

PROPERTY LINE TABLE

LINE	BEARING	DISTANCE
L1	N46°01'34"E	50.62'
L2	S34°01'54"E	65.00'
L3	S82°07'34"W	24.18'
L4	S43°50'21"E	37.06'
L5	S07°52'26"E	2.01'
L6	N83°22'49"E	13.24'
L7	S07°52'26"E	34.99'
L8	S07°52'26"E	25.01'
L9	N83°22'49"E	2.36'
L10	S07°52'26"E	40.68'
L11	S07°47'12"E	28.65'
L12	S46°01'34"W	14.99'

PROPERTY CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	800.00'	136.51'	9°46'35"	68.42'	N87°02'04"E	136.34'
C2	567.14'	96.98'	9°47'50"	48.61'	N87°01'50"E	96.86'
C3	18.00'	18.00'	60°47'51"	10.56'	S67°53'05"E	18.22'
C4	25.00'	38.70'	88°41'59"	24.43'	S37°42'15"W	34.95'
C5	25.00'	39.28'	90°02'54"	25.01'	S52°52'26"E	35.36'
C6	25.00'	39.27'	90°02'00"	25.00'	N87°01'34"E	35.36'
C7	25.00'	39.82'	91°15'15"	25.55'	S52°14'49"E	35.74'
C8	25.00'	39.27'	90°00'00"	25.00'	S38°22'49"W	35.36'
C9	25.00'	38.72'	88°44'45"	24.46'	N52°14'49"W	34.97'
C10	25.00'	39.76'	91°06'50"	25.49'	S37°49'05"W	35.70'
C11	242.81'	63.53'	14°59'29"	31.95'	S15°16'56"E	63.35'
C12	271.56'	162.43'	34°16'12"	83.72'	N26°42'15"W	160.02'
C13	850.00'	145.04'	9°46'35"	72.70'	N87°02'04"E	144.86'
C14	517.14'	88.43'	9°47'50"	44.32'	N87°01'50"E	88.32'

NOTE: SEE SHEET C101 FOR EXISTING TREE DATA.

SANITARY SEWER STRUCTURE DATA

- SAN MH 336
TOP=38.48
IN=30.10 12" PVC FR 531
OUT=38.78 10" PVC FR 1760
OUT=30.07 12" PVC TO 7505
- SAN MH 531
TOP=45.57
IN=35.02 10" PVC FR 5322
IN=35.52 8" PVC FR 680
OUT=34.42 12" PVC TO 336
- SAN MH 680
TOP=46.71
IN=38.91 8" PVC FR 1440
OUT=38.88 8" PVC TO 531
- SAN MH 700
TOP=45.40
OUT=39.72 8" PVC TO 7502
- SAN MH 1440
TOP=45.68
NOT ACCESSIBLE
- SAN MH 1760
TOP=42.63
IN=37.23 LAT FR S
IN=37.13 8" PVC FR 7502
IN=37.13 8" PVC FR 1811
OUT=37.03 10" PVC TO 336
- SAN MH 1811
TOP=44.81
IN=38.12 8" PVC FR 2220
IN=38.78 10" PVC FR 1760
OUT=15 FILLED WITH DEBRIS
- SAN MH 2220
TOP=51.05
IN=41.65 8" PVC FR 2580
OUT=41.55 8" PVC TO 1811
- SAN MH 2580
TOP=45.16
IN=42.53 8" PVC FR N
OUT=42.51 8" PVC TO 2220
- SAN MH 5322
TOP=46.27
NOT ACCESSIBLE
WITHOUT TRAFFIC CONTROL
- SAN MH 5990
TOP=45.55
OUT=41.85 8" PVC TO 5322
- SAN MH 6785
TOP=43.87
IN=33.97 FR W
IN=33.97 FR E
IN=33.97 FR S
OUT=33.77 TO N
- SAN MH 7502
TOP=43.65
IN=38.90 LAT FR E
IN=38.53 8" PVC FR 700
OUT=38.50 8" PVC TO 1760
- SAN MH 7505
TOP=37.00
IN=27.55 8" PVC FR W
IN=27.30 12" PVC FR 336
OUT=27.25 12" PVC TO 7506
- SAN MH 7515
TOP=40.26
IN=20.40 12" PVC FR 7512
OUT=20.30 12" PVC TO 7516
- SAN MH 7518
TOP=38.48
IN=24.18 12" PVC FR 7509
OUT=24.08 12" PVC TO 7514
- SAN MH 7519
TOP=38.79
NOT ACCESSIBLE
WITHOUT TRAFFIC CONTROL
- SAN MH 7512
TOP=39.76
IN=20.65 12" PVC FR 7515
OUT=20.57 12" PVC TO 7511
- SAN MH 7514
TOP=37.40
IN=22.90 12" PVC FR 7518
OUT=22.80 12" PVC TO 7511
- SAN MH 7515
TOP=40.26
IN=20.40 12" PVC FR 7512
OUT=20.30 12" PVC TO 7516
- SAN MH 7518
TOP=38.48
IN=24.18 12" PVC FR 7509
OUT=24.08 12" PVC TO 7514
- SAN MH 7509
TOP=38.79
NOT ACCESSIBLE
WITHOUT TRAFFIC CONTROL

