOTAL VOID	1,123 SF	65%
	1,729 SF	100%
SWANN		
TOTAL SOLID	1,200 SF	31%
TOTAL VOID	2,660 SF	69%
	3,861 SF	100%
Grand total		
TOTAL SOLID	3,574 SF	32%
TOTAL VOID	7,706 SF	68%
	11,281 SF	100%

KEY

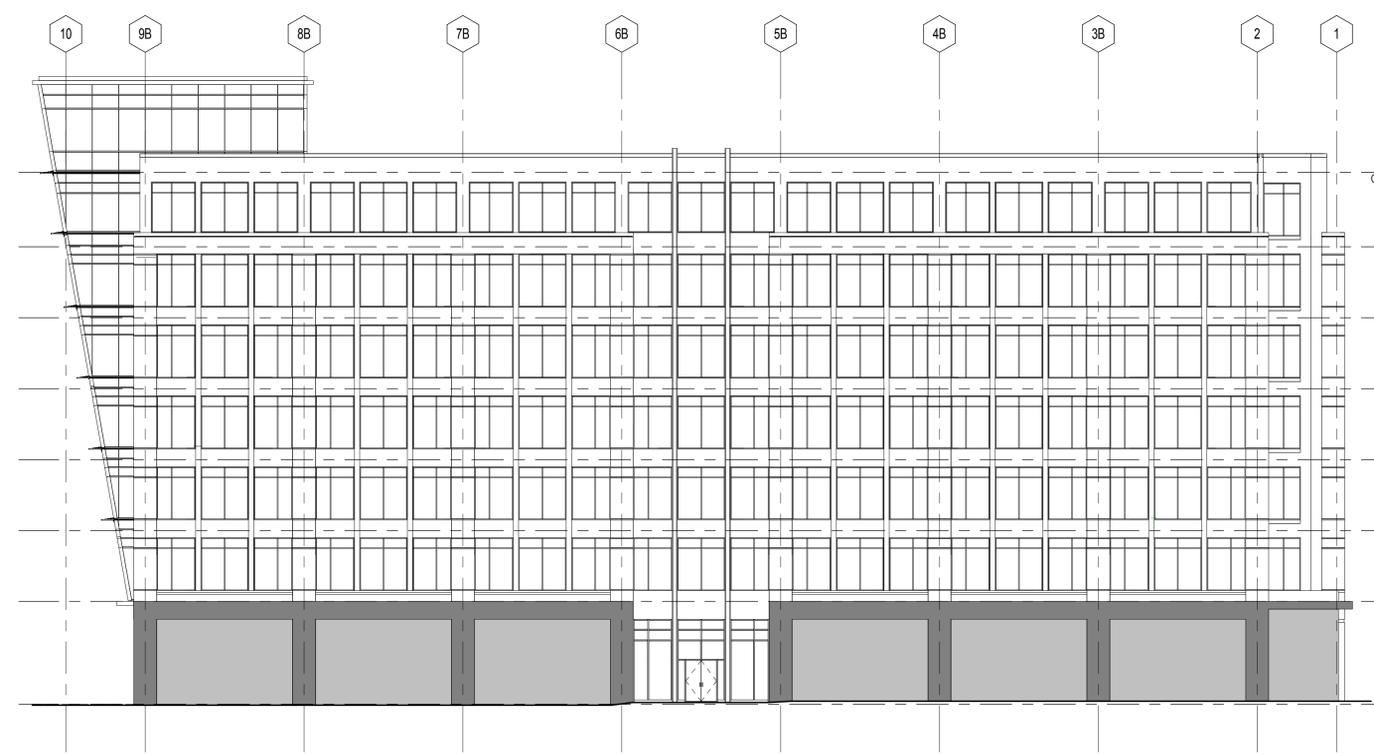
- SOLID
- VOID



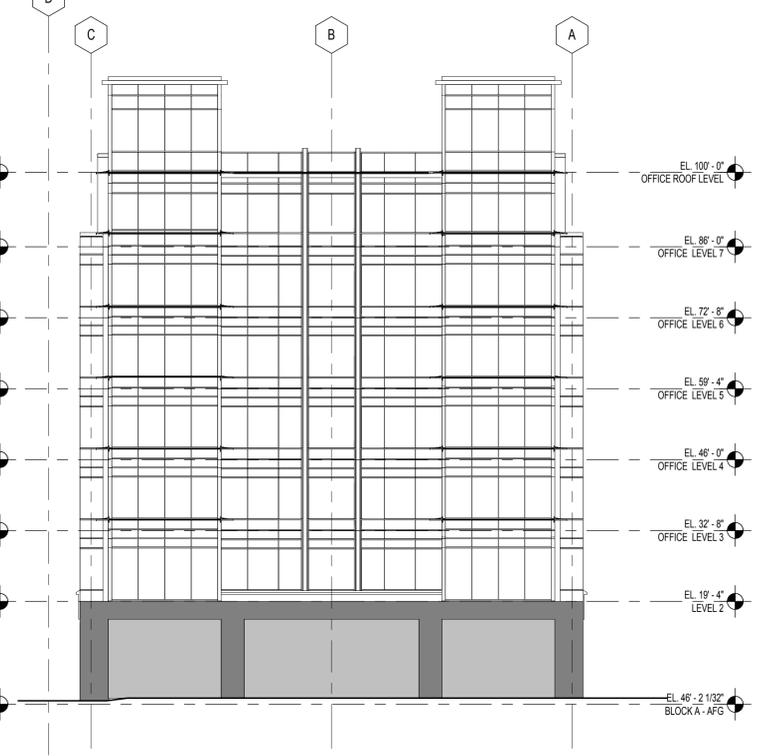
3 VOID CALCULATION - RETAIL - PLAZA
A6.05 SCALE: 1/16" = 1'-0"



4 VOID CALCULATION - RETAIL - OAKVILLE
A6.05 SCALE: 1/16" = 1'-0"



1 VOID CALCULATION - RETAIL - SWANN
A6.05 SCALE: 1/16" = 1'-0"



2 VOID CALCULATION - RETAIL - ROUTE 1
A6.05 SCALE: 1/16" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

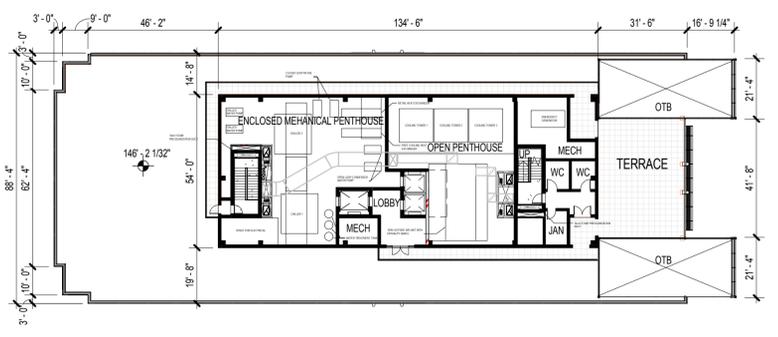
PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 RETAIL DRAWING: RETAIL VOID PERCENTAGE CALCULATION
at 1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:58:05 PM



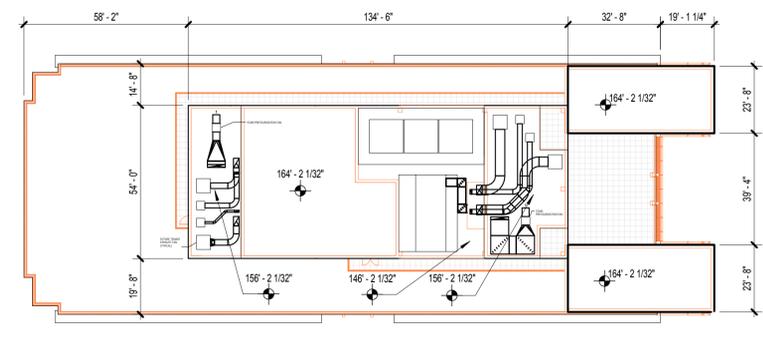
SCOPE DOCUMENTS

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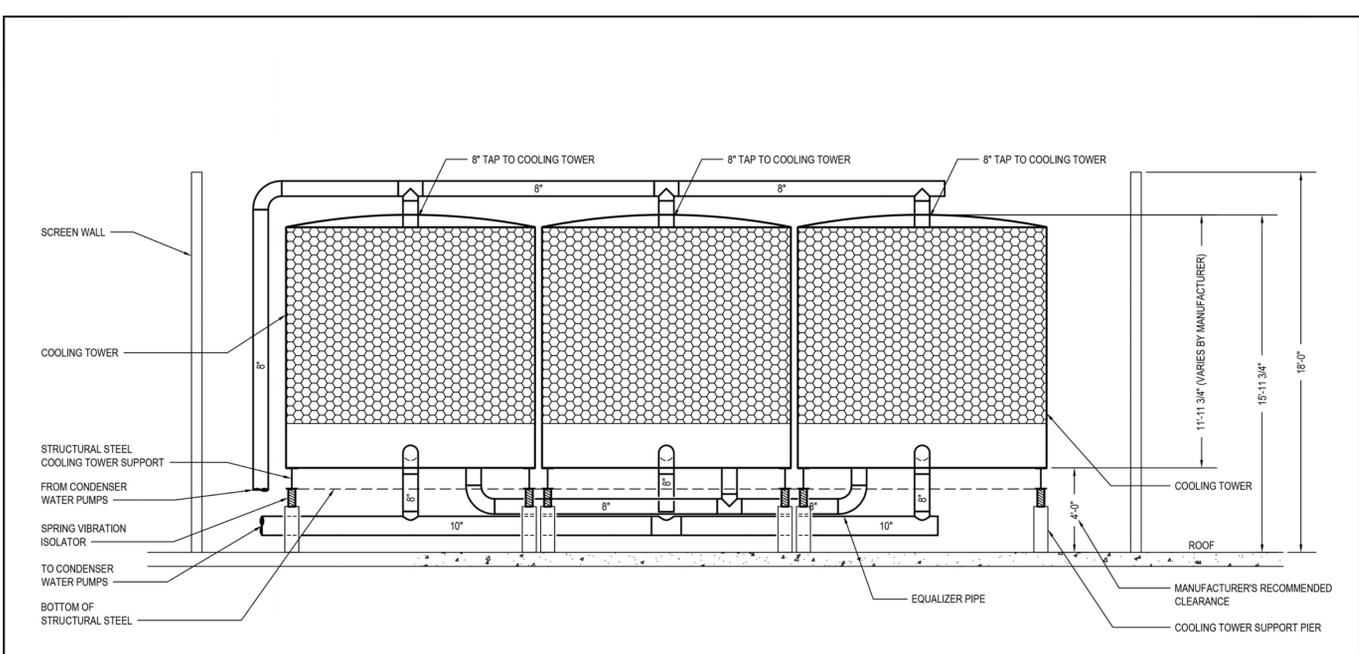
ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



1 FLOOR PLAN - ROOF LEVEL KEY
A6.07 SCALE: 1" = 30'-0"



2 FLOOR PLAN - ROOF PLAN KEY
A6.07 SCALE: 1" = 30'-0"



1 SECTION THROUGH COOLING TOWER ENCLOSURE
NOT TO SCALE

JSE Jordan & Skala Engineers
11440 Commerce Park Drive, Suite 200
Reston, VA 20191
V: (703) 483-3730 F: (703) 483-3726
Project Number - 1550383 Drawn By: SDW Checked By: SDW

OAKVILLE
ALEXANDRIA, VA

REFERENCE DWG:	SCALE:
---	1/4"=1'-0"
DATE:	2016.07.11
REVISION:	---
SK-M1	

Baltimore Aircoil Company, Inc.
Cooling Tower Selection Program

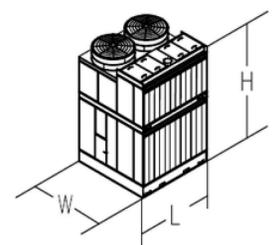
Version: 8.7.3 NA
Product data correct as of: June 30, 2016
Project Name: Oakville
Selection Name: 3 cell tower under 13'
Project State/Province: Maryland
Project Country: United States
Date: July 06, 2016

Model Information
Product Line: New Series 1500
Model: S15E-1212-07JN
Number of Units: 3
Fan Type: Whisper Quiet Fan
Fan Motor: (2) 7.50 = 15.00 HP/Unit
Total Standard Fan Power: Full Speed, 15.00 BHP/Unit
Intake Option: None
Internal Option: None
Discharge Option: None

Design Conditions
Flow Rate: 1,700.00 USGPM
Hot Water Temp.: 98.00 °F
Cold Water Temp.: 83.00 °F
Wet Bulb Temp.: 78.00 °F
Tower Pumping Head: 4.85 psi
Reserve Capability: 0.13 %

Thermal performance at design conditions and standard total fan motor power is certified by the Cooling Technology Institute (CTI).

Engineering Data, per Unit
Unit Length: 11' 11.75"
Unit Width: 11' 10.00"
Unit Height: 12' 00.50"
Air Flow: 66,220 CFM
Approximate Shipping Weight: 6,640 pounds
Heaviest Section: 6,640 pounds
Approximate Operating Weight: 14,490 pounds
Heater kW Data (Optional)
0°F (-17.8°C) Ambient Heaters: (1) 12 kW
-20°F (-28.9°C) Ambient Heaters: (1) 16 kW

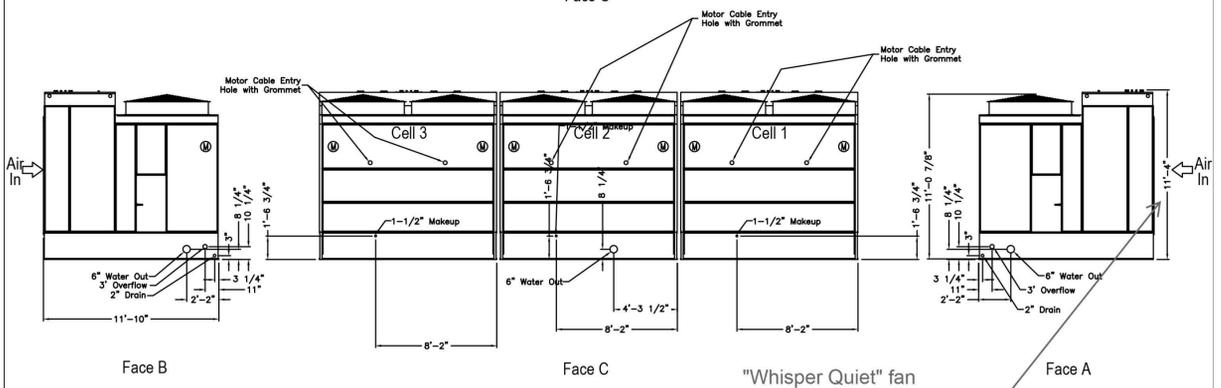
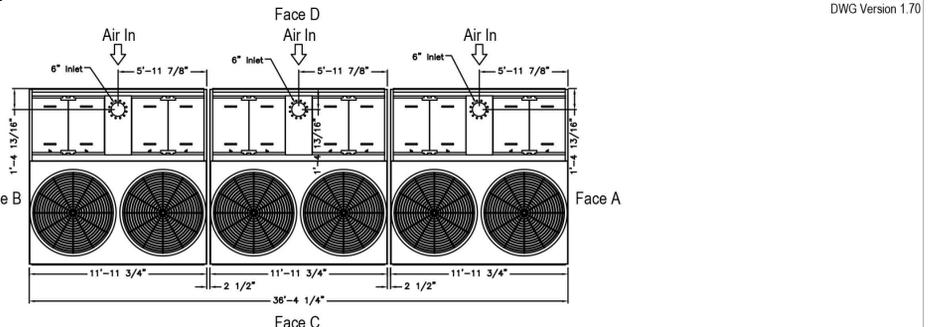


Minimum Distance Required for Single Unit:
(For multiple units, refer to Layout Guidelines)
From Solid Wall: 6.5 ft.
From 50% Open Wall: 3 ft.
Energy Rating:
66.79 per ASHRAE 90.1, ASHRAE 189 and CA Title 24.

Note: These unit dimensions account for the selected fan type for the standard cataloged drive configuration, but they do not account for other options/accessories. Please contact your local BAC sales representative for dimensions of units with other options/accessories.

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- Notes
- 1) All dimensions are in feet and inches. Weights are in pounds and include options and accessories.
 - 2) Unless otherwise indicated, pan connections 3" and smaller are MPT. Pan Connections 4" and larger are grooved to suit a mechanical coupling and beveled for welding. Inlet is Studded Bolt Circle for mating to a 150# class ASME Flange. Make-Up connection is FPT.
 - 3) Field piping should be fabricated at time of installation. Pre-fabrication of pipe work is not recommended.
 - 4) Do not support piping from unit connections. All necessary piping supports to be supplied by others.
 - 5) For weight loadings and support requirements, refer to the suggested unit support drawing.
 - 6) The area above the fan discharge must be unobstructed.
 - 7) Due to height limitations on truck shipments, some items shown may ship loose for field installation.
 - 8) Dimension to the top of the fan guard reflect all additional cowl extensions.
 - 9) Conduit must be water tight and pitched downward to allow condensation to drain away from fan motor conduit box. Therefore, do not run the conduit through fan deck.



Model Number	Shipping Weight	Operating Weight	Heaviest Section
S15E-1212-07JN-3	18930	42480	6310

ORDER NO: **27736_S15E-1212-07JN-3**
DATE: **7/6/2016 4:33:28 PM**



Series 1500 3 Cell Unit Print
DRAWING NUMBER:
UP-27736_S15E-1212-07JN-3

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DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES	
SITE PLAN No.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.

OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA
PENTHOUSE HEIGHT

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	08/15/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A6.07

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 PENTHOUSE HEIGHT REVITUSERS BLOCK A1 ALL GLASS 10 DEGREE TOWER 20140051_2015_BLOCK
A1_elevation_all glass 10 degree tower_oklaka.rvt
8/12/2016 6:58:25 PM



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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS II PLAN	08/15/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

ENCROACHMENT PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

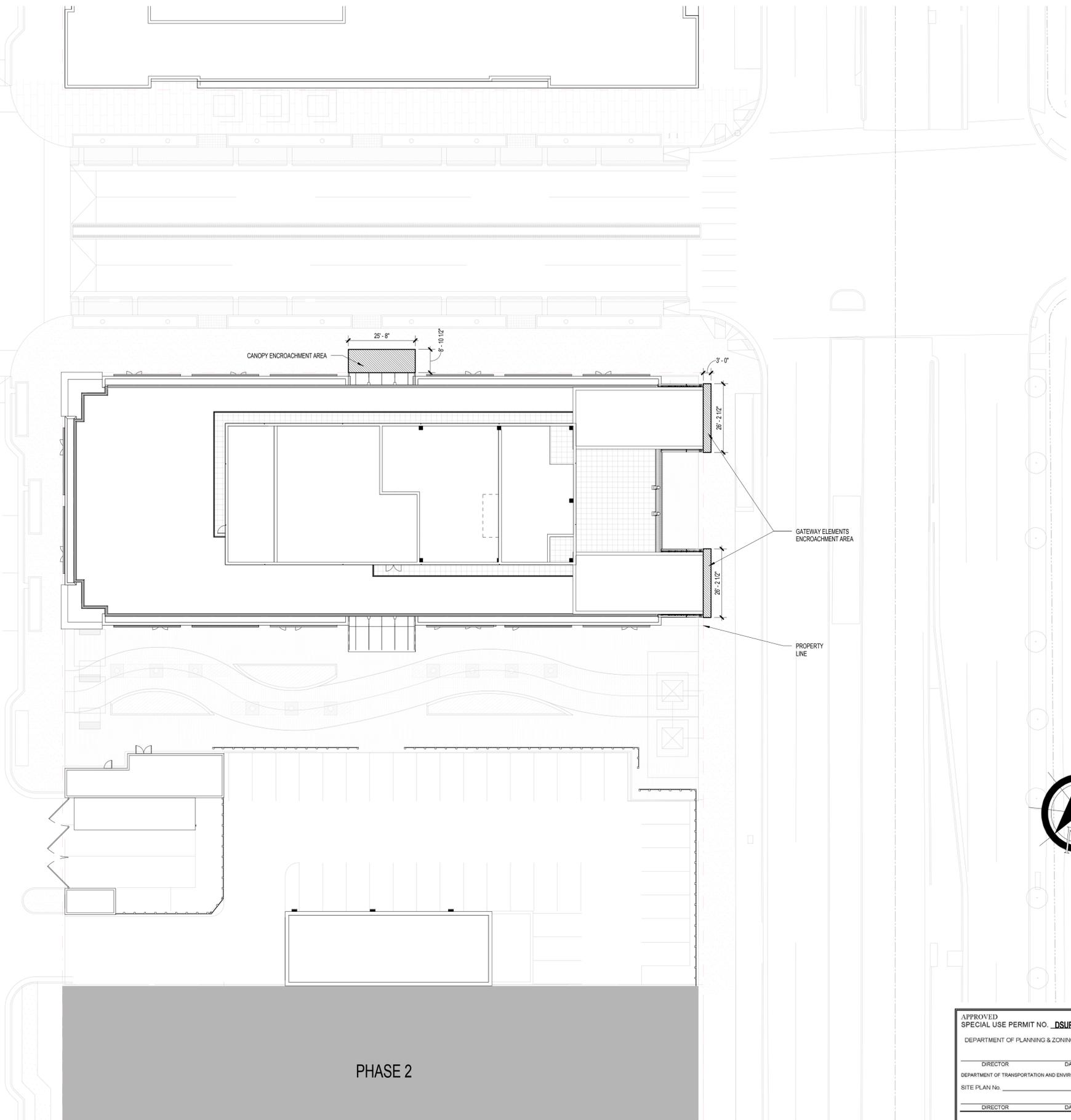
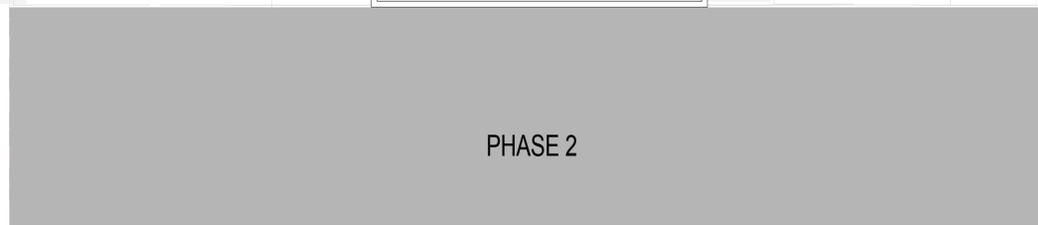
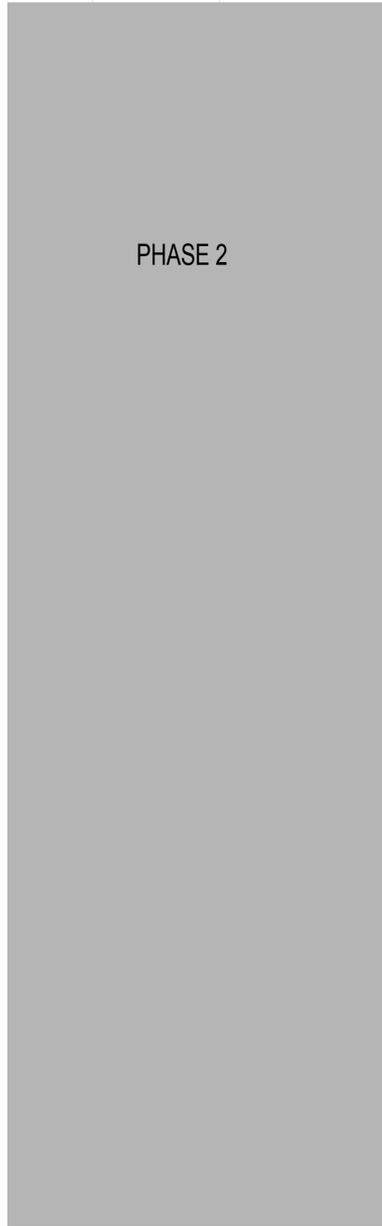
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	08/15/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

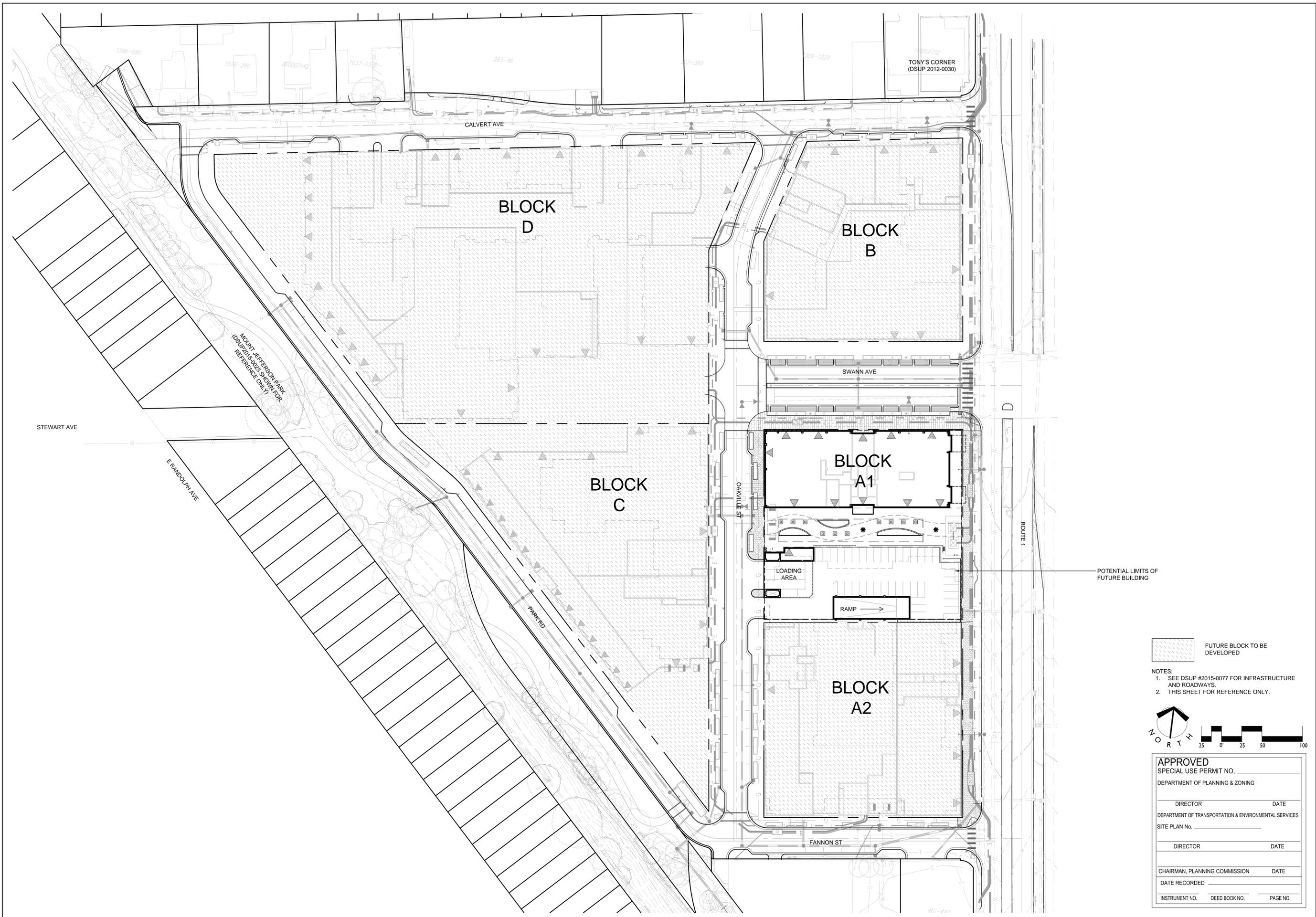
A6.08

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 ENCROACHMENT PLAN
at_1_elevation_all glass 10 degree tower_okiaka.rvt
8/12/2016 6:58:34 PM

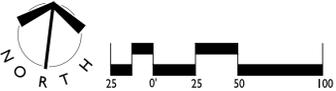


1 ENCROACHMENT PLAN
A6.08 SCALE: 1" = 20'-0"



 FUTURE BLOCK TO BE DEVELOPED

- NOTES:
1. SEE DSUP #2015-0077 FOR INFRASTRUCTURE AND ROADWAYS.
 2. THIS SHEET FOR REFERENCE ONLY.



APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION _____ DATE _____		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____



OAKVILLE - BLOCK A1
PRELIMINARY PLAN
 StonebridgeCarras, City of Alexandria, VA
REFERENCE PLAN

REVISIONS:
 04/08/2016 & CONCEPT I.I
 07/12/2016 & PRELIMINARY PLAN

1.0 GENERAL NOTES:

1.1 THIS PLAN IS FOR LANDSCAPE AND HARDCAPE ONLY.

1.2 UTILITIES: THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, AND NOTIFY MISS UTILITY OR EQUIVALENT UTILITY LOCATION COMPANY OF THE PROPOSED CONSTRUCTION. IN ADDITION, THE CONTRACTOR IS TO BE NOTIFIED WHICH UTILITIES, INCLUDING STORM AND SANITARY SEWERS ARE LOCATED IN THE VICINITY OF THE PROPOSED WORK. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND STAKING THE LOCATION OF ALL EXISTING UTILITIES AND PROTECTING THEM DURING THE WORK AND SHALL BEAR ANY COSTS TO REPAIR UTILITIES DAMAGED AS A CONSEQUENCE OF HIS WORK.

1.3 REQUIREMENTS: ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS.

1.4 PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM HIS FAILURE TO COMPLY.

1.5 APPLICABLE STANDARDS: ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE OWNER SHALL RECEIVE TAGS FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY OR CULTIVAR PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

ALL LANDSCAPING AND TREE PLANTINGS REQUIRED BY THIS PLAN SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS PRODUCED BY THE AMERICAN ASSOCIATION FOR NURSERYMEN; WASHINGTON, DC. ALL LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION AND REPLACED AS NEEDED.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LANDSCAPE SPECIFICATIONS GUIDELINES CURRENT (5TH) EDITION AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION (LCA) OF MARYLAND, THE DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.

1.6 SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT AND THE CITY OF ALEXANDRIA. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE, AND THE CHANGES IN COST.

1.7 QUANTITIES: QUANTITIES OF PLANTS AS SHOWN BY PLANT SYMBOLS ON THE PLAN SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT LIST. THE CONTRACTOR IS TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION.

1.8 PLANTING SEASON: PLANTING SHALL ONLY OCCUR DURING SPECIFIED PLANTING SEASONS. SPRING SEASON SHALL BE FROM MARCH 15 TO JUNE 15. FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 THROUGH NOVEMBER 15. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.

1.9 GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING GRASSING, FOR ONE FULL YEAR. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE DURING THE GUARANTEE PERIOD.

1.10 DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY BY THE CONTRACTOR, REGARDLESS OF THE SEASON. THE CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.

1.11 PLANT MATERIAL REMOVAL: NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER EXCEPT WHERE NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON PLANS.

2.0 PLANTS:

2.1 ALL PLANTS WILL BE NURSERY GROWN. THEY SHALL BE TYPICAL OF THEIR SPECIES, CULTIVAR OR VARIETY. THEY SHALL BE SOUND, HEALTHY, AND VIGOROUS, AND SHALL BE FREE OF DISEASE AND ANY EVIDENCE OF INSECTS. IF IN LEAF, THEY SHALL BE DENSELY FOLIATED, WITHOUT LEAF SPOTS, DISCOLORATION, CURL, WILTING, CHLOROSIS OR DAMAGE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. UNLESS SPECIFIED ON THE PLANT LIST, TREES WITH BROKEN, CROOKED OR MULTIPLE LEADERS WILL NOT BE ACCEPTED. TREES WILL BE REJECTED IF THEY HAVE BARK ABRASIONS, SUN SCALD DAMAGE, DISFIGURING KNOTS OR PRUNING CUTS MORE THAN 1-1/4 INCHES IN DIAMETER WHICH HAVE NOT COMPLETELY GROWN OVER.

2.2 BALLED AND BURLAPPED (B&B) MATERIAL: BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS, AND MEET THE MINIMUM AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, LATEST EDITION. ROOT BALLS OF PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST.

2.3 CONTAINER GROWN MATERIAL: ROOTBALL MASS WHICH IS LOOSE WITHIN CONTAINER, OR WHICH IS SMALLER THAN THE CONTAINER WHEN REMOVED, SHALL BE REJECTED. PEAT OR FIBER POTTED PLANTS SHALL BE ROOTED THROUGH ALL SIDES AND BOTTOM OF THE POTS.

2.4 SHADE TREES: CALIPER SHALL BE MEASURED AT SIX (6") INCHES ABOVE THE ROOTBALL. HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.

2.5 SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.

2.6 MINIMUM SIZES: SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED.

2.7 MULCH: IS TO BE DOUBLE SHREDDED HARDWOOD BARK.

2.8 TOPSOIL: ACCEPTABLE TOPSOIL SHALL BE A FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER EXTRANEIOUS MATTER OVER 1 INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT.