STORM STRUCTURE DATA

- STM CB 334
TOP=39.36
IN=34.38 15" RCP FR 393
OUT=32.67 27" RCP TO 4540
- STM MH 359
TOP=40.01
FULL OF DEBRIS
NOT ACCESSIBLE
- STM CB 393
TOP=39.56
IN=36.51 15" RCP FR 359
OUT=35.76 15" RCP TO 334
- STM MH 425
TOP=46.09
COVERED
NOT ACCESSIBLE
- STM CB 470
TOP=46.23
OUT=41.78 15" RCP TO 550
- STM CB 550
TOP=45.95
IN=39.51 15" RCP FR 470
IN=38.50 24" RCP FR 425
OUT=38.46 27" RCP TO 7503
- STM DI 2210
TOP=40.90
BOTTOM= 40.14
FULL OF DEBRIS
- STM GI 2581
TOP=43.47
BOTTOM= 41.07
FULL OF DEBRIS
- STM CB 2828
TOP=43.47
IN=39.81 15" RCP FR 2829
IN=39.89 15" RCP FR 2840
OUT=39.82 24" RCP TO 6220
- STM MH 2829
TOP=43.64
IN=39.79 15" RCP FR 4150
OUT=39.72 15" RCP TO 2828
- STM GI 2890
TOP=43.22
IN=40.07 12" PVC FR 2920
OUT=39.42 24" RCP TO 2828
- STM CB 2920
TOP=44.00
IN=41.50 12" PVC FR 3070
OUT=41.49 12" PVC TO 2890
- STM GI 2590
TOP=43.60
OUT=41.97 10" PVC TO 2581
- STM GI 3070
TOP=43.60
OUT=42.35 12" PVC TO 2920
- STM GI 4150
TOP=42.70
IN=40.55 12" RCP FR 4300
OUT=40.50 12" RCP TO 2829
- STM GI 4215
TOP=42.18
IN=39.69 15" RCP FR 6540
OUT=39.51 15" RCP TO 6424
- HEADWALL 4300
INV IN = 42.23 12" PVC TO 4150
- STM CB 4540
TOP=39.14
IN=32.14 15" RCP FR 334
OUT=32.04 15" RCP TO 5530
- STM MH 4568
TOP=41.33
FILTERRA TREENELL
NOT ACCESSIBLE
- STM CB 4580
TOP=43.04
IN=35.84 36" RCP FR 4600
IN=34.94 15" RCP FR 6424
OUT=34.89 42" RCP TO 4650
- STM GI 4600
TOP=44.99
UNDER CONSTRUCTION
INACCESSIBLE
- STM CB 4650
TOP=43.30
IN=34.90 42" RCP FR 4580
OUT=34.80 42" RCP TO 4670
- STM CB 4670
TOP=40.90
IN=34.30 36" RCP FR 4650
IN=35.90 18" RCP FR 5543
OUT=34.20 36" RCP TO 7504
- STM MH 4680
TOP=46.04
OUT=43.34 15" RCP TO 4870
- STM MH 4810
TOP=46.82
FILTERRA TREENELL
NOT ACCESSIBLE
- STM MH 4820
TOP=46.65
IN=42.75 4" PVC FR 4810
OUT=42.60 15" RCP TO 4840
- STM MH 4840
TOP=46.27
IN=42.17 15" RCP FR 4820
IN=42.37 4" PVC FR 4850
OUT=42.15 15" RCP TO 4900
- STM CB 4850
TOP=46.30
FILTERRA TREENELL
NOT ACCESSIBLE
- STM CB 4870
TOP=46.30
IN=42.68 15" RCP FR 4680
OUT=42.63 15" RCP TO 4920
- STM CB 4891
TOP=46.71
OUT=42.61 15" RCP TO 4900
- STM CB 4900
TOP=46.53
IN=42.08 15" RCP FR 4891
IN=42.08 15" RCP FR 4840
OUT=42.02 15" RCP TO 4910
- STM CB 4910
TOP=46.67
IN=41.62 15" RCP FR 4900
OUT=41.52 15" RCP TO 4920
- STM CB 4920
TOP=46.67
IN=40.39 15" RCP FR 4910
IN=38.43 15" RCP FR 4870
OUT=40.33 18" RCP TO 7503
- STM CB 5090
TOP=46.23
OUT=41.75 18" RCP TO 5320
- STM MH 5320
TOP=46.18
IN=40.83 18" RCP FR 5350
IN=40.83 18" RCP FR 5330
IN=40.83 18" RCP FR 5090
OUT=40.78 18" RCP TO 425
- STM CB 5330
TOP=46.69
OUT=41.75 18" RCP TO 5320
- STM MH 5330
TOP=46.69
COVERED
INACCESSIBLE
- STM CB 5502
TOP=36.84
FILTERRA TREENELL
NOT ACCESSIBLE
- STM CB 5510
TOP=37.35
IN=30.65 30" RCP FR 5530
IN=32.45 18" RCP FR 5640
OUT=30.55 30" RCP TO 5502
- STM CB 5530
TOP=39.28
IN=32.01 24" RCP FR 4540
OUT=31.90 30" RCP TO 5510
- STM CB 5543
TOP=46.79
IN=36.73 4" PVC FR 4568
OUT=36.08 18" RCP TO 4670
- STM CB 5640
TOP=37.15
IN=33.15 4" PVC FR 5650
OUT=32.75 15" RCP TO 5510
- STM CB 5650
TOP=35.96
FILTERRA TREENELL
NOT ACCESSIBLE
- STM GI 6220
TOP=42.23
IN=39.31 24" RCP FR 2828
IN=39.73 15" RCP FR 6240
OUT=39.23 24" RCP TO N
- STM GI 6240
TOP=43.91
OUT=39.91 12" PVC TO 6220
- STM GI 6424
TOP=43.10
IN=38.99 15" RCP FR 6430
IN=38.96 15" RCP FR 4218
OUT=38.56 24" RCP TO 4580
- STM MH 6430
TOP=44.43
IN=39.18 15" RCP FR 6580
OUT=39.16 15" RCP TO 6424
- STM MH 6540
TOP=44.69
COVERED
NOT ACCESSIBLE
- STM MH 6580
TOP=43.97
COVERED
NOT ACCESSIBLE
- STM CB 6763
TOP=46.69
OUT=43.54 TO N
- STM CB 6842
TOP=46.69
OUT=43.73 TO S
- STM DI 6974
TOP=44.76
OUT=41.76 18" CMP TO 7353
- STM DI 7353
TOP=44.91
IN=40.54 18" CMP FR 6974
IN=42.27 15" CMP FR W
OUT=40.89 18" CMP TO 7400
- STM DI 7400
TOP=45.94
IN=39.54 18" CMP FR 7353
OUT=39.44 18" CMP TO 7501
- HEADWALL 7483
FULL OF DEBRIS
PIPE NOT VISIBLE
- STM DI 7501
TOP=45.71
IN=38.32 18" CMP FR 7400
OUT=38.27 18" CMP TO S
- STM MH 7503
TOP=45.83
IN=39.78 18" RCP FR 4920
IN=37.93 27" RCP FR 550
OUT=37.88 36" RCP TO 4600
- STM MH 7504
TOP=40.79
IN=32.79 36" RCP FR 4670
OUT=29.69 36" RCP TO E
- STM CB 7507
TOP=35.96
IN=29.06 30" RCP FR 5502
OUT=28.96 30" RCP TO S