2.9 ORGANIC AMENDMENTS: IF ADDITIONAL ORGANIC MATERIAL IS REQUIRED, COMPOST, LEAF MOLD, ECOLOGY - A LOW PH COMPOSED SEWAGE SLUDGE PRODUCT, OR OTHER APPROVED ORGANIC MATERIAL SHALL BE THOROUGHLY DISCED INTO THE TOPSOIL AREA.

3.0 INSTALLATION

3.1 VERIFY GRADES: PRIOR TO PLANTING, THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLANT PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL GRADING.

3.2 STAKE PLANT LOCATIONS: PRIOR TO PLANTING, THE CONTRACTOR SHALL LAY OUT THE EXTENT OF PLANT BEDS, AND THE PROPOSED LOCATIONS FOR B&B PLANTS FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.

3.3 PLANTING FIELD ADJUSTMENTS: THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.

3.4 TOPSOIL INSTALLATION: TOPSOIL SHALL BE SPREAD TO FINISH GRADE OVER THE ENTIRE ROUGH GRADED AREA TO BE LANDSCAPED. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 6" AND WORKED INTO THE TOP 12" OF SOIL. AFTER TOPSOIL IS APPLIED, THE SOIL SHALL BE SCARIFIED AS NEEDED TO BREAK UP ANY REMAINING COMPACTION.

3.5 PLANTING: BACKFILL THE PLANTING HOLES WITH PLANTING BACKFILL MIX. REMOVE ALL STONES, ROOTS AND OTHER DEBRIS GREATER THAN 1-1/2" IN DIAMETER. FOLLOWING THE BACKFILLING, WATER TO THE POINT OF SOIL SATURATION AND TAMP TO COMPACT THE BACKFILL MIXTURE. ADD EXISTING SOIL TO BRING THE FINAL GRADE IN THE PLANTING HOLE TO THE SURROUNDING SOIL SURFACE. RAKE THE UNUSED EXISTING SOIL OUTSIDE THE PLANTING HOLES, TAKING CARE NOT TO MOUND THE SOIL OR TO SIGNIFICANTLY ALTER THE EXISTING GRADES AND THEN PLACE MULCH ATOP ENTIRE PLANTING HOLE. (SEE APPLICABLE PLANTING DETAILS FOR THICKNESS.)

3.6 WATERING: ALL PLANTS SHALL BE WATERED IMMEDIATELY AFTER PLANTING UNTIL THE SOIL IS SATURATED. PLANTS SHALL BE WATERED A MINIMUM OF EVERY TWO WEEKS, SHOULD THE SOILS DRY, UNTIL ACCEPTANCE BY THE OWNER. DURING DRY CONDITIONS WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT FREE CONDITION.

3.7 EROSION CONTROL: ALL DISTURBED, NON-VEGETATED SLOPES SHALL BE PLANTED WITH AN ANNUAL RYE SOD BEFORE INSTALLATION AT THE RECOMMENDED RATE TO STABILIZE AREA, OR OTHER EQUIVALENT EROSION CONTROL PRACTICE.

3.8 FIELD ADJUSTMENTS: LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN DRAINAGE SWALES.

3.9 TREE STAKING AND GUYING: SHALL BE DONE PER DETAILS IN THIS SET OF LANDSCAPE PLANS. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.

3.10 BURLAP, TAGS AND TWINE: ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL.

3.11 PLANT SPACING: SHRUBS, BULBS AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS AND IN APPLICABLE PLANTING DETAILS.

3.12 SOIL EXCAVATION: ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS IN THIS SET OF LANDSCAPE PLANS.

3.13 INSPECTIONS: THE CONTRACTOR MUST CONTACT THE OWNER AT LEAST 10 WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). THE CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS AND PLANT ANY MISSING PLANTS.

3.14 TREE SPACING MINIMUMS: TREES SHALL BE LOCATED A MINIMUM OF(2) FEET FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.

3.15 MAINTENANCE: MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

4.0 CITY OF ALEXANDRIA REQUIRED NOTES ON DRAWING SUBMISSIONS:

4.1 ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION, INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.

4.2 SPECIFICATION FOR ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION OF ANSI-Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSERYMEN; WASHINGTON, DC. ALL MATERIALS' SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE INDUSTRY STANDARD FOR GRADING PLANT MATERIAL - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).

4.3 THE APPLICANT HAS MADE SUITABLE ARRANGEMENTS FOR PRE-SELECTION TAGGING, PRE-CONTRACT GROWING, OR IS UNDERTAKING SPECIALIZED PLANTING STOCK DEVELOPMENT WITH A NURSERY OR GROWER THAT IS CONVENIENTLY LOCATED TO THE PROJECT SITE. OTHER PROCEDURES THAT WILL ENSURE AVAILABILITY OF SPECIFIED MATERIALS. IN THE EVENT THAT SHORTAGES AND/OR INABILITY TO OBTAIN SPECIFIED PLANTINGS OCCURS, REMEDIAL EFFORTS INCLUDING SPECIES CHANGES, ADDITIONAL PLANTINGS AND MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. ALL REMEDIAL EFFORTS SHALL, WITH PRIOR APPROVAL BY THE CITY, BE PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPORTATION & ENVIRONMENTAL SERVICES.

4.4 IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.

4.5 PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.

4.6 MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED IN PERPETUITY, IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND/OR AS CONDITIONED BY PROJECT APPROVAL.

4.7 A CERTIFICATION LETTER FOR TREE WELLS, TREE TRENCHES AND PLANTINGS ABOVE STRUCTURE SHALL BE PROVIDED BY THE PROJECT'S LANDSCAPE ARCHITECT. THE LETTER SHALL CERTIFY THAT ALL BELOW GRADE CONSTRUCTION IS IN COMPLIANCE WITH APPROVED DRAWINGS AND SPECIFICATIONS. THE LETTER SHALL BE SUBMITTED TO THE CITY ARBORIST AND APPROVED PRIOR TO APPROVAL OF THE LAST AND FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT. THE LETTER SHALL BE SUBMITTED BY THE OWNER/APPLICANT/SUCCESSOR AND SEALED AND DATED AS APPROVED BY THE PROJECT'S LANDSCAPE ARCHITECT.

4.8 AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

5.0 ARCHAEOLOGY

5.1 THE FINAL SITE PLAN, GRADING PLAN, OR ANY OTHER PERMITS INVOLVING GROUND DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL ARCHAEOLOGICAL FIELD WORK HAS BEEN COMPLETED OR THAT AN APPROVED RESOURCE MANAGEMENT PLAN IS IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT 703-746-4399.

5.2 THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

5.3 THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

6.0 STREET TREES

6.1 THE SIZE OF THE STREET TREES SHALL BE 3 - 3 1/4 INCH CALIPER AT THE TIME OF PLANTING.

6.2 TREES SHALL BE LIMBED UP TO 6 FT AS THEY MATURE TO ALLOW NATURAL SURVEILLANCE.

6.3 PROPOSED SHRUBS SHALL BE A MAXIMUM HEIGHT OF 3 FT TO ALLOW NATURAL SURVEILLANCE.

6.4 ALL PRIVATE LOT GRASS AREAS TO BE SOD. OPEN SPACE GRASS AREAS TO BE GRASS.

6.5 REGARDLESS OF QUANTITIES INDICATED ON DRAWINGS, ALL DESIGNATED AREAS SHALL BE FILLED WITH PLANTS AT THE APPROVED SPACING.

7.0 PROTECTION AND PRESERVATION OF EXISTING VEGETATION:

7.1 PROTECTION AND PRESERVATION METHODS

VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL BE ENCLOSED IN A PROTECTION ZONE WHICH ESTABLISHES LIMITS OF CONSTRUCTION DISTURBANCE TO THE ROOT AREA OF DESIGNATED PLANT MATERIAL. ALL PROTECTION ZONES AND MEASURES SHALL BE ESTABLISHED TO THE SATISFACTION OF THE DIRECTOR OF RECREATION, PARKS AND CULTURAL AFFAIRS. FENCING SHALL BE INSTALLED AT THE PERIMETER OF ALL PROTECTION ZONES. FENCING SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT PUBLICATION OF THE 'CITY OF ALEXANDRIA VEGETATION PROTECTION/PRESERVATION DETAIL' APPROVED MATERIALS FOR FENCING SHALL BE IN ACCORDANCE WITH THE FOLLOWING MINIMUM REQUIREMENTS:

- 1) WITHIN 15 FEET OF VEGETATION TO BE PROTECTED/PRESERVED: PROVIDE CHAIN LINK OR WOOD FENCE.
 - 2) EXCEEDING 15 FEET OF VEGETATION TO BE PROTECTED/PRESERVED: PROVIDE PLASTIC OR WOOD 'SNOW-FENCE.'
 - 3) VEGETATION OF SPECIMEN QUALITY, HISTORIC DESIGNATION OR CULTURAL VALUE. PROVIDE EXTRAORDINARY MEASURES TO ENSURE COMPLETE PROTECTION/PRESERVATION.
 - * TYPE OF MATERIAL SPECIFIED MAY VARY DUE TO SITE DISTURBANCE LIMITS AND PROXIMITY TO DESIGNATED VEGETATION. SPECIAL OR PAVED AREAS, SILT, EROSION CONTROL OR GEOTECHNICAL FABRIC MATERIALS ARE NOT ACCEPTABLE FOR USE AS VEGETATION PROTECTION FENCE MATERIALS. AREAS WHICH ENCOMPASS GROUPINGS, OR INDIVIDUAL SPECIMEN VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL NOT BE VIOLATED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY ACTIONS INCLUDING, BUT NOT LIMITED TO:
 - 1) PLACING, STORING OR STOCKPILING BACKFILL OR CONSTRUCTION RELATED SUPPLIES.
 - 2) FELLING TREES INTO THE DESIGNATED AREA.
 - 3) BURNING WITHIN OR IN CLOSE PROXIMITY.
 - 4) MODIFYING SITE TOPOGRAPHY IN A MANNER WHICH CAUSES DAMAGE BY COLLECTION/PONDING OR FLOW CHARACTERISTICS OF SITE DRAINAGE.
 - 5) TRENCHING OR GRADING OPERATIONS.
 - 6) OPERATING EQUIPMENT OR MACHINERY.
 - 7) PARKING OF CONSTRUCTION VEHICLES.
 - 8) TEMPORARY OR PERMANENT PAVING OR IMPERVIOUS SURFACE INSTALLATION.
 - 9) TEMPORARY OR PERMANENT UTILITY CONSTRUCTION INSTALLATION.
 - 10) DISPOSAL OF CONSTRUCTION DEBRIS OR CHEMICAL POLLUTANTS.
- WORK OR CONSTRUCTION RELATED ACTIVITIES WITHIN AREAS DESIGNATED FOR PROTECTION AND/OR PRESERVATION OF EXISTING VEGETATION SHALL BE ACCOMPLISHED ONLY WITH PRIOR APPROVAL OF THE DIRECTOR OF RECREATION, PARKS AND CULTURAL ACTIVITIES.

7.2 MAINTENANCE

VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL RECEIVE AN ENHANCED LEVEL OF MAINTENANCE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, ITEMS SUCH AS: MONITORING HEALTH, GROWTH AND VIGOR OF VEGETATION, SELECTIVE PRUNING, WATERING, FERTILIZATION, INSTALLATION OF MULCH AND IN-LIKE REPLACEMENT OF SEVERELY OR TERMINALLY DAMAGED VEGETATION. MAINTENANCE SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF RECREATION, PARKS AND CULTURAL ACTIVITIES. MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

7.3 REPLACEMENT OF DAMAGED VEGETATION

IN-KIND REPLACEMENT OF DAMAGED EXISTING VEGETATION SHALL BE LOCATED ON PRIVATE OR PUBLIC LANDS TO THE SATISFACTION OF THE DIRECTOR OF RECREATION, PARKS AND CULTURAL ACTIVITIES. * IN-KIND REPLACEMENT OF DAMAGED VEGETATION SHALL AT A MINIMUM BE PERFORMED AT A RATIO OF ONE TREE (IN ACCORDANCE WITH SECTION IV. SPECIFICATION OF PLANT MATERIAL BELOW) PER INCH OF THE SUM TOTAL CALIPER INCH MEASUREMENT OF TREE(S) OR GROUPING OF VEGETATION WHICH ARE DEEMED SEVERELY OR TERMINALLY DAMAGED.* APPLICANT, OWNER OR SUCCESSOR LIABILITY FOR IN-KIND REPLACEMENT OF DAMAGED VEGETATION SHALL EXTEND FOR A PERIOD OF TWO CALENDAR YEARS FROM DATE OF CERTIFICATE OF OCCUPANCY. * FOR THE PURPOSES OF THIS INFORMATION, 'IN-KIND' REFERENCES THE SPECIES, CHARACTER AND PROJECTED MATURE SIZE OF SUBJECT VEGETATION. REMEDY REQUIREMENTS SHALL BE DETERMINED BY THE DIRECTOR OF RECREATION, PARKS AND CULTURAL AFFAIRS AND BASED UPON SEVERITY OF DAMAGE

7.4 TREE PROTECTION NOTE:

THE CONTRACTOR AND/OR THE APPLICANT SHALL FOLLOW RECOMMENDED HORTICULTURAL PRACTICES TO INSURE THE HEALTH AND VITALITY OF THE TREES DESIGNATED FOR PROTECTION PRIOR TO, DURING AND AFTER CONSTRUCTION OF THE PROPOSED HOUSES. IN THE EVENT TREES WHICH ARE PROTECTED, ARE DAMAGED OR DIE, OTHER THAN AS THE RESULT OF DISEASE OR ACTS OF GOD, REPLACEMENT TREES MEASURING 2 1/2" IN CALIPER SHALL BE PLANTED FOR EACH INCH OF CALIPER THAT IS LOST. NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE STORED OR STAGED WITHIN THE DRIP LINES OF TREES DESIGNATED FOR PROTECTION. ANY REQUIRED CONSTRUCTION OCCURRING WITHIN THE DRIP LINE OF TREES DESIGNATED FOR SAVING SHALL FOLLOW THE CITY LANDSCAPE GUIDELINES AS ESTABLISHED BY THE CITY ARBORIST. A COPY OF THE CITY ARBORIST REPORT SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.

7.5 EXISTING STREET NOTE:

EXTRA CARE MUST BE TAKEN WHILE OPERATING CONSTRUCTION EQUIPMENT IN CLOSE PROXIMITY TO THE EXISTING STREET TREES TO BE SAVED.

8.0 SITE SPECIFIC NOTES

8.1 ALL SIDEWALKS ARE CONCRETE UNLESS OTHERWISE NOTED.

8.2 REFER TO STAINS BY CHRISTOPHER CONSULTANTS AND/OR COOPER CARRY FOR ANY ADDITIONAL INFORMATION.

8.3 WHERE STREET TREES CONFLICT WITH UTILITY LINES, UTILITY LINES WILL BE A MINIMUM OF 4' DEEP.

8.4 STREETLIGHT LOCATIONS AND SPECIFICATIONS TO BE FINALIZED BASED ON A PHOTOMETRIC ANALYSIS PERFORMED BY OTHERS FOR FINAL SITE PLAN SUBMISSION.

8.5 TREE CANOPIES TO BE MAINTAINED AT LEAST 6-FEET ABOVE GRADE LEVEL AS THEY MATURE TO ALLOW FOR NATURAL SURVEILLANCE AND SAFETY.

9.0 BMP TREE WELL NOTES

9.1 ALL BMP TREE WELL DETAILS DEPICTED IN THIS SUBMISSION, INCLUDING DESIGN, MATERIALS AND SPECIFICATIONS SHALL BE PER THE CITY OF ALEXANDRIA 'GREEN SIDEWALKS BMP DESIGN GUIDELINES'.