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PEER REVIEW

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SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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COMMONWEALTH OF VIRGINIA
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7/12/2016
PROFESSIONAL ENGINEER

EXISTING CONDITIONS PLAN

BLOCK "A1"
PRELIMINARY PLAN

CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: H007.400.00
SCALE: 1"=30'
DATE: 07/12/16
DESIGN: EG
DRAWN: JS
CHECKED: EG
SITE No.

C201
106978

SITE DATA: PHASE I

Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014

To be used w/ DRAFT 2013 BMP Standards and Specifications

Site Data

Project Name: Oakville - Phase 1
Date: 9/11/15

data input cells
calculation cells
constant values

Post-ReDevelopment Project & Land Cover Information

Total Disturbed Acreage **10.40**

Constants

Annual Rainfall (inches)	43	
Target Rainfall Event (inches)	1.00	
Phosphorus EMC (mg/L)	0.26	Nitrogen EMC (mg/L) 1.86
Target Phosphorus Target Load (lb/acre/yr)	0.41	
Pj	0.90	

Pre-ReDevelopment Land Cover (acres)

	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.53	0.53
Impervious Cover (acres)	0.00	0.00	0.00	9.93	9.93
Total					10.46

Post-ReDevelopment Land Cover (acres)

	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.99	0.99
Impervious Cover (acres)	0.00	0.00	0.00	9.47	9.47
Total					10.46

Area Check

Area Check	Okay	Okay	Okay	Okay	
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Rv Coefficients

	A soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Land Cover Summary

	Listed	Adjusted ¹	Land Cover Summary Post-ReDevelopment
Forest/Open Space Cover (acres)	0.00	0.00	0.00
Composite Rv(forest)	0.00	0.00	0.00
% Forest	0%	0%	0%
Managed Turf Cover (acres)	0.53	0.53	0.99
Composite Rv(turf)	0.25	0.25	0.25
% Managed Turf	5%	5%	9%
Impervious Cover (acres)	9.93	9.93	9.47
Rv(impervious)	0.95	0.95	0.95
% Impervious	95%	95%	91%
Total Site Area (acres)	10.46	10.46	10.46
Site Rv	0.91	0.91	0.88
Pre-Development Treatment Volume (acre-ft)	0.7972	0.7972	0.7703
Pre-Development Treatment Volume (cubic feet)	34,725	34,725	33,556
Pre-Development Load (TP) (lb/yr)	21.82	21.82	21.08

Land Cover Summary

	Land Cover Summary Post-ReDevelopment New Impervious
New Impervious Cover (acres)	0.00
Rv(impervious)	0.95
% Impervious	Check Area
Total New Dev. Site Area (acres)	0.00
ReDev. Site Rv	0.95
Post-Development Treatment Volume (acre-ft)	0.0000
Post-Development Treatment Volume (cubic feet)	0
Post-Development Load (TP) (lb/yr)	0.00

¹Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I.

Maximum % Reduction Required Below Pre-ReDevelopment Load 20%

TP Load Reduction Required for Redeveloped Area (lb/yr) 3.63

Total Load Reduction Required (lb/yr) 3.63

Pre-Development Load (TN) (lb/yr) 156.08

Post-Development Load (TN) (lb/yr) 150.82

WQVD CALCULATIONS

REQUIRED = (1816 CU FT/ACRE) * (12.21 ACRES) = 22,173 CU FT

PHASE 1 = (1816 CU FT/ACRE) * (8.21 ACRES) = 14,909 CU FT

PHASE 2 = (1816 CU FT/ACRE) * (2.72 ACRES) = 4,939 CU FT

TOTAL = (1816 CU FT/ACRE) * (10.93 ACRES) = 19,848 CU FT

NOT CAPTURED WQVD = 22,173 - 19,848 = 2,325 CU FT

IMPERVIOUS AREA COVERAGE

TOTAL IMPERVIOUS AREA = 12.21 ACRES

PHASE 1 IMPERVIOUS AREA TREATED = 8.21 ACRES

PHASE 2 IMPERVIOUS AREA TREATED = 2.72 ACRES

TOTAL IMPERVIOUS AREA AREA TREATED = 10.93

UNTREATED IMPERVIOUS AREA = 12.21 - 10.93 = 1.28 ACRES

NOTE: A FEE IN LIEU OF WILL BE PAID TO THE WOIF FOR THE 1.28 ACRES (35,756 SF) OF UNTREATED IMPERVIOUS AREA.

BMP TREE WELL NOTE

THE BMP TREE WELLS 7, 8, 9 AND 10 (AS DEFINED ON SHEET CA11) ARE TO BE BUILT IN PHASE 2 OF THIS DEVELOPMENT DUE TO CONSTRUCTABILITY ISSUES WITH BLOCKS A AND C. THESE TREE WELLS TREAT 0.31 LBS/YEAR OF PHOSPHORUS AND THE PHASE 1 BMP DEVICES CURRENTLY EXCEED THE STATE PHOSPHORUS REMOVAL REQUIREMENT BY 1.3 LBS/ACRE.