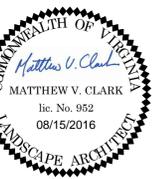
9.2 SOIL SPECIFICATIONS FOR BMP TREE WELLS TO MEET SPECIFICATIONS OUTLINED IN THE CITY OF ALEXANDRIA GREEN SIDEWALKS BMP DESIGN GUIDELINES, AS FOLLOWS:

- A. THE CONTRACTOR SHALL EITHER:
 - I. PROVIDE SOIL FROM THE MIX SPECIFIED IN THE PREFERRED SUPPLIERS LIST (AVAILABLE FROM THE DEPARTMENTS OF PLANNING AND ZONING OR TRANSPORTATION AND ENVIRONMENTAL SERVICES). CERTIFICATION FROM THE SUPPLIER SHALL BE PROVIDED TO THE CITY VERIFYING THE MIX, OR
 - II. PROVIDE SOIL WHICH MEETS THE SPECIFICATIONS BELOW. SOIL TESTING REPORTS SHALL BE PROVIDED TO THE CITY WHICH DEMONSTRATES THAT THE MIX SPECIFICALLY MEETS THE APPROVED SPECIFICATION.
- B. SPECIFICATIONS WHICH SHALL BE MET ARE:
 - I. PH BETWEEN 5.5-6.5
 - II. PARTICLE SIZE ANALYSIS SHOWING BETWEEN 2-4% FINES IN THE SAND MIXTURE
 - III. P INDEX BETWEEN 10%-30%
 - IV. SOIL DRAINAGE RATE BETWEEN 2-3.5 INCHES PER HOUR
 - V. ORGANIC CONTENT OF THE ENTIRE MIX BETWEEN 3-5%. A HIGHER ORGANIC CONTENT MAY BE APPROVED BY THE SATISFACTION OF THE DIRECTORS OF PLANNING AND ZONING AND TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- C. SOIL MEDIA SHALL BE PLACED TO MINIMIZE THE COMPACTION IN LIFTS OF 8 TO 12 INCHES. THE SOIL MEDIA SHOULD BE OVERFILLED BY UP TO 20% TO ALLOW FOR NATURAL SETTLEMENT.
- D. SOIL COMPACTION SHALL BE 75-80% BY PROCTOR.

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____	_____	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
_____	_____	DATE
CHAIRMAN, PLANNING COMMISSION		
_____	_____	DATE
DATE RECORDED _____		
_____	_____	PAGE NO.



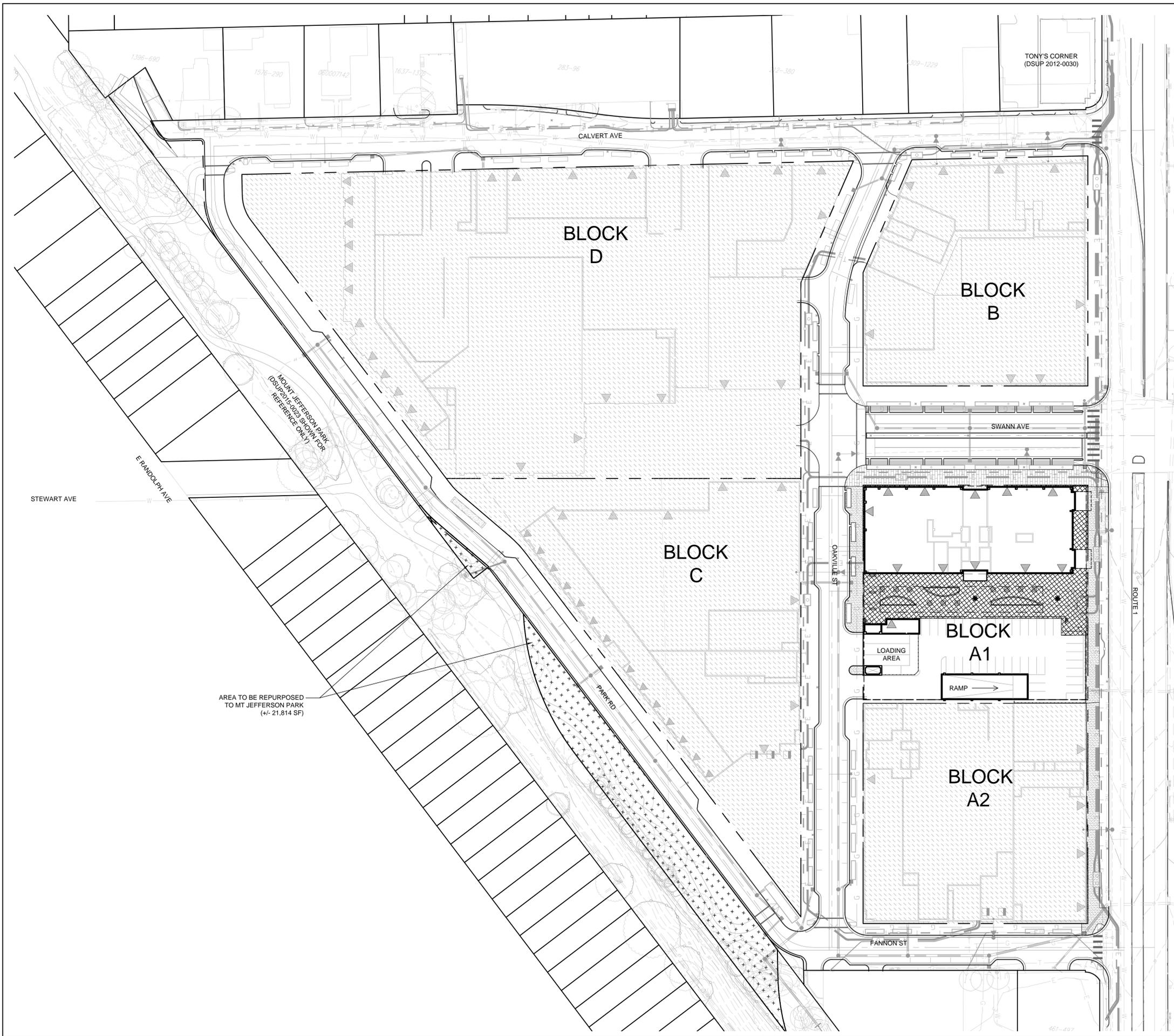
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OAKVILLE - BLOCK A1
PRELIMINARY PLAN
StonebridgeCarras, City of Alexandria, VA
GENERAL NOTES

REVISIONS:
04/08/2016 CONCEPT II
07/12/2016 PRELIMINARY PLAN

DATE: 08/15/2016
DESIGNED BY: GC
DRAWN BY: MBLB
CHECKED BY: MC
C.D. BY: MC
PROJECT #: 2016023
SHEET NUMBER:
11.1



OPEN SPACE CALCULATION

A. OAKVILLE SITE OPEN SPACE CALCULATION

TOTAL SITE AREA (Excluding Public ROW):	469,809 SF (10.785 Ac.)
TOTAL REQUIRED OPEN SPACE (At Grade + Above Grade):	187,924 SF (40%)
TOTAL REQUIRED OPEN SPACE (At Grade):	70,471 SF (15%)

B. OAKVILLE BLOCK A1 OPEN SPACE TABULATION

TOTAL SITE AREA (Block A1/Excluding Public ROW):	22,965 SF (4.9% of total site)
OPEN SPACE PROVIDED (At Grade):	13,338 SF
OPEN SPACE PROVIDED (Above Grade):	0 SF
TOTAL OPEN SPACE PROVIDED (At Grade + Above Grade):	13,338 SF

C. OAKVILLE SITE OPEN SPACE SUMMARY

(NOTE: To be included/updated on each individual block DSUP submission)

TOTAL REQUIRED OPEN SPACE (40%)	AT GRADE(15% Min.)	ABOVE GRADE
ALL BLOCKS (A-D)	70,471 SF	117,453 SF

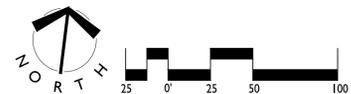
PROVIDED OPEN SPACE	AT GRADE	ABOVE GRADE
BLOCK A - Phase 1	13,338 SF	0 SF
BLOCK A - Phase 2	TBD	TBD
BLOCK B	TBD	TBD
BLOCK C	TBD	TBD
BLOCK D	TBD	TBD
TOTAL PROVIDED OPEN SPACE	13,338 SF	0 SF

NOTES:

- A TOTAL OF 21,814 SF OF GROUND LEVEL OPEN SPACE THAT IS TO BE RE-PURPOSED TO MT. JEFFERSON PARK IS NOT INCLUDED IN TOTAL OPEN SPACE CALCULATIONS.
- OPEN SPACE CALCULATIONS FOR ALL OTHER BLOCKS ARE TO BE PROVIDED IN FUTURE BLOCK-SPECIFIC DSUP SUBMISSIONS.
- THIS PLAN IS FOR BLOCK A1 DSUP SUBMISSION ONLY. ALL OTHER INFORMATION IS SHOWN FOR REFERENCE ONLY.

SYMBOL	NOTES	QTY
	AT GRADE OPEN SPACE PROVIDED IN THIS SUBMISSION	13,338 SF
	ABOVE GRADE OPEN SPACE PROVIDED IN THIS SUBMISSION	0 SF
	AREA TO BE RE-PURPOSED TO MT JEFFERSON PARK DSUP2015-0023	+/- 21,814 SF

FUTURE BLOCK TO BE DEVELOPED



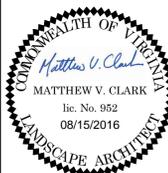
APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED _____		DATE _____
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

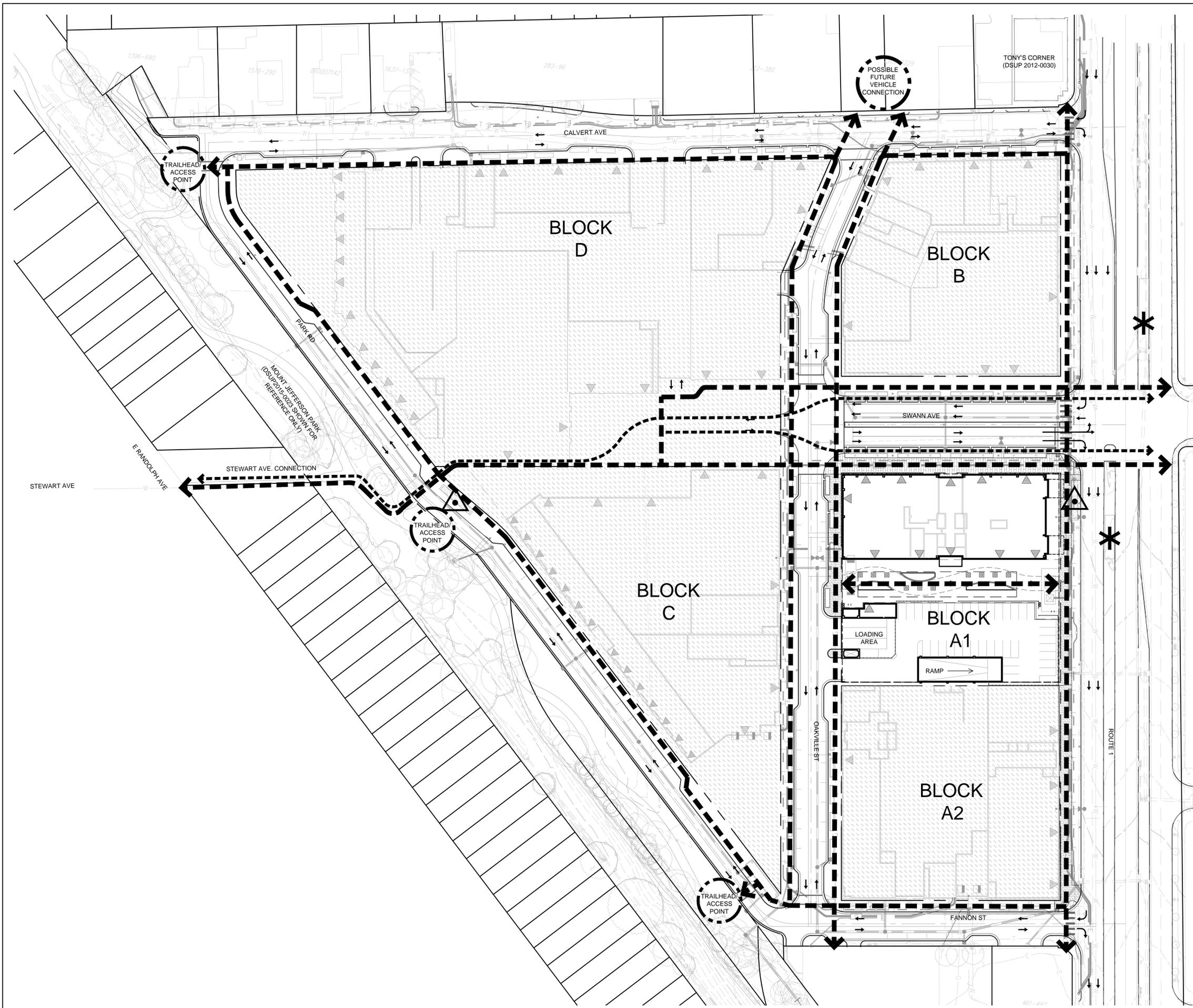
OAKVILLE - BLOCK A1
PRELIMINARY PLAN
 StonebridgeCarras, City of Alexandria, VA
OPEN SPACE EXHIBIT

REVISIONS:
 04/08/2016 & CONCEPT I I
 07/12/2016 & PRELIMINARY PLAN

DATE: 08/15/2016
 DESIGNED BY: G.C.
 DRAWN BY: MBLB
 CHECKED BY: MC
 C.D. BY: P.H.
 PROJECT #: 2016023
 SHEET NUMBER:
LI.2

LandDesign
 200 S. Peyton St., Alexandria, VA 22314
 V: 703.549.7784 F: 703.549.4984
 www.LandDesign.com



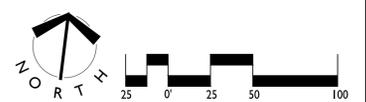


LEGEND

- | SYMBOL | NOTES |
|--------|---|
| | DIRECTION OF EXISTING & PROPOSED TRAFFIC FLOW |
| | PEDESTRIAN CIRCULATION |
| | BIKE CIRCULATION |
| | BUILDING ENTRY |
| | BUS STOP ON TRANSIT LINE |
| | CAPITAL BIKESHARE LOCATION |

- NOTES:
- BIKE ROUTE SIGNAGE LOCATIONS WILL BE COORDINATED IN FUTURE SUBMISSIONS. BIKE ROUTE SIGNAGE WILL BE CONSISTENT WITH CITY OF ALEXANDRIA WAYFINDING PLAN.
 - THIS PLAN IS FOR BLOCK A1 DSUP SUBMISSION ONLY. ALL OTHER INFORMATION IS SHOWN FOR REFERENCE ONLY.

FUTURE BLOCK TO BE DEVELOPED

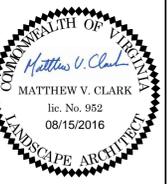


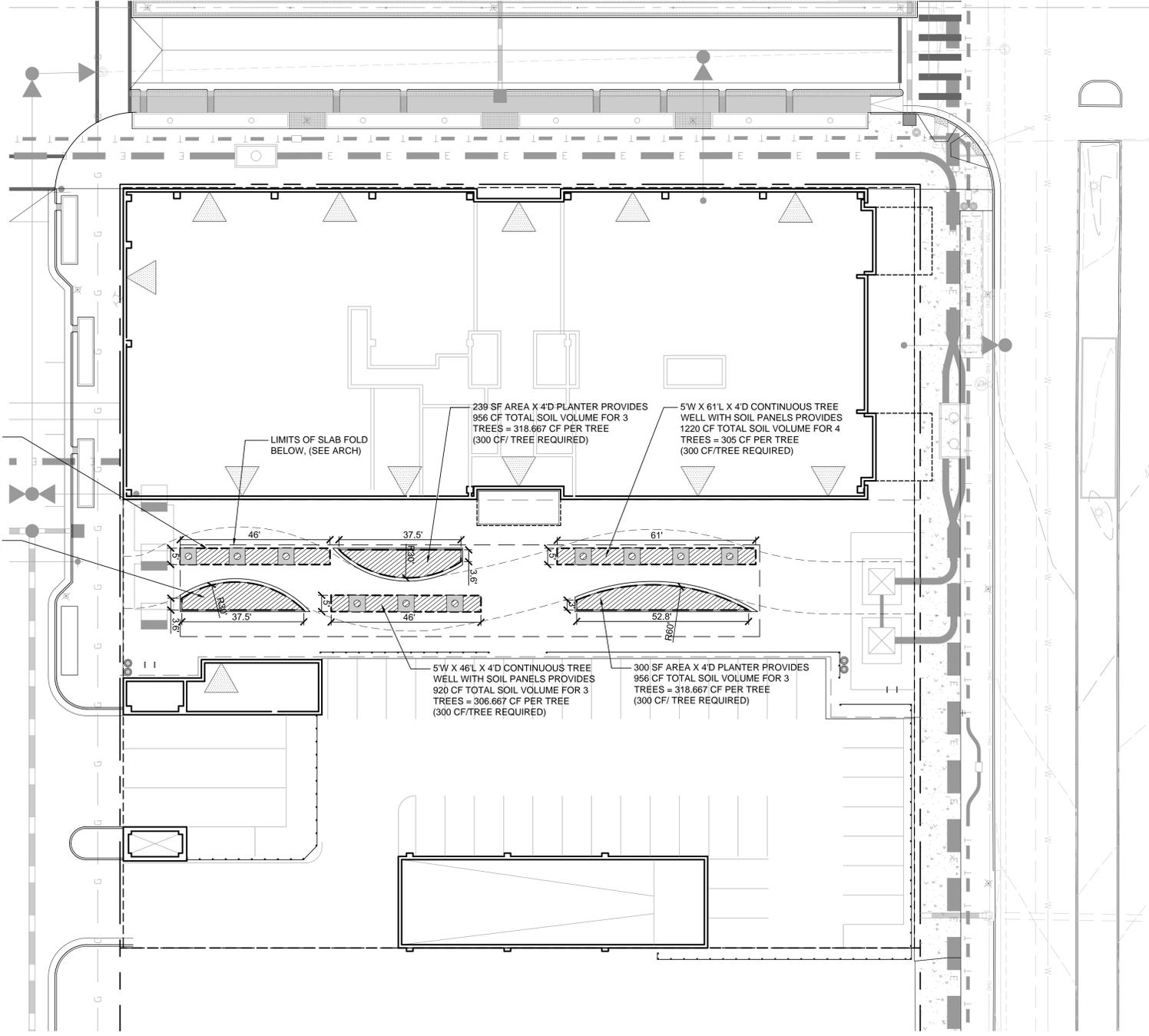
APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION _____ DATE _____		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