WATER QUALITY SUMMARY: PHASE I

Site Results

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	0.80	1.20	2.49	3.72	1.26	OK
IMPERVIOUS COVER TREATED	0.25	1.19	1.57	3.33	1.15	OK
TURF AREA	0.03	0.13	0.17	0.43	0.23	OK
TURF AREA TREATED	0.00	0.13	0.11	0.36	0.22	OK
AREA CHECK	OK	OK	OK	OK	OK	

Phosphorous

TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	3.63
RUNOFF REDUCTION (cf)	1014
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	4.87
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	16.21
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 1.2 LB/YEAR!!

Nitrogen (for information purposes)

RUNOFF REDUCTION (cf)	1014
NITROGEN LOAD REDUCTION ACHIEVED (LB/YR)	12.57
ADJUSTED POST-DEVELOPMENT NITROGEN LOAD (TP) (lb/yr)	138.26

SITE DATA SUMMARY: PHASE I

Site Data Summary

Total Rainfall = 43 inches

Print

Site Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Turf (acres)	0.00	0.00	0.00	0.99	0.99	9.46
Impervious (acres)	0.00	0.00	0.00	9.47	9.47	90.54
Total					10.46	100.00

Site Rv	0.88
Post Development Treatment Volume (ft ³)	33556
Post Development TP Load (lb/yr)	21.08
Post Development TN Load (lb/yr)	150.82
Total TP Load Reduction Required (lb/yr)	3.63

Total Runoff Volume Reduction (ft ³)	1014
Total TP Load Reduction Achieved (lb/yr)	5
Total TN Load Reduction Achieved (lb/yr)	12.57
Adjusted Post Development TP Load (lb/yr)	16.21
Remaining Phosphorous Load Reduction (Lb/yr) Required	0.00

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Turf (acres)	0.03	0.13	0.17	0.43	0.23	0.99
Impervious (acres)	0.80	1.20	2.49	3.72	1.26	9.47
Total						10.46

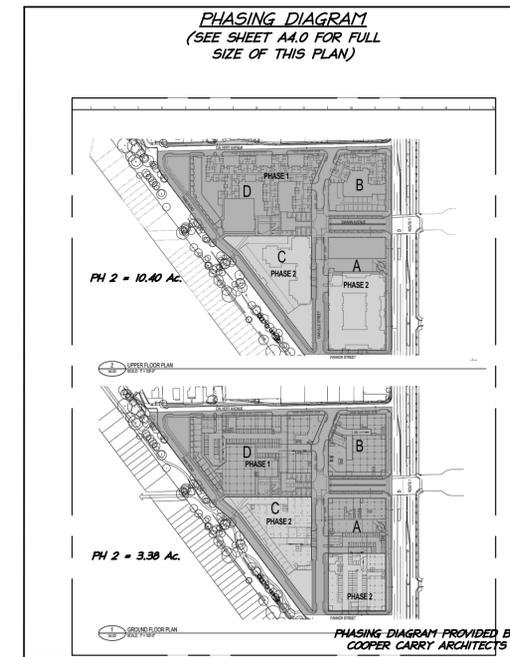
Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Red. (lb/yr)	0.29	0.53	1.01	1.48	1.55	4.87
TN Load Red. (lb/yr)	2.43	0.00	4.21	0.00	5.93	12.57

NOTE: THIS PLAN PROPOSES A HYDRODYNAMIC SEPARATOR FOR STORMWATER QUALITY TREATMENT AND A STORMWATER VAULT FOR STORMWATER QUANTITY CONTROL. BOTH DEVICES WILL BE LOCATED IN THE GARAGE OF BLOCK A1. ALL OTHER BMP & SWM DEVICES AND CONTROLS ARE PROPOSED WITH SEPARATE PLANS FOR THIS DEVELOPMENT.

THIS PLAN IS PART OF THE 'PHASE I' BMP & SWM COMPUTATIONS. PORTIONS OF THE 'PHASE I' PLAN ARE BEING PROPOSED AND APPROVED IN SEPARATE DSUPs AND FINAL SITE PLANS, BUT WILL ALL BE CONSTRUCTED AS A SINGLE PHASE. THE 'PHASE 2' PORTION MAY BE CONSTRUCTED SEPARATE FROM THE 'PHASE 1' AT A LATER DATE.

Phosphorous Load Reduction Summary Table		
	Phosphorus Load Removed (lbs/yr)	Notes
Overall	6.24	Note: Targe Phosphorus Load Reduction = 4.38 lbs/yr
Phase 1	4.87	Phase 1 area excludes Block C and the south half of Block A.
Phase 2	1.37	Only includes Block C and south half of Block A
Total	6.24	



NOTE: PER MEETING WITH CITY STAFF, PHASE I WILL INCLUDE EVERYTHING EXCEPT FOR BLOCK C AND HALF OF BUILDING A.

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NO: H007.400.00

SCALE: N/A

DATE: 07/12/16

DESIGN: EG
DRAWN: JS
CHECKED: EG

SHEET No.

C702

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COMMONWEALTH OF VIRGINIA
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7/12/2016
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BLOCK 'A11'
PRELIMINARY PLAN
SWM WATER QUALITY-PHASE I

CITY OF ALEXANDRIA, VIRGINIA

SITE DATA: PHASE 2

Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014

To be used w/ DRAFT 2013 BMP Standards and Specifications

Site Data

Project Name: Oakville - Phase 2
Date: 9/11/15

data input cells
calculation cells
constant values

Post-ReDevelopment Project & Land Cover Information Total Disturbed Acreage 3.38

Constants	
Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Phosphorus EMC (mg/L)	0.26
Target Phosphorus Load (lb/acre/yr)	0.41
Pj	0.90
Nitrogen EMC (mg/L)	1.86

Pre-ReDevelopment Land Cover (acres)					
	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be moved/managed	0.00	0.00	0.00	0.19	0.19
Impervious Cover (acres)	0.00	0.00	0.00	3.13	3.13
Total					3.32