OAKVILLE - BLOCK A1
PRELIMINARY PLAN
 StonebridgeCarras, City of Alexandria, VA
CIRCULATION EXHIBIT

REVISIONS:
 04/08/2016 & CONCEPT I.I
 07/12/2016 & PRELIMINARY PLAN

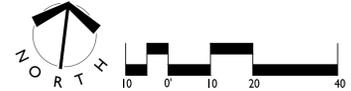
DATE: 08/15/2016
 DESIGNED BY: G.C.
 DRAWN BY: M.B/LB
 CHECKED BY: M.C.
 C.D. BY: M.P.
 PROJECT #: 2016023
 SHEET NUMBER:
LI.3





LEGEND
 LIMITS OF UNCOMPACTED SOIL VOLUME IN TREE WELLS

- NOTES:**
 1. THIS PLAN IS FOR BLOCK A DSUP SUBMISSION ONLY. ALL OTHER INFORMATION IS SHOWN FOR REFERENCE ONLY.
 2. TREES SHOWN WITHIN PLAZA ARE ON TOP OF PARKING DECK STRUCTURE.

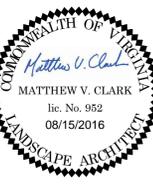


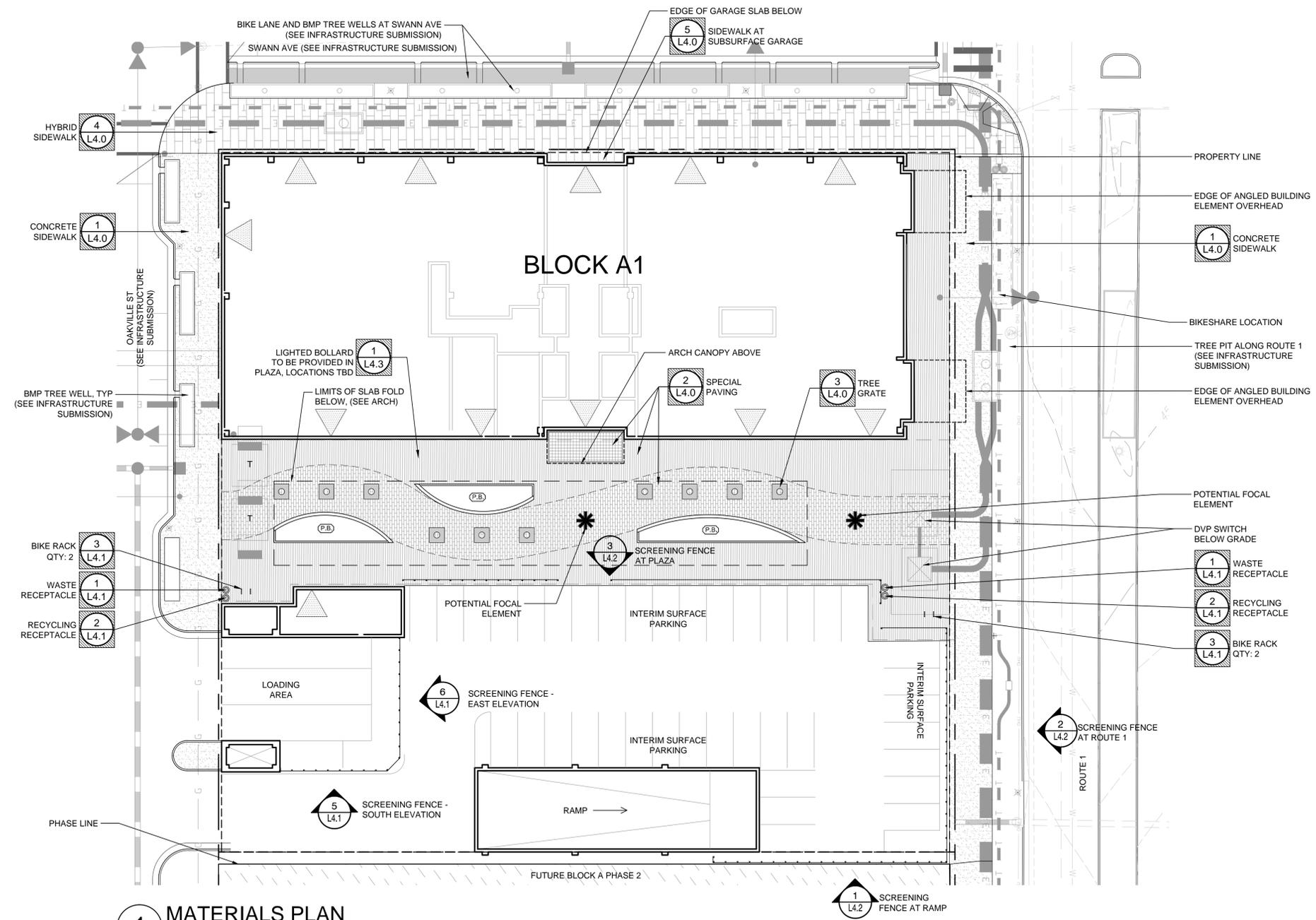
APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED _____		DATE _____
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

OAKVILLE - BLOCK A I
PRELIMINARY PLAN
 StonebridgeCarras, City of Alexandria, VA
SOIL VOLUME EXHIBIT

REVISIONS:
 04/08/2016 & CONCEPT I I
 07/12/2016 & PRELIMINARY PLAN

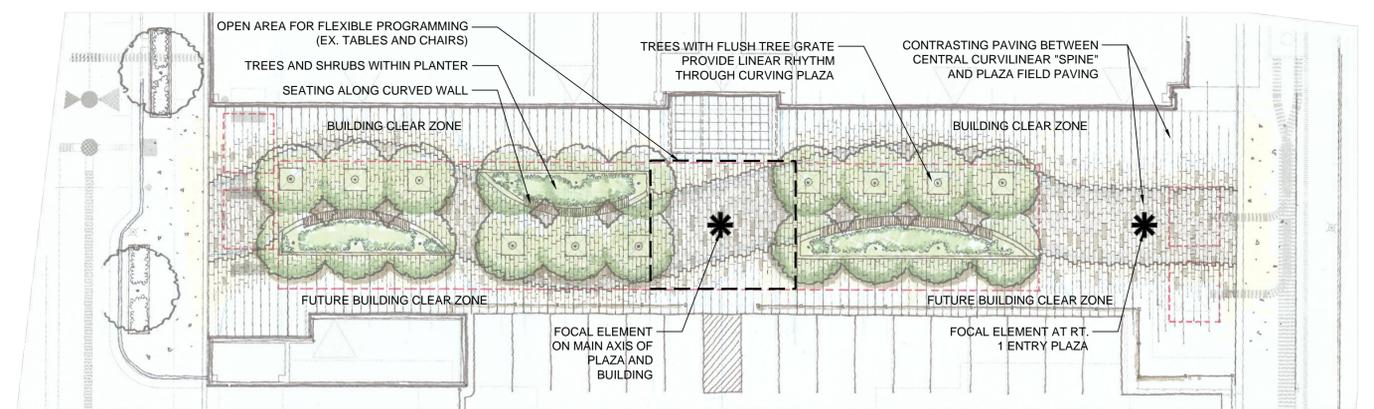
DATE: 08/15/2016
 DESIGNED BY: G.C.
 DRAWN BY: MBLB
 CHECKED BY: MC
 C.D. BY: P.H.
 PROJECT #: 2016023
 SHEET NUMBER:
LI.4





1 MATERIALS PLAN
PLAN

1" = 20'



NOTE: PLAZA RENDERING IS PROVIDED FOR REFERENCE ONLY AND IS CONCEPTUAL IN NATURE TO ILLUSTRATE DESIGN INTENT ONLY.

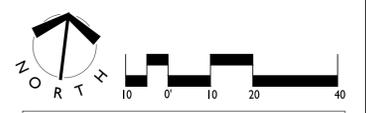
2 PLAZA RENDERING
PLAN

1" = 20'

- BUILDING ENTRANCE
- TRANSFORMER
- WASTE / RECYCLING RECEPTACLES
- POTENTIAL FOCAL ELEMENT
- STREETLIGHT (SEE INFRASTRUCTURE SUBMISSION)
- BIKE RACK
- PLANT BED

SYMBOL	NOTES
	FUTURE BLOCK TO BE DEVELOPED

- NOTES:
- SPECIAL PAVING SELECTIONS TBD AT FINAL DESIGN.
 - THIS PLAN IS FOR BLOCK A1 DSUP SUBMISSION ONLY. ALL OTHER INFORMATION IS SHOWN FOR REFERENCE ONLY.



APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

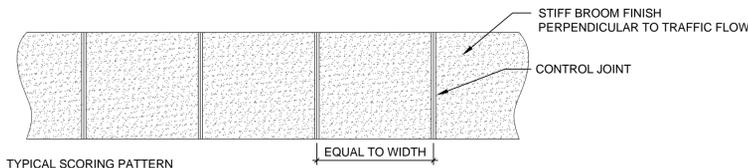
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

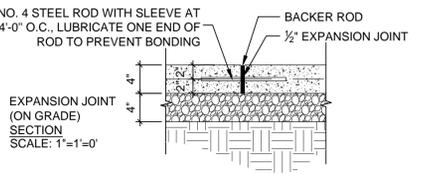
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

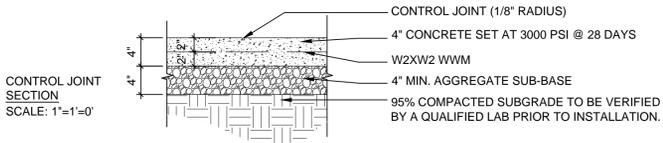
REVISIONS:



TYPICAL SCORING PATTERN
SCALE: 1/4"=1'-0"



EXPANSION JOINT (ON GRADE) SECTION
SCALE: 1"=1'-0"

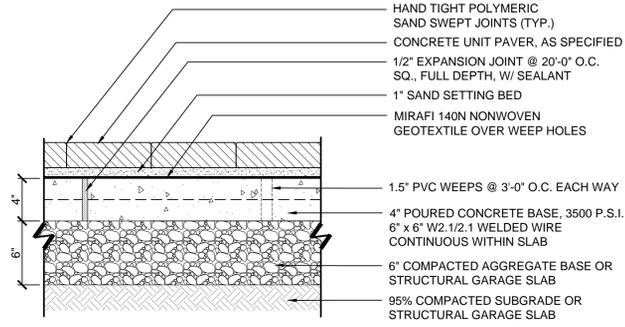


CONTROL JOINT SECTION
SCALE: 1"=1'-0"

- NOTES:
1. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE, AND LOCAL BUILDING CODES.
 2. PRIOR TO CONSTRUCTION, ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL AND/OR GEOTECHNICAL ENGINEER, AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. PROVIDE 1/2" BIT. EXPANSION JOINTS @ 15' O.C. AND WHEN CONCRETE ABUTS A RIGID SURFACE (I.E. WALLS, CURBS, OR A CHANGE OF MATERIALS).
 4. CONTROL JOINTS SHALL BE NO WIDER THAN 5' APART.

1 CONCRETE SIDEWALK

L4.0 SCHEMATIC PLAN / SECTION AS NOTED

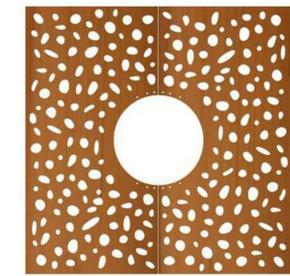


CONCRETE UNIT PAVER
FINAL SIZE, COLOR, AND LAYING PATTERN TBD

2 SPECIAL PAVING

L4.0 SECTION/PICTORAL 1'-1/2" = 1'-0"

- NOTES:
1. OR APPROVED EQUAL
 2. INSTALL PER MANUFACTURER'S SPECIFICATIONS
 3. ALL PAVEMENT DESIGN AND CROSS SECTIONS TO BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON A SITE SPECIFIC GEOTECHNICAL REPORT.
 4. THE 28 DAY COMPRESSIVE STRENGTH FOR THE CONCRETE BASE SHALL BE 3500 P.S.I.



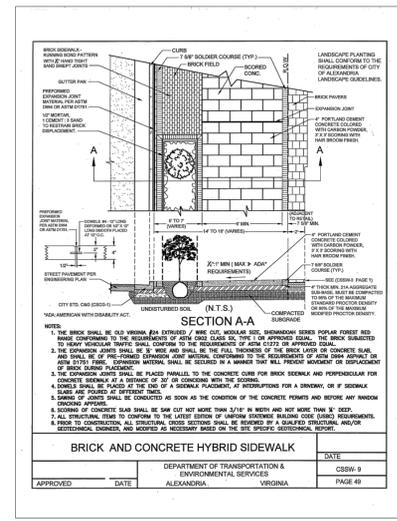
CORTEN TREE GRID PEBBLES SQUARE
MODEL: PEBBLES
DIMENSIONS: 59" X 59"

MANUFACTURER:
STREETLIFE
OUDE SINGEL 144
2312 RG LEIDEN, THE NETHERLANDS
PH: 31(0)71 524 68 46
www.streetlife.nl

- NOTES:
1. OR APPROVED EQUAL
 2. INSTALL PER MANUFACTURER'S INSTRUCTIONS

3 TREE GRATE

L4.0 PICTORIAL NTS

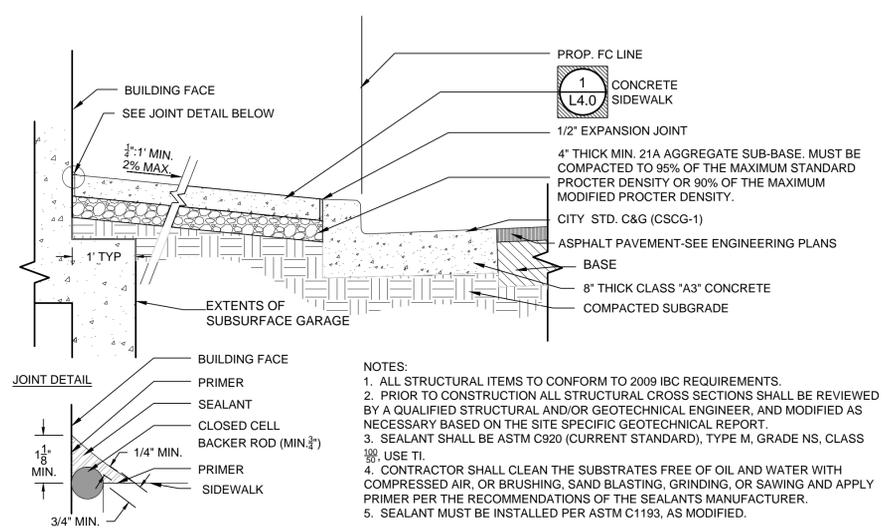


BRICK AND CONCRETE HYBRID SIDEWALK

4 HYBRID SIDEWALK

L4.0 DETAIL NTS

- NOTES:
1. PER CITY STANDARDS
 2. SEE PLANS FOR LOCATION



SIDWALK AT SUBSURFACE GARAGE

5 SIDEWALK AT SUBSURFACE GARAGE

L4.0 TYP. SECTION 3/4" = 1'-0"

- NOTES:
1. ALL STRUCTURAL ITEMS TO CONFORM TO 2009 IBC REQUIREMENTS.
 2. PRIOR TO CONSTRUCTION ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL AND/OR GEOTECHNICAL ENGINEER, AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. SEALANT SHALL BE ASTM C920 (CURRENT STANDARD), TYPE M, GRADE NS, CLASS USE T1.
 4. CONTRACTOR SHALL CLEAN THE SUBSTRATES FREE OF OIL AND WATER WITH COMPRESSED AIR, OR BRUSHING, SAND BLASTING, GRINDING, OR SAWING AND APPLY PRIMER PER THE RECOMMENDATIONS OF THE SEALANTS MANUFACTURER.
 5. SEALANT MUST BE INSTALLED PER ASTM C1193, AS MODIFIED.

APPROVED		
SPECIAL USE PERMIT NO. _____		
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DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED		DATE
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

REVISIONS:
04/08/2016 & CONCEPT I.I
07/12/2016 & PRELIMINARY PLAN
DATE: 08/15/2016
DESIGNED BY: G.C.
DRAWN BY: M.B/LB
CHECKED BY: MC
SCALE: AS SHOWN
PROJECT # 2016023
SHEET NUMBER:
L4.0



WASTE RECEPTACLE MODEL:
IRONSITES MODEL NUMBER SD-42
 (36 GAL.)
 LID: DOME LID
 FRAME COLOR: BLACK

SUPPLIER:
 VICTOR STANLEY INC.
 P.O. BOX DRAWER 330
 DUNKIRK, MARYLAND 20754
 PH: (301) 855-8300
 PH: (800) 368-2573

- NOTES:**
1. RECEPTACLE TO BE MOUNTED IN GROUND PER MANUFACTURERS INSTRUCTIONS.
 2. SEE PLAN FOR QUANTITY AND LOCATIONS.
 3. USE TAMPER RESISTANT HARDWARE.

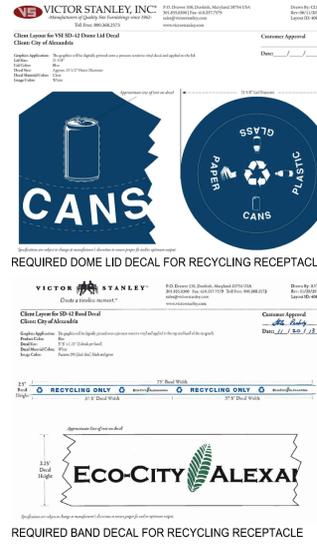


RECYCLING RECEPTACLE MODEL:
IRONSITES MODEL NUMBER SD-42
 (36 GAL.)
 LID: DOME LID
 FRAME COLOR: BLACK
 FRAME COLOR: BLUE
 CITY OF ALEXANDRIA STANDARD DECALS:

- DOME LID: SEE VICTOR STANLEY, LAYOUT ID 4088-02A
- BAND: SEE VICTOR STANLEY, LAYOUT ID 4088-01E

SUPPLIER:
 VICTOR STANLEY INC.
 P.O. BOX DRAWER 330
 DUNKIRK, MARYLAND 20754
 PH: (301) 855-8300
 PH: (800) 368-2573

- NOTES:**
1. RECEPTACLE TO BE MOUNTED IN GROUND PER MANUFACTURERS INSTRUCTIONS.
 2. SEE PLAN FOR QUANTITY AND LOCATIONS.
 3. USE TAMPER RESISTANT HARDWARE.
 4. RECYCLING RECEPTACLES TO INCLUDE CITY OF ALEXANDRIA STANDARD DECALS AS NOTED.



REQUIRED DOME LID DECAL FOR RECYCLING RECEPTACLE

REQUIRED BAND DECAL FOR RECYCLING RECEPTACLE



35: LOOP BIKE RACK
 COLOR: POWDERCOATED METAL STORMCLOUD
 SURFACE MOUNT

MANUFACTURER:
 LANDSCAPE FORMS
 431 LAWDALE AVE
 KALAMAZOO, MI 49048
 PH: 800-430-6209
 www.landscapeforms.com

- NOTES:**
1. OR APPROVED EQUAL
 2. SEE MATERIALS PLAN FOR LOCATION AND QUANTITY
 3. INSTALL PER MANUFACTURERS INSTRUCTIONS
 4. SEE C101 FOR BIKE PARKING TABULATION REQUIREMENTS

1 WASTE RECEPTACLE

L4.1 PICTORIAL

05F-422

NTS

2 RECYCLING RECEPTACLE

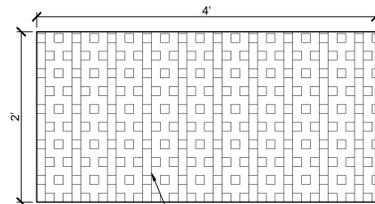
L4.1 PICTORIAL

NTS

3 BIKE RACK

L4.1 PICTORIAL

NTS

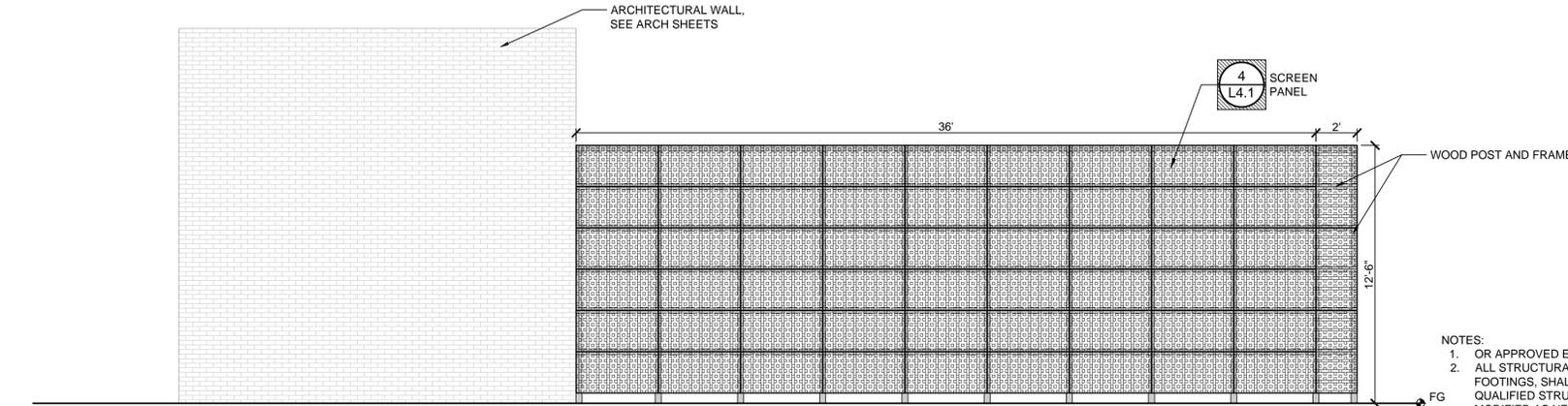


MODULAR DECORATIVE SCREEN PANEL
 PANEL PATTERN DESIGN: TBD
 SIZE: 4' L X 2' W X 5/16" D
 COLOR: TBD
 PRIVACY OPACITY: 90%

PANELS BY:
 OUTDECO
 6300 YARROW DRIVE
 SUITE 101
 CARLSBAD, CA 92011
 PHONE: (760) 444-4193
 EMAIL: INFO@OUTDECOUSA.COM

PATTERN FOR REPRESENTATION ONLY. FINAL PATTERN DESIGN TBD.

- NOTES:**
1. OR APPROVED EQUAL
 2. INSTALL PER MANUFACTURER'S INSTRUCTIONS.



5 SCREENING FENCE - SOUTH ELEVATION

L4.1 ELEVATION

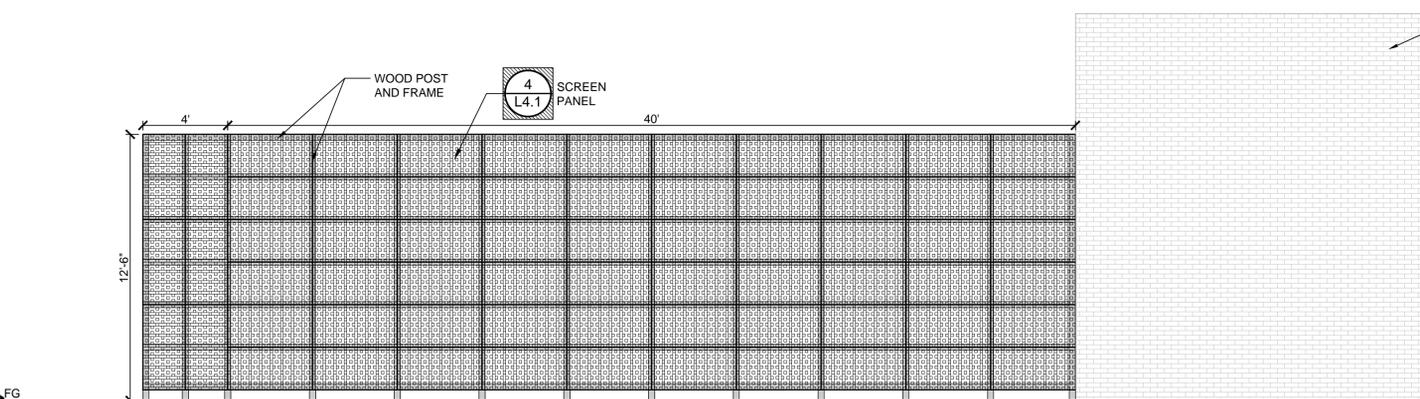
1/4" = 1'-0"

- NOTES:**
1. OR APPROVED EQUAL.
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
 4. THIS DETAIL IS SCHEMATIC ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

4 SCREEN PANEL

L4.1 DETAIL

1" = 1'-0"



6 SCREENING FENCE - EAST ELEVATION

L4.1 ELEVATION

1/4" = 1'-0"

- NOTES:**
1. OR APPROVED EQUAL
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
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SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

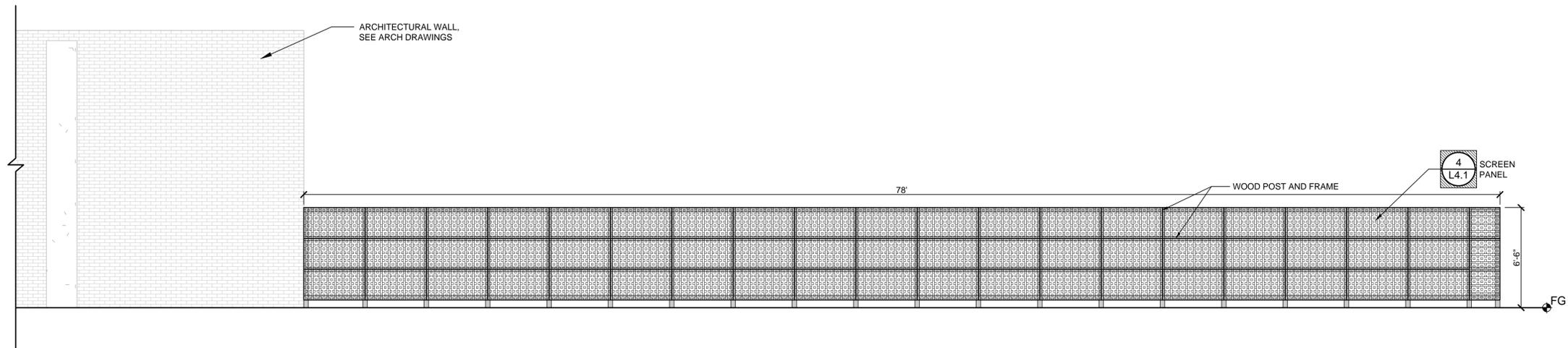
OAKVILLE - BLOCK A1
PRELIMINARY PLAN
 StonebridgeCarras, City of Alexandria, VA
HARDSCAPE DETAILS - SITE FURNISHINGS

REVISIONS:
 04/08/2016 CONCEPT I.I
 07/12/2016 PRELIMINARY PLAN

DATE: 08/15/2016
 DESIGNED BY: G.C.
 DRAWN BY: M.B/LB
 CHECKED BY: MC
 C.C. BY: G.C.
 PROJECT #: 2016023
 SHEET NUMBER:
L4.1

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 200 S. Peyton St., Alexandria, VA 22314
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 www.LandDesign.com

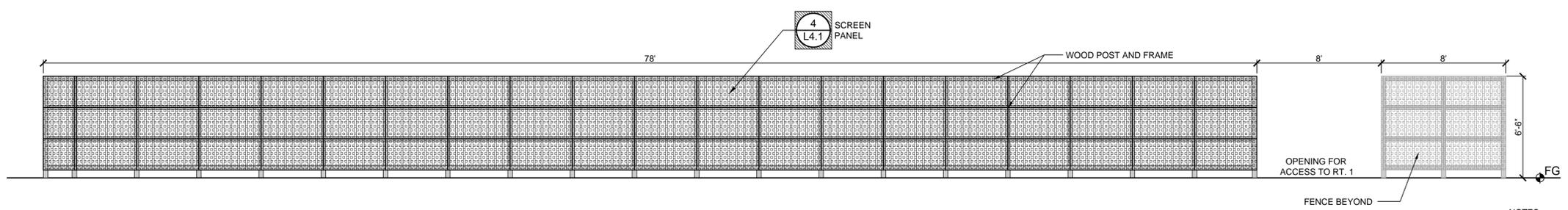




1 SCREENING FENCE AT RAMP
L4.2 ELEVATION

- NOTES:
1. OR APPROVED EQUAL.
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
 4. THIS DETAIL IS SCHEMATIC ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

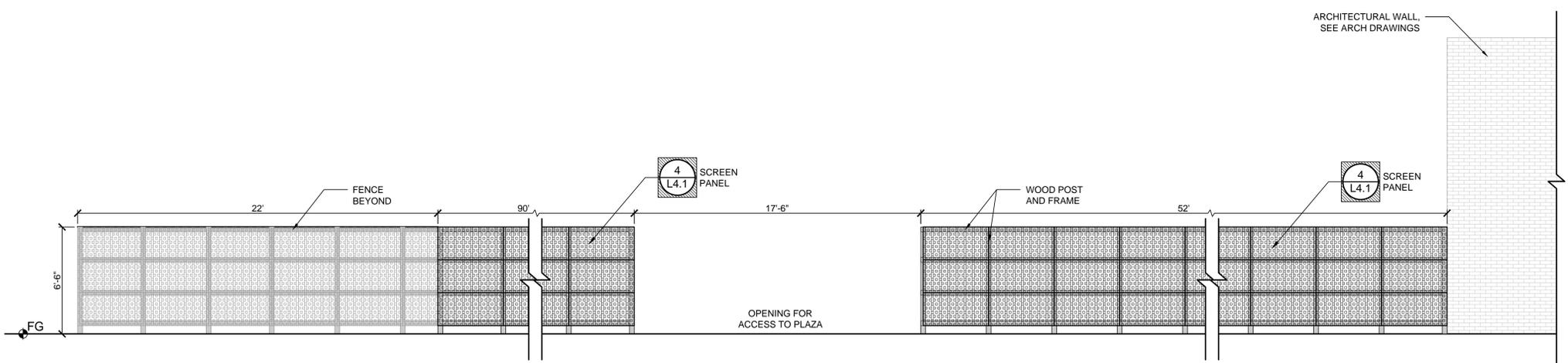
1/4" = 1'-0"



2 SCREENING FENCE AT ROUTE 1
L4.2 ELEVATION

- NOTES:
1. OR APPROVED EQUAL.
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
 4. THIS DETAIL IS SCHEMATIC ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

1/4" = 1'-0"



3 SCREENING FENCE AT PLAZA
L4.2 ELEVATION

- NOTES:
1. OR APPROVED EQUAL.
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
 4. THIS DETAIL IS SCHEMATIC ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

1/4" = 1'-0"

APPROVED SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION _____ DATE _____		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____



35: GUIDE ILLUMINATED BOLLARD
 COLOR: POWDERCOATED METAL STORMCLOUD
 SURFACE MOUNT WITH LED LIGHTING
 POWER SUPPLY: 100V-277V

MANUFACTURER:
 LANDSCAPE FORMS
 431 LAWDALE AVE
 KALAMAZOO, MI 49048
 PH: 800-430-6209
 www.landscapeforms.com

- NOTES:
1. OR APPROVED EQUAL
 2. SEE MATERIALS PLAN FOR LOCATION AND QUANTITY
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT
 4. INSTALL PER MANUFACTURERS INSTRUCTIONS

1 LIGHTED BOLLARD
 L4.3 PICTORAL

NTS

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR	_____ DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
_____ DIRECTOR	_____ DATE	
CHAIRMAN, PLANNING COMMISSION		
_____ DATE RECORDED	_____ DATE	
_____ INSTRUMENT NO.	_____ DEED BOOK NO.	_____ PAGE NO.