Post-ReDevelopment Land Cover (acres)					
	A soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be moved/managed	0.00	0.00	0.00	0.58	0.58
Impervious Cover (acres)	0.00	0.00	0.00	2.74	2.74
Total					3.32

Area Check: Okay Okay Okay Okay

Rv Coefficients				
	A soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Land Cover Summary	Listed	Adjusted ¹	Land Cover Summary	Land Cover Summary
Pre-ReDevelopment			Post-ReDevelopment	Post-ReDevelopment New Impervious
Forest/Open Space Cover (acres)	0.00	0.00	Forest/Open Space Cover (acres)	0.00
Composite Rv(forest)	0.00	0.00	Composite Rv(forest)	0.00
% Forest	0%	0%	% Forest	0%
Managed Turf Cover (acres)	0.19	0.19	Managed Turf Cover (acres)	0.58
Composite Rv(turf)	0.25	0.25	Composite Rv(turf)	0.25
% Managed Turf	6%	6%	% Managed Turf	17%
Impervious Cover (acres)	3.13	3.13	ReDev. Impervious Cover (acres)	2.74
Rv(imperious)	0.95	0.95	Rv(imperious)	0.95
% Impervious	94%	94%	% Impervious	83%
Total Site Area (acres)	3.32	3.32	Total ReDev. Site Area (acres)	3.32
Site Rv	0.91	0.91	ReDev. Site Rv	0.83

¹Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I.

Maximum % Reduction Required Below Pre-Development Load	20%
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.76
TP Load Reduction Required for New Impervious Area (lb/yr)	0.00
Total Load Reduction Required (lb/yr)	0.76
Pre-Development Load (TN) (lb/yr)	49.29
Post-Development Load (TN) (lb/yr)	44.84

WQV CALCULATIONS
 REQUIRED = (18/6 CU FT/ACRE) * (12.21 ACRES) = 22,173 CU FT
 PHASE 1 = (18/6 CU FT/ACRE) * (8.21 ACRES) = 14,909 CU FT
 PHASE 2 = (18/6 CU FT/ACRE) * (2.72 ACRES) = 4,939 CU FT
 TOTAL = (18/6 CU FT/ACRE) * (10.93 ACRES) = 19,848 CU FT
 NOT CAPTURED WQV = 22,173 - 19,848 = 2,325 CU FT
IMPERVIOUS AREA COVERAGE
 TOTAL IMPERVIOUS AREA = 12.21 ACRES
 PHASE 1 IMPERVIOUS AREA TREATED = 8.21 ACRES
 PHASE 2 IMPERVIOUS AREA TREATED = 2.72 ACRES
 TOTAL IMPERVIOUS AREA AREA TREATED = 10.93
 UNTREATED IMPERVIOUS AREA = 12.21 - 10.93 = 1.28 ACRES
 NOTE: A FEE IN LIEU OF WILL BE PAID TO THE WQV FOR THE 1.28 ACRES (55,756 SF) OF UNTREATED IMPERVIOUS AREA.

WATER QUALITY SUMMARY: PHASE 2

Site Results	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	2.49	0.00	0.00	0.13	0.12	OK
IMPERVIOUS COVER TREATED	2.47	0.00	0.00	0.13	0.12	OK
TURF AREA	0.28	0.00	0.00	0.00	0.30	OK
TURF AREA TREATED	0.28	0.00	0.00	0.00	0.16	OK
AREA CHECK	OK	OK	OK	OK	OK	OK

Phosphorous	
TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	0.76
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	1.37
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	4.90
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0.6 LB/YEAR!!

Nitrogen (for information purposes)	
NITROGEN LOAD REDUCTION ACHIEVED (LB/YR)	0.75
ADJUSTED POST-DEVELOPMENT NITROGEN LOAD (TP) (lb/yr)	44.08

SITE DATA SUMMARY: PHASE 2

Site Data Summary: Total Rainfall = 43 inches

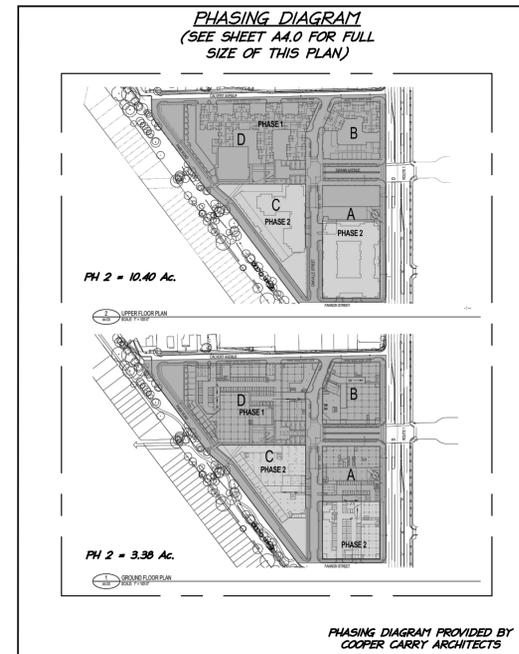
Site Land Cover Summary						
	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Turf (acres)	0.00	0.00	0.00	0.58	0.58	17.47
Impervious (acres)	0.00	0.00	0.00	2.74	2.74	82.53
Total					3.32	100.00

Site Rv	0.83
Post Development Treatment Volume (ft ³)	9975
Post Development TP Load (lb/yr)	6.27
Post Development TN Load (lb/yr)	44.84
Total TP Load Reduction Required (lb/yr)	0.72

Total Runoff Volume Reduction (ft ³)	0
Total TP Load Reduction Achieved (lb/yr)	1
Total TN Load Reduction Achieved (lb/yr)	0.75
Adjusted Post Development TP Load (lb/yr)	4.90
Remaining Phosphorous Load Reduction (Lb/Yr) Required	0.00

Drainage Area Summary						
	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Turf (acres)	0.28	0.00	0.00	0.00	0.30	0.58
Impervious (acres)	2.49	0.00	0.00	0.13	0.12	2.74
Total						3.32

Drainage Area Compliance Summary						
	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Red. (lb/yr)	1.10	0.00	0.00	0.06	0.21	1.37
TN Load Red. (lb/yr)	0.00	0.00	0.00	0.00	0.75	0.75



NOTE: PER MEETING WITH CITY STAFF, PHASE 2 WILL INCLUDE BLOCK C AND HALF OF BUILDING A.

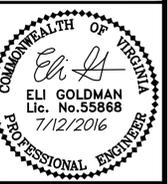
Phosphorus Load Reduction Summary Table		
	Phosphorus Load Removed (lbs/yr)	Notes
Overall	6.24	Note: Target Phosphorus Load Reduction = 4.38 lbs/yr
Phase 1	4.87	Phase 1 area excludes Block C and the south half of Block A.
Phase 2	1.37	Only includes Block C and south half of Block A.
Total	6.24	

NOTE: THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY. NO PHASE 2 BMP OR SWM DEVICES ARE PROPOSED WITH THIS PLAN.

ESI PEER REVIEW

APPROVED
 SPECIAL USE PERMIT NO. _____
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____
 CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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 phone 703.273.6820 · fax 703.273.6820



SWIM WATER QUALITY-PHASE 2

BLOCK 'A' PRELIMINARY PLAN
 CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: H007.400.00
 SCALE: N/A
 DATE: 07/12/16
 DESIGN: EG
 DRAWN: JS
 CHECKED: EG
 SHEET No.

C704
106978

BMP TREE WELL AREA 1
4 - 20'x4' TYPE A TREE WELLS

BMP TREE WELL AREA 2
4 - 20'x4' TYPE A TREE WELLS

1 - Calvert South - Block D - 0.5'

2 - Calvert South - Block B - 0.5'

Row ID	Assumptions	Measurement	Unit	Notes and Instructions
Contributing Drainage Area				
A	Area of roadway to be treated		2095 SF	Area of roadway to be treated
B	Area of sidewalk to be treated Include driveway entrance		1860 SF	Sidewalk area to be treated (deduct tree wells and planting strips)
C	Total area contributing drainage area		3955 SF	Row A + Row B
D	Total Water quality Volume	First 0.5 in. required to be treated	165 CF	Row C x 0.5 in (0.04167 Ft)
Water Quality Sizing Requirements				
E	Ponding area required (Gross)	8 in. ponding depth	247 SF	Divide Row D by avg ponding depth (0.667 ft)
F	Ponding area required line 1 (Net after infiltration)		0.18	1 hr fill time x infiltration rate x (depth of soil x (ponding depth / 2) / depth of soil) = H x J x (K (L/2)/K)
G	Ponding area required Line 2 (Net after infiltration)	Total Water Quality volume	194 SF	Row D / (Ponding depth + Row F)
H	Fill time	1 hour standard	1 Hour	Use standard 1 hour fill time
J	Infiltration rate	Soil specific range	0.167 FT/HOUR	Use value from within the soil specification rang 2 to 3.5 in/hr (0.167 to .292 (ft./hr))
K	Depth of soil (Avg)	project specific	4 FT	See section 2.A and 2.C
L	Ponding Depth	Maximum ponding depth	0.667 FT	See section 2.A
Landscape Sizing Requirement				
M1	Type of Landscape treatment proposed		Tree Wells	
M2	Tree Spacing		30 FT O.C.	
N	Number of trees per block face		4	**Total number of trees
P	Open area per tree well (required)		49 SF	Row G / Row N
Q	Width		4 FT	Refer to section 2.B
R1	Length (min. open length)		12 FT	Row P / Row Q for min length or use length suitable for site
R2	Design Length		20 FT	
S	Avg soil depth		4 FT	Row K
T	Soil volume per tree provided		320 CF	(Row Q x Row R x Row S)
U	Additional soil volume required per tree		130 CF	450 CF - Row T. A negative value means the soil requirement has been met.
Percentage of filter surface area to contributing drainage area = 8.09% ((Row N x Row Q x Row R2) / Row C) x 100				

Row ID	Assumptions	Measurement	Unit	Notes and Instructions
Contributing Drainage Area				
A	Area of roadway to be treated		2000 SF	Area of roadway to be treated
B	Area of sidewalk to be treated Include driveway entrance		1840 SF	Sidewalk area to be treated (deduct tree wells and planting strips)
C	Total area contributing drainage area		3840 SF	Row A + Row B
D	Total Water quality Volume	First 0.5 in. required to be treated	160 CF	Row C x 0.5 in (0.04167 Ft)
Water Quality Sizing Requirements				
E	Ponding area required (Gross)	8 in. ponding depth	240 SF	Divide Row D by avg ponding depth (0.667 ft)
F	Ponding area required line 1 (Net after infiltration)		0.18	1 hr fill time x infiltration rate x (depth of soil x (ponding depth / 2) / depth of soil) = H x J x (K (L/2)/K)
G	Ponding area required Line 2 (Net after infiltration)	Total Water Quality volume	189 SF	Row D / (Ponding depth + Row F)
H	Fill time	1 hour standard	1 Hour	Use standard 1 hour fill time
J	Infiltration rate	Soil specific range	0.167 FT/HOUR	Use value from within the soil specification rang 2 to 3.5 in/hr (0.167 to .292 (ft./hr))
K	Depth of soil (Avg)	project specific	4 FT	See section 2.A and 2.C
L	Ponding Depth	Maximum ponding depth	0.667 FT	See section 2.A
Landscape Sizing Requirement				
M1	Type of Landscape treatment proposed		Tree Wells	
M2	Tree Spacing		30 FT O.C.	
N	Number of trees per block face		4	**Total number of trees
P	Open area per tree well (required)		47 SF	Row G / Row N
Q	Width		4 FT	Refer to section 2.B
R1	Length (min. open length)		12 FT	Row P / Row Q for min length or use length suitable for site
R2	Design Length		20 FT	
S	Avg soil depth		4 FT	Row K
T	Soil volume per tree provided		320 CF	(Row Q x Row R x Row S)
U	Additional soil volume required per tree		130 CF	450 CF - Row T. A negative value means the soil requirement has been met.
Percentage of filter surface area to contributing drainage area = 8.33% ((Row N x Row Q x Row R2) / Row C) x 100				