REVISIONS:
 04/08/2016 & CONCEPT I I
 07/12/2016 & PRELIMINARY PLAN

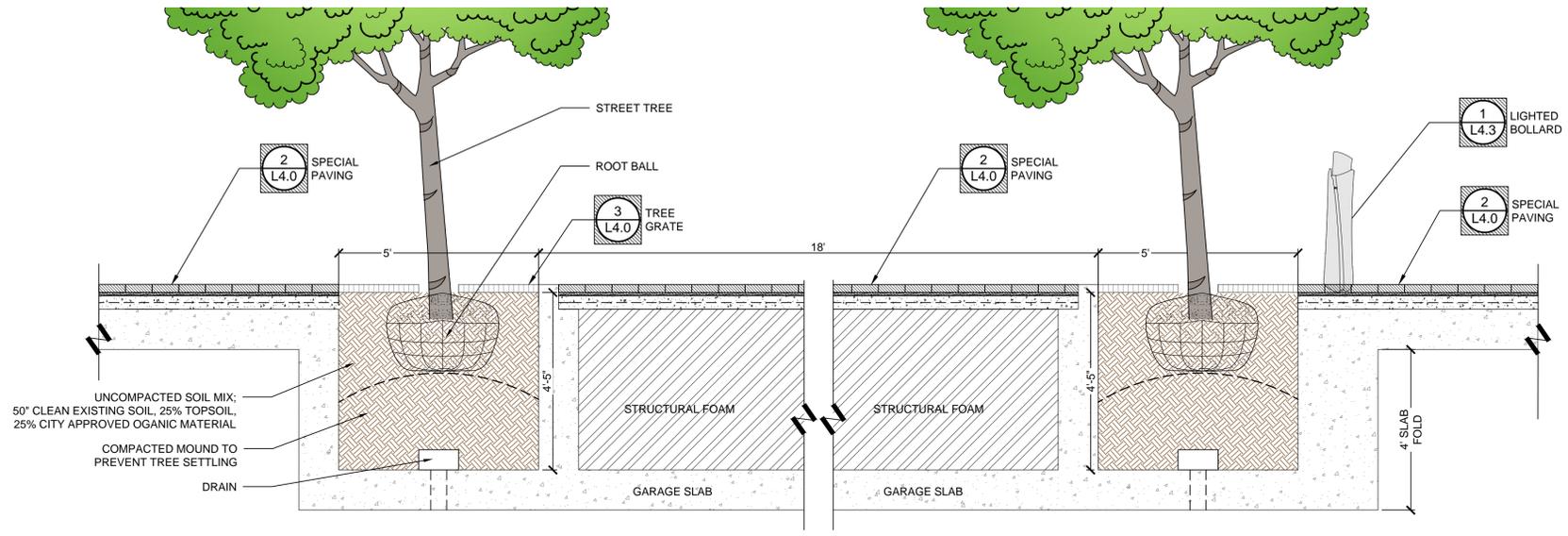
DATE: 08/15/2016
 DESIGNED BY: G.C.
 DRAWN BY: MB/LB
 CHECKED BY: MC
 CAL BY: G.C.
 PROJECT #: 2016023

SHEET NUMBER:
L4.3

**OAKVILLE - BLOCK A1
 PRELIMINARY PLAN**
 StonebridgeCarras, City of Alexandria, VA
HARDSCAPE DETAILS - LIGHTING



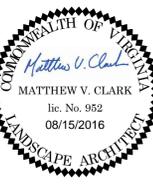
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 200 S. Peyton St., Alexandria, VA 22314
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NOTE: PRELIMINARY SECTION SUBJECT TO CHANGE

1/2" = 1'-0"

1 BLOCK A1 PLAZA
L4.4 SECTION

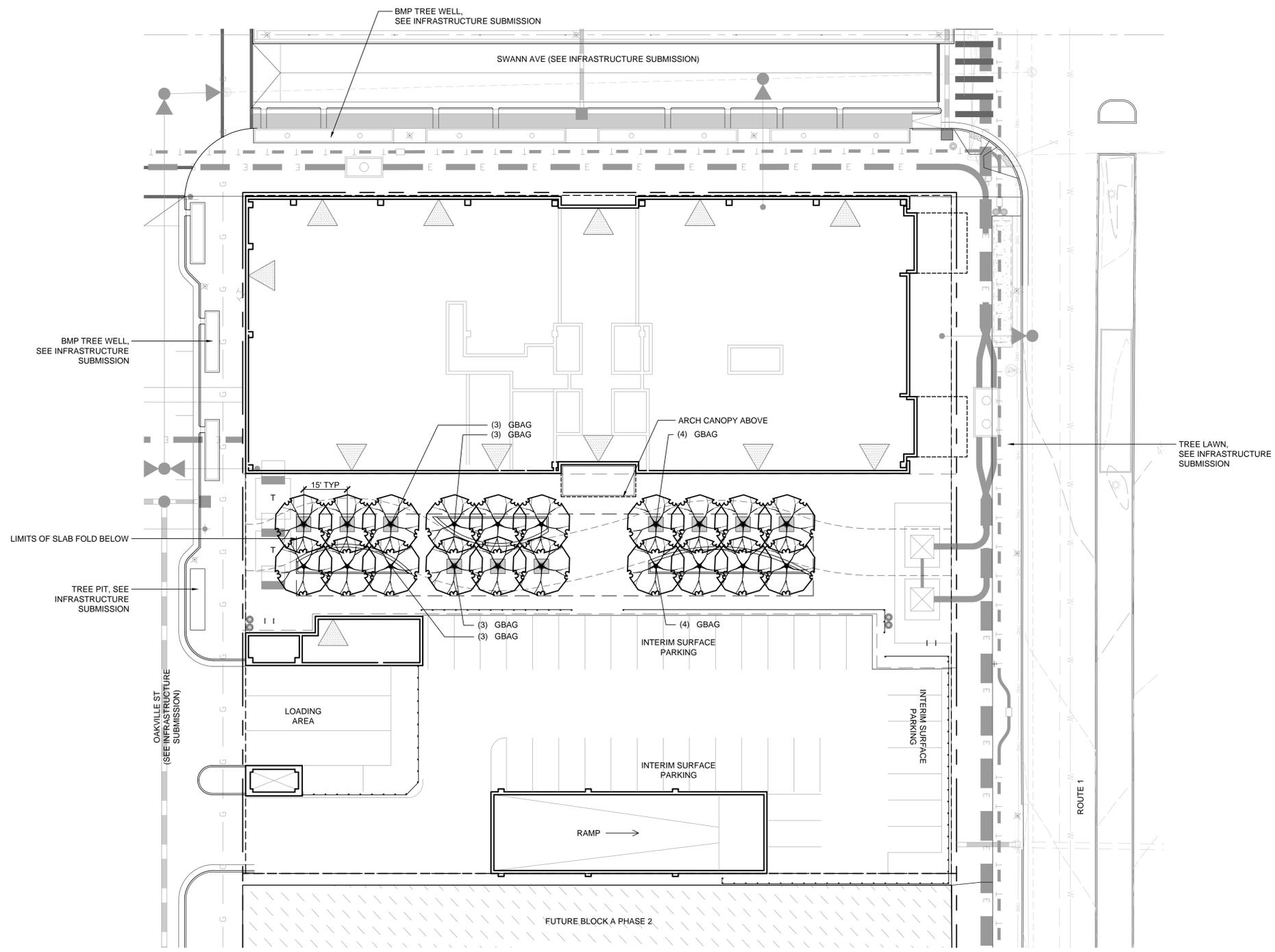


OAKVILLE - BLOCK A1
PRELIMINARY PLAN
StonebridgeCarras, City of Alexandria, VA
HARDSCAPE DETAILS

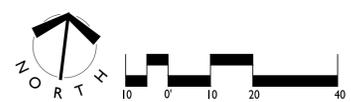
APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR	_____ DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
_____ DIRECTOR	_____ DATE	
CHAIRMAN, PLANNING COMMISSION		
_____ DATE RECORDED	_____ DATE	
_____ INSTRUMENT NO.	_____ DEED BOOK NO.	_____ PAGE NO.

REVISIONS:
04/08/2016 CONCEPT I.I
07/12/2016 PRELIMINARY PLAN

DATE: 08/15/2016
DESIGNED BY: G.C.
DRAWN BY: MB/LB
CHECKED BY: MC
SCALE: AS NOTED
PROJECT #: 2016023
SHEET NUMBER:
L4.4



SYMBOL	NOTES
	FUTURE BLOCK TO BE DEVELOPED



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SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED _____		DATE _____
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

OAKVILLE - BLOCK A1
PRELIMINARY PLAN
 StonebridgeCarras, City of Alexandria, VA
PLANTING PLAN

REVISIONS:
 04/08/2016 & CONCEPT I I
 07/12/2016 & PRELIMINARY PLAN

DATE: 08/15/2016
 DESIGNED BY: G.C.
 DRAWN BY: MBLB
 CHECKED BY: MC
 C.D. BY: P.H.
 PROJECT #: 2016023
 SHEET NUMBER:
L5.0



PLANT SCHEDULE

TREES	CCA	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT.	REMARKS
	7,500	GBAG	20	GINKGO BILOBA 'AUTUMN GOLD' TM / MAIDENHAIR TREE	B & B	2'-2 1/2'	12'-14'	MALE ONLY. ON STRUCTURE: 375 SF.
TOTAL CCA:				7,500 SF				

CROWN COVERAGE ALLOWANCE (CCA) CALCULATIONS

A. OAKVILLE SITE CCA CALCULATION

TOTAL SITE AREA (Excluding Public ROW): 469,809 SF. (10.785 AC.)
CCA REQUIRED (25%): 117,453 SF.

B. OAKVILLE BLOCK A PHASE 1 CCA TABULATION

BLOCK A PHASE 1 - ON GRADE:
 0 LARGE SHADE TREES (1,250 SF) = 0 SF
 0 MEDIUM SHADE TREES (750 SF) = 0 SF
 0 MEDIUM ORNAMENTAL AND EVERGREEN TREES (500 SF) = 0 SF
 0 SMALL ORNAMENTAL AND EVERGREEN TREES (250 SF) = 0 SF
 0 SHRUBS (2 SF) = 0 SF
 TOTAL: 0 SF

BLOCK A PHASE 1 - ON STRUCTURE (PLANTING ON STRUCTURE COUNTS FOR 1/2 CCA):
 0 LARGE SHADE TREES (625 SF) = 0 SF
 20 MEDIUM SHADE TREES (375 SF) = 7,500 SF
 0 MEDIUM ORNAMENTAL AND EVERGREEN TREES (250 SF) = 0 SF
 0 SMALL ORNAMENTAL AND EVERGREEN TREES (125 SF) = 0 SF
 0 SHRUBS (1 SF) = 0 SF
 TOTAL: 7,500 SF

C. OAKVILLE SITE CCA SUMMARY

(NOTE: To be included/updated on each individual block DSUP submission)

TOTAL REQUIRED CCA (BLOCKS A-D): 117,453 SF. (25%)

BLOCK	CCA PROVIDED
BLOCK A - Phase 1	7,500 SF (1.9%)
BLOCK A - Phase 2	TBD
BLOCK B	TBD
BLOCK C	TBD
BLOCK D	TBD
TOTAL PROVIDED CCA	7,500 SF

APPROVED	
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DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE - BLOCK A1 PRELIMINARY PLAN StonebridgeCarras, City of Alexandria, VA PLANT SCHEDULE

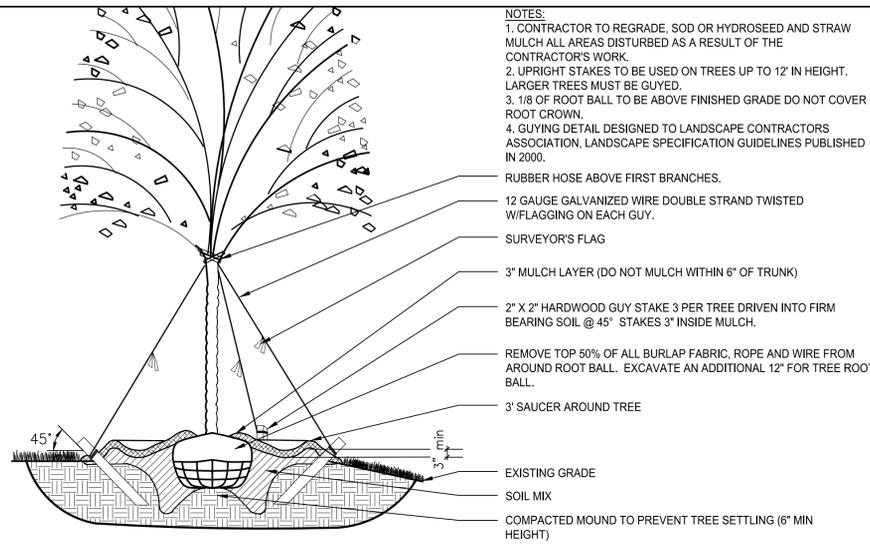
REVISIONS:
 04/08/2016 CONCEPT I I
 07/12/2016 PRELIMINARY PLAN

DATE: 08/15/2016
 DESIGNED BY: G.C.
 DRAWN BY: MB/LB
 CHECKED BY: MC
 C.C. BY: P.M.
 PROJECT #: 2016023

SHEET NUMBER:
L6.0

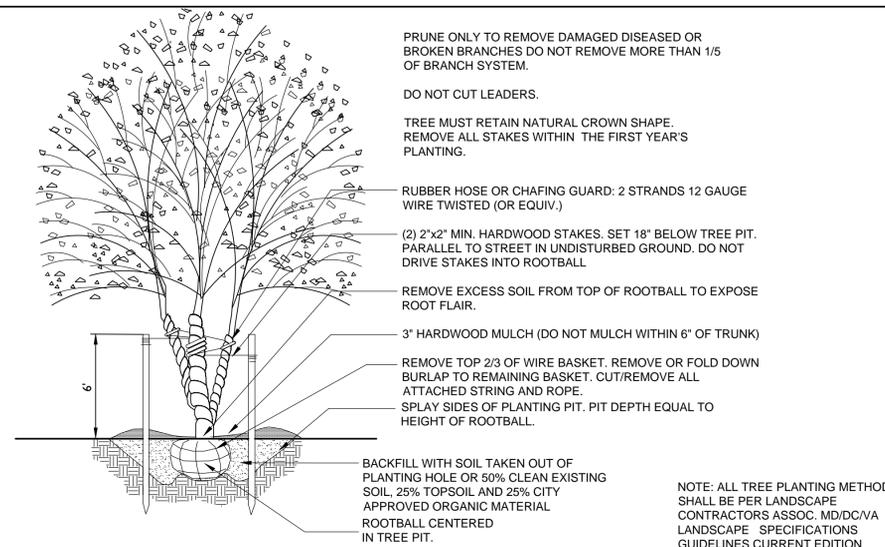


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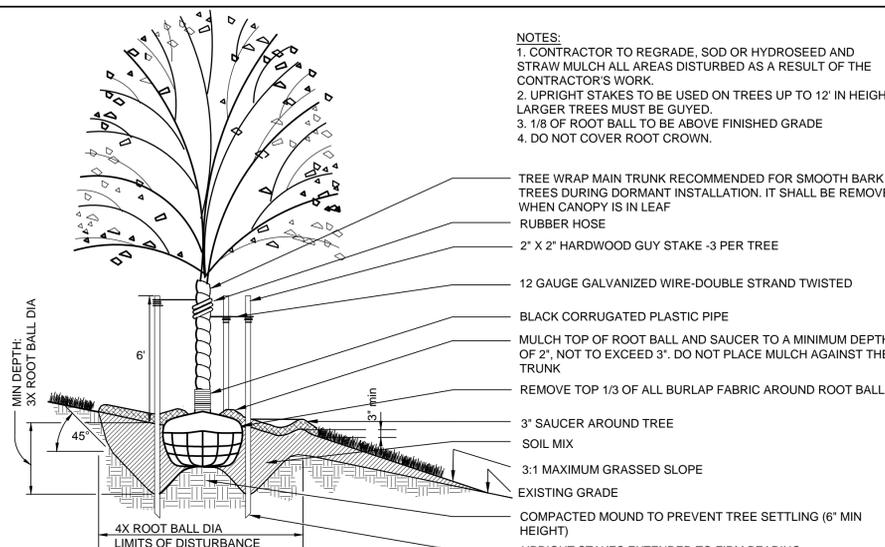
- NOTES:**
 1. CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THE CONTRACTOR'S WORK.
 2. UPRIGHT STAKES TO BE USED ON TREES UP TO 12' IN HEIGHT. LARGER TREES MUST BE GUYED.
 3. 1/8 OF ROOT BALL TO BE ABOVE FINISHED GRADE DO NOT COVER ROOT CROWN.
 4. GUYING DETAIL DESIGNED TO LANDSCAPE CONTRACTORS ASSOCIATION, LANDSCAPE SPECIFICATION GUIDELINES PUBLISHED IN 2000.
- RUBBER HOSE ABOVE FIRST BRANCHES.
 - 12 GAUGE GALVANIZED WIRE DOUBLE STRAND TWISTED W/FLAGGING ON EACH GUY.
 - SURVEYOR'S FLAG
 - 3" MULCH LAYER (DO NOT MULCH WITHIN 6" OF TRUNK)
 - 2" X 2" HARDWOOD GUY STAKE 3 PER TREE DRIVEN INTO FIRM BEARING SOIL @ 45° STAKES 3" INSIDE MULCH.
 - REMOVE TOP 50% OF ALL BURLAP FABRIC, ROPE AND WIRE FROM AROUND ROOT BALL. EXCAVATE AN ADDITIONAL 12" FOR TREE ROOT BALL.
 - 3" SAUCER AROUND TREE
 - EXISTING GRADE
 - SOIL MIX
 - COMPACTED MOUND TO PREVENT TREE SETTLING (6" MIN HEIGHT)