BMP TREE WELL AREA 3
1 - 20'x4' TYPE A TREE WELL

BMP TREE WELL AREA 4
2 - 20'x4' TYPE A TREE WELLS

3 - Oakville East - Block B - 0.5'

4 - Oakville West - Block D - 0.5'

Row ID	Assumptions	Measurement	Unit	Notes and Instructions
Contributing Drainage Area				
A	Area of roadway to be treated		810 SF	Area of roadway to be treated
B	Area of sidewalk to be treated Include driveway entrance		855 SF	Sidewalk area to be treated (deduct tree wells and planting strips)
C	Total area contributing drainage area		1665 SF	Row A + Row B
D	Total Water quality Volume	First 0.5 in. required to be treated	69 CF	Row C x 0.5 in (0.04167 Ft)
Water Quality Sizing Requirements				
E	Ponding area required (Gross)	8 in. ponding depth	104 SF	Divide Row D by avg ponding depth (0.667 ft)
F	Ponding area required line 1 (Net after infiltration)		0.18	1 hr fill time x infiltration rate x (depth of soil x (ponding depth / 2) / depth of soil) = H x J x (K (L/2)/K)
G	Ponding area required Line 2 (Net after infiltration)	Total Water Quality volume	82 SF	Row D / (Ponding depth + Row F)
H	Fill time	1 hour standard	1 Hour	Use standard 1 hour fill time
J	Infiltration rate	Soil specific range	0.167 FT/HOUR	Use value from within the soil specification rang 2 to 3.5 in/hr (0.167 to .292 (ft./hr))
K	Depth of soil (Avg)	project specific	4 FT	See section 2.A and 2.C
L	Ponding Depth	Maximum ponding depth	0.667 FT	See section 2.A
Landscape Sizing Requirement				
M1	Type of Landscape treatment proposed		Tree Wells	
M2	Tree Spacing		30 FT O.C.	
N	Number of trees per block face		1	**Total number of trees
P	Open area per tree well (required)		82 SF	Row G / Row N
Q	Width		4 FT	Refer to section 2.B
R1	Length (min. open length)		20 FT	Row P / Row Q for min length or use length suitable for site
R2	Design Length		20 FT	
S	Avg soil depth		4 FT	Row K
T	Soil volume per tree provided		320 CF	(Row Q x Row R x Row S)
U	Additional soil volume required per tree		130 CF	450 CF - Row T. A negative value means the soil requirement has been met.
Percentage of filter surface area to contributing drainage area = 4.80% ((Row N x Row Q x Row R2) / Row C) x 100				

Row ID	Assumptions	Measurement	Unit	Notes and Instructions
Contributing Drainage Area				
A	Area of roadway to be treated		1400 SF	Area of roadway to be treated
B	Area of sidewalk to be treated Include driveway entrance		1905 SF	Sidewalk area to be treated (deduct tree wells and planting strips)
C	Total area contributing drainage area		3305 SF	Row A + Row B
D	Total Water quality Volume	First 0.5 in. required to be treated	138 CF	Row C x 0.5 in (0.04167 Ft)
Water Quality Sizing Requirements				
E	Ponding area required (Gross)	8 in. ponding depth	206 SF	Divide Row D by avg ponding depth (0.667 ft)
F	Ponding area required line 1 (Net after infiltration)		0.18	1 hr fill time x infiltration rate x (depth of soil x (ponding depth / 2) / depth of soil) = H x J x (K (L/2)/K)
G	Ponding area required Line 2 (Net after infiltration)	Total Water Quality volume	162 SF	Row D / (Ponding depth + Row F)
H	Fill time	1 hour standard	1 Hour	Use standard 1 hour fill time
J	Infiltration rate	Soil specific range	0.167 FT/HOUR	Use value from within the soil specification rang 2 to 3.5 in/hr (0.167 to .292 (ft./hr))
K	Depth of soil (Avg)	project specific	4 FT	See section 2.A and 2.C
L	Ponding Depth	Maximum ponding depth	0.667 FT	See section 2.A
Landscape Sizing Requirement				
M1	Type of Landscape treatment proposed		Tree Wells	
M2	Tree Spacing		30 FT O.C.	
N	Number of trees per block face		2	**Total number of trees
P	Open area per tree well (required)		81 SF	Row G / Row N
Q	Width		4 FT	Refer to section 2.B
R1	Length (min. open length)		20 FT	Row P / Row Q for min length or use length suitable for site
R2	Design Length		20 FT	
S	Avg soil depth		4 FT	Row K
T	Soil volume per tree provided		320 CF	(Row Q x Row R x Row S)
U	Additional soil volume required per tree		130 CF	450 CF - Row T. A negative value means the soil requirement has been met.
Percentage of filter surface area to contributing drainage area = 4.84% ((Row N x Row Q x Row R2) / Row C) x 100				