1 STANDARD DECIDUOUS TREE PLANTING 08A-003
 L7.0 SECTION NTS



- PRUNE ONLY TO REMOVE DAMAGED DISEASED OR BROKEN BRANCHES DO NOT REMOVE MORE THAN 1/5 OF BRANCH SYSTEM.**
- DO NOT CUT LEADERS.
- TREE MUST RETAIN NATURAL CROWN SHAPE. REMOVE ALL STAKES WITHIN THE FIRST YEAR'S PLANTING.
- RUBBER HOSE OR CHAFING GUARD: 2 STRANDS 12 GAUGE WIRE TWISTED (OR EQUIV.)
 - (2) 2" X 2" MIN. HARDWOOD STAKES SET 18" BELOW TREE PIT. PARALLEL TO STREET IN UNDISTURBED GROUND. DO NOT DRIVE STAKES INTO ROOTBALL
 - REMOVE EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLAIR.
 - 3" HARDWOOD MULCH (DO NOT MULCH WITHIN 6" OF TRUNK)
 - REMOVE TOP 2/3 OF WIRE BASKET. REMOVE OR FOLD DOWN BURLAP TO REMAINING BASKET. CUT/REMOVE ALL ATTACHED STRING AND ROPE.
 - SPLAY SIDES OF PLANTING PIT. PIT DEPTH EQUAL TO HEIGHT OF ROOTBALL.
 - BACKFILL WITH SOIL TAKEN OUT OF PLANTING HOLE OR 50% CLEAN EXISTING SOIL, 25% TOPSOIL AND 25% CITY APPROVED ORGANIC MATERIAL
 - ROOTBALL CENTERED IN TREE PIT.
- NOTE: ALL TREE PLANTING METHODS SHALL BE PER LANDSCAPE CONTRACTORS ASSOC. M/D/DC/VA LANDSCAPE SPECIFICATIONS GUIDELINES CURRENT EDITION**

2 MULTI TRUNK TREE PLANTING 08A-144
 L7.0 SECTION NTS



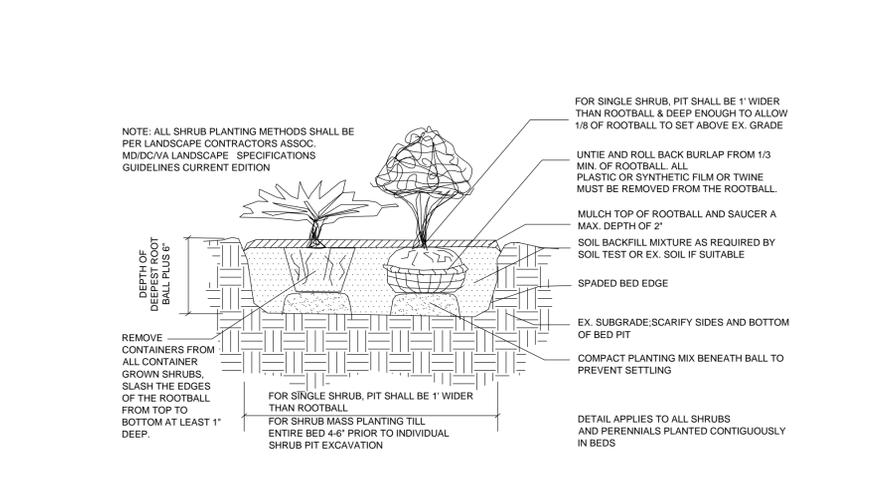
- NOTES:**
 1. CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THE CONTRACTOR'S WORK.
 2. UPRIGHT STAKES TO BE USED ON TREES UP TO 12' IN HEIGHT. LARGER TREES MUST BE GUYED.
 3. 1/8 OF ROOT BALL TO BE ABOVE FINISHED GRADE
 4. DO NOT COVER ROOT CROWN.
- TREE WRAP MAIN TRUNK RECOMMENDED FOR SMOOTH BARK TREES DURING DORMANT INSTALLATION. IT SHALL BE REMOVED WHEN CANOPY IS IN LEAF
 - RUBBER HOSE
 - 2" X 2" HARDWOOD GUY STAKE -3 PER TREE
 - 12 GAUGE GALVANIZED WIRE-DOUBLE STRAND TWISTED
 - BLACK CORRUGATED PLASTIC PIPE
 - MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2". NOT TO EXCEED 3". DO NOT PLACE MULCH AGAINST THE TRUNK
 - REMOVE TOP 1/3 OF ALL BURLAP FABRIC AROUND ROOT BALL
 - 3" SAUCER AROUND TREE
 - SOIL MIX
 - 3:1 MAXIMUM GRASSED SLOPE
 - EXISTING GRADE
 - COMPACTED MOUND TO PREVENT TREE SETTLING (6" MIN HEIGHT)
 - UPRIGHT STAKES EXTENDED TO FIRM BEARING

3 TREE PLANTING ON A SLOPE 08A-144
 L7.0 SECTION NTS

PLANT SPACING CHART

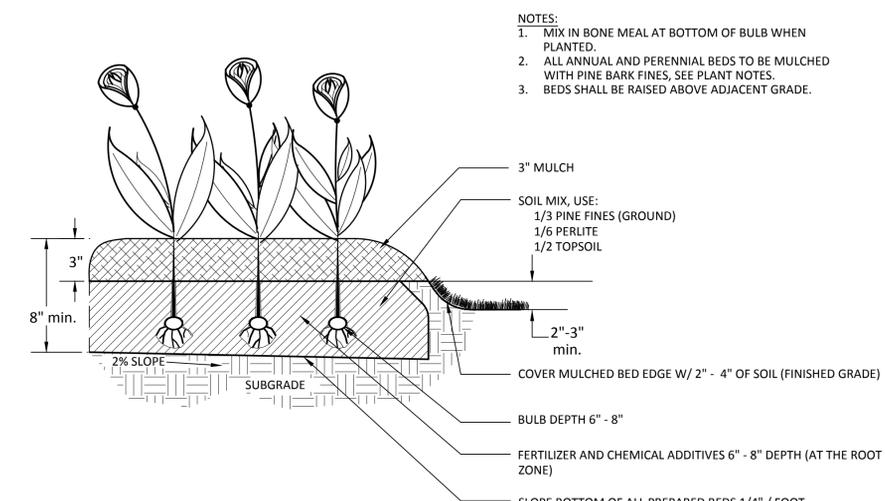
ROWS "A"	SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5.20' O.C.	4.61	
8" O.C.	6.95' O.C.	2.60	
10" O.C.	9.85' O.C.	1.66	
12" O.C.	10.40' O.C.	1.15	
15" O.C.	13.00' O.C.	0.73	
18" O.C.	15.60' O.C.	0.51	
24" O.C.	20.80' O.C.	0.29	

4 TRIANGULAR SPACING FOR SHRUBS AND GROUNDCOVERS 08A-233
 L7.0 PLAN N.T.S.



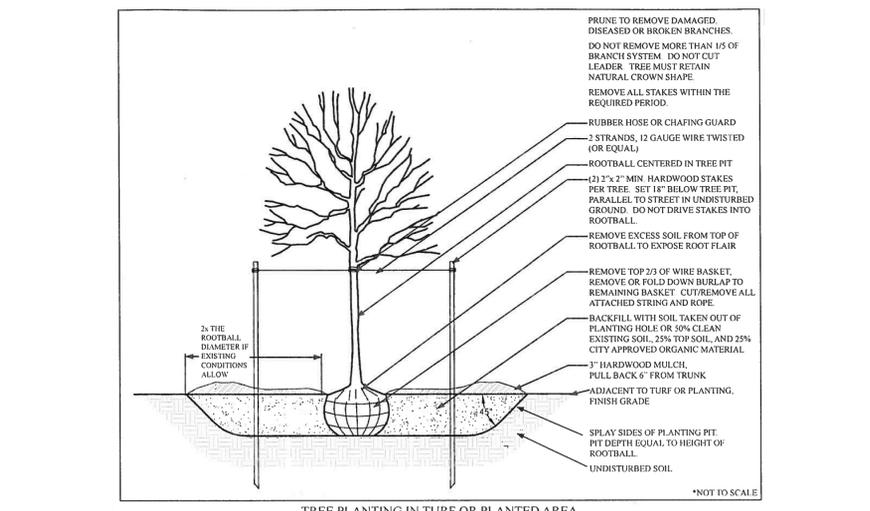
- NOTE: ALL SHRUB PLANTING METHODS SHALL BE PER LANDSCAPE CONTRACTORS ASSOC. M/D/DC/VA LANDSCAPE SPECIFICATIONS GUIDELINES CURRENT EDITION**
- FOR SINGLE SHRUB, PIT SHALL BE 1" WIDER THAN ROOTBALL & DEEP ENOUGH TO ALLOW 1/8 OF ROOTBALL TO SET ABOVE EX. GRADE
 - UNTIE AND ROLL BACK BURLAP FROM 1/3 MIN. OF ROOTBALL. ALL PLASTIC OR SYNTHETIC FILM OR TWINE MUST BE REMOVED FROM THE ROOTBALL
 - MULCH TOP OF ROOTBALL AND SAUCER A MAX. DEPTH OF 2"
 - SOIL BACKFILL MIXTURE AS REQUIRED BY SOIL TEST OR EX. SOIL IF SUITABLE
 - SPADED BED EDGE
 - EX. SUBGRADE-SCARIFY SIDES AND BOTTOM OF BED PIT
 - COMPACT PLANTING MIX BENEATH BALL TO PREVENT SETTLING
 - REMOVE CONTAINERS FROM ALL CONTAINER GROWN SHRUBS. SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM AT LEAST 1" DEEP.
 - FOR SINGLE SHRUB, PIT SHALL BE 1" WIDER THAN ROOTBALL
 - FOR SHRUB MASS PLANTING TILL ENTIRE BED 4-6" PRIOR TO INDIVIDUAL SHRUB PIT EXCAVATION
 - DETAIL APPLIES TO ALL SHRUBS AND PERENNIALS PLANTED CONTIGUOUSLY IN BEDS

5 SHRUB PLANTING BED 08A-145
 L7.0 SECTION NTS



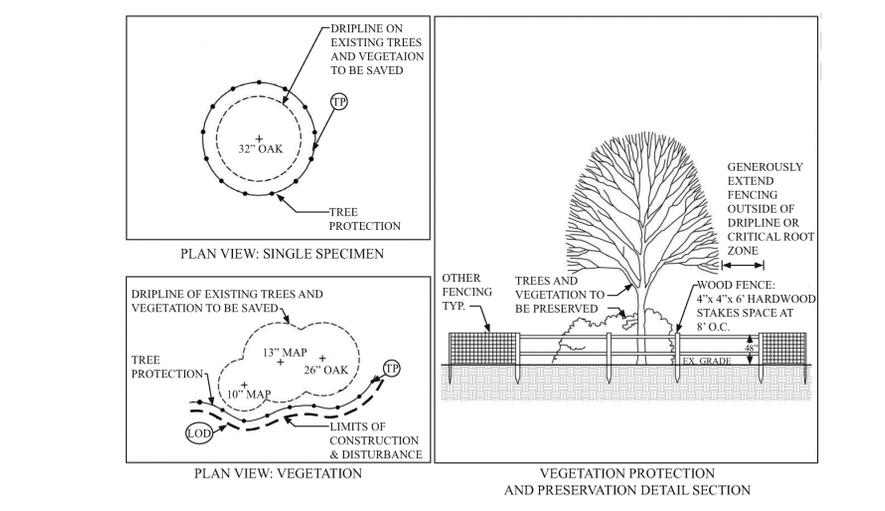
- NOTES:**
 1. MIX IN BONE MEAL AT BOTTOM OF BULB WHEN PLANTED.
 2. ALL ANNUAL AND PERENNIAL BEDS TO BE MULCHED WITH PINE BARK FINES, SEE PLANT NOTES.
 3. BEDS SHALL BE RAISED ABOVE ADJACENT GRADE.
- 3" MULCH
 - SOIL MIX, USE:
 1/3 PINE FINES (GROUND)
 1/6 PERLITE
 1/2 TOPSOIL
 - COVER MULCHED BED EDGE W/ 2" - 4" OF SOIL (FINISHED GRADE)
 - BULB DEPTH 6" - 8"
 - FERTILIZER AND CHEMICAL ADDITIVES 6" - 8" DEPTH (AT THE ROOT ZONE)
 - SLOPE BOTTOM OF ALL PREPARED BEDS 1/4" / FOOT MIN TO NATURAL LOW POINT

6 PLANTING BED FOR ANNUALS AND PERENNIALS 08A-089
 L7.0 SECTION NTS



- PRUNE TO REMOVE DAMAGED, DISEASED OR BROKEN BRANCHES. DO NOT REMOVE MORE THAN 1/5 OF BRANCH SYSTEM. DO NOT CUT LEADER. TREE MUST RETAIN NATURAL CROWN SHAPE. REMOVE ALL STAKES WITHIN THE REQUIRED PERIOD.**
- RUBBER HOSE OR CHAFING GUARD
 - 2 STRANDS, 12 GAUGE WIRE TWISTED (OR EQUAL)
 - ROOTBALL CENTERED IN TREE PIT
 - (2) 2" X 2" MIN. HARDWOOD STAKES PER TREE. SET 18" BELOW TREE PIT. PARALLEL TO STREET IN UNDISTURBED GROUND. DO NOT DRIVE STAKES INTO ROOTBALL.
 - REMOVE EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLAIR
 - REMOVE TOP 2/3 OF WIRE BASKET. REMOVE OR FOLD DOWN BURLAP TO REMAINING BASKET. CUT/REMOVE ALL ATTACHED STRING AND ROPE.
 - BACKFILL WITH SOIL TAKEN OUT OF PLANTING HOLE OR 50% CLEAN EXISTING SOIL, 25% TOP SOIL, AND 25% CITY APPROVED ORGANIC MATERIAL
 - 3" HARDWOOD MULCH. PULL BACK 6" FROM TRUNK
 - ADJACENT TO TURF OR PLANTING. FINISH GRADE
 - SPLAY SIDES OF PLANTING PIT. PIT DEPTH EQUAL TO HEIGHT OF ROOTBALL.
 - UNDISTURBED SOIL.
- *NOT TO SCALE**

7 TREE PLANTING IN TURF OR PLANTED AREA 08A-152
 L7.0 SECTION NTS



- DRIPLINE ON EXISTING TREES AND VEGETATION TO BE SAVED
- TREE PROTECTION
- PLAN VIEW: SINGLE SPECIMEN
- DRIPLINE OF EXISTING TREES AND VEGETATION TO BE SAVED
- TREE PROTECTION
- PLAN VIEW: VEGETATION
- GENEROUSLY EXTEND FENCING OUTSIDE OF DRIPLINE OR CRITICAL ROOT ZONE
- TREES AND VEGETATION TO BE PRESERVED
- WOOD FENCE: 4" X 4" X 6" HARDWOOD STAKES SPACE AT 8' O.C.
- VEGETATION PROTECTION AND PRESERVATION DETAIL SECTION

8 VEGETATION PROTECTION 08B-010
 L7.0 ELEVATION NTS

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CHAIRMAN, PLANNING COMMISSION _____ DATE _____

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INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____