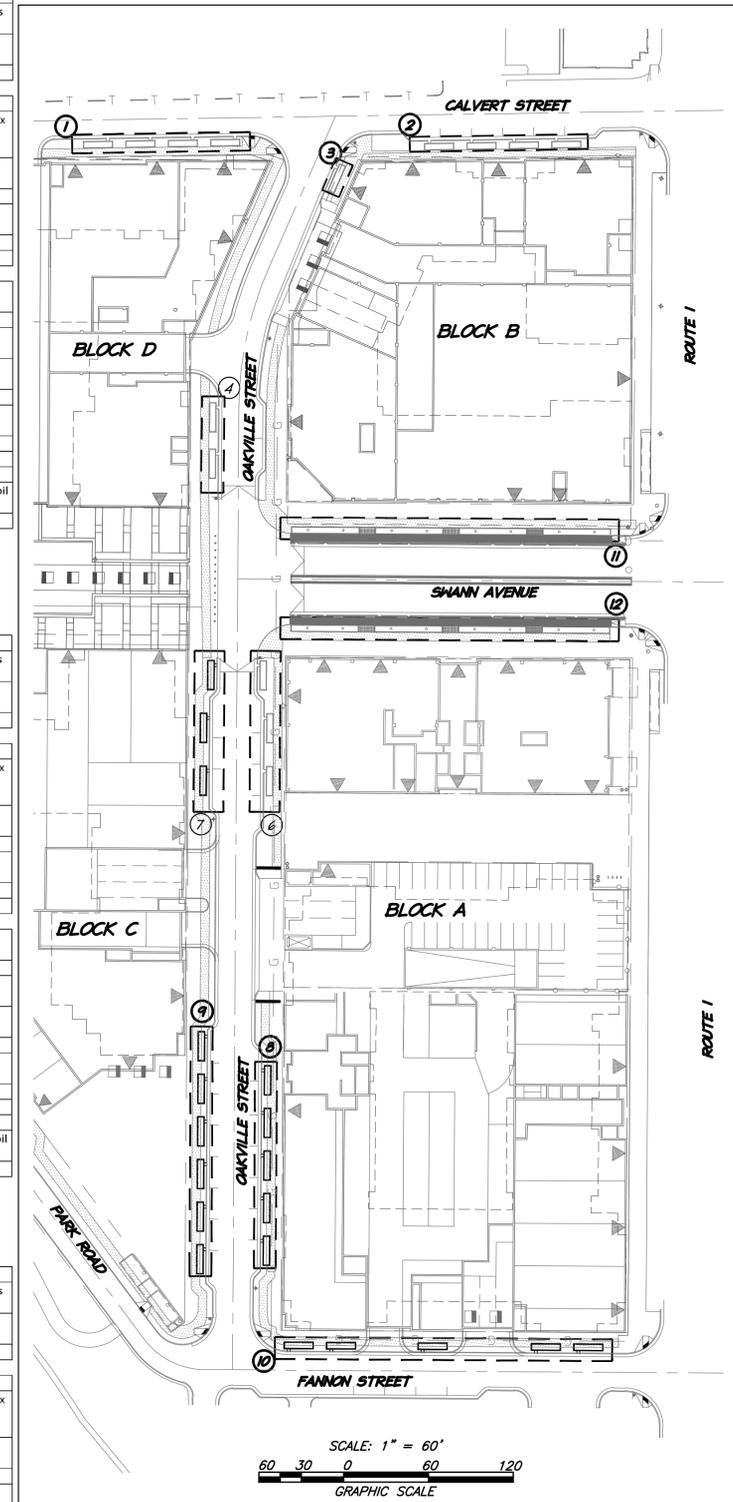
BMP TREE WELL AREA 6
3 - 20'x4' TYPE A TREE WELLS

BMP TREE WELL AREA 7
3 - 20'x4' TYPE A TREE WELLS

6 - Oakville East - North Block A - 0.5'

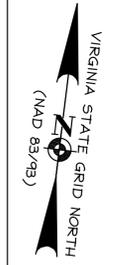
7 - Oakville West - North Block A - 0.5'

Row ID	Assumptions	Measurement	Unit	Notes and Instructions
Contributing Drainage Area				
A	Area of roadway to be treated		2100 SF	Area of roadway to be treated
B	Area of sidewalk to be treated Include driveway entrance		1845 SF	Sidewalk area to be treated (deduct tree wells and planting strips)
C	Total area contributing drainage area		3945 SF	Row A + Row B
D	Total Water quality Volume	First 0.5 in. required to be treated	164 CF	Row C x 0.5 in (0.04167 Ft)
Water Quality Sizing Requirements				
E	Ponding area required (Gross)	8 in. ponding depth	246 SF	Divide Row D by avg ponding depth (0.667 ft)
F	Ponding area required line 1 (Net after infiltration)		0.18	1 hr fill time x infiltration rate x (depth of soil x (ponding depth / 2) / depth of soil) = H x J x (K (L/2)/K)
G	Ponding area required Line 2 (Net after infiltration)	Total Water Quality volume	194 SF	Row D / (Ponding depth + Row F)
H	Fill time	1 hour standard	1 Hour	Use standard 1 hour fill time
J	Infiltration rate	Soil specific range	0.167 FT/HOUR	Use value from within the soil specification rang 2 to 3.5 in/hr (0.167 to .292 (ft./hr))
K	Depth of soil (Avg)	project specific	4 FT	See section 2.A and 2.C
L	Ponding Depth	Maximum ponding depth	0.667 FT	See section 2.A
Landscape Sizing Requirement				
M1	Type of Landscape treatment proposed		Tree Wells	
M2	Tree Spacing		30 FT O.C.	
N	Number of trees per block face		3	**Total number of trees
P	Open area per tree well (required)		65 SF	Row G / Row N
Q	Width		4 FT	Refer to section 2.B
R1	Length (min. open length)		16 FT	Row P / Row Q for min length or use length suitable for site
R2	Design Length		20 FT	
S	Avg soil depth		4 FT	Row K
T	Soil volume per tree provided		320 CF	(Row Q x Row R x Row S)
U	Additional soil volume required per tree		130 CF	450 CF - Row T. A negative value means the soil requirement has been met.
Percentage of filter surface area to contributing drainage area = 6.08% ((Row N x Row Q x Row R2) / Row C) x 100				



NOTE: PER THE VA DCR STORMWATER DESIGN SPECIFICATION #9, THE DESIGN FOR A LEVEL 2 MICRO-BIORETENTION (RAIN GARDEN) IS A MINIMUM OF 4% OF THE FILTER SURFACE AREA TO THE CONTRIBUTING DRAINAGE AREA.

DATE	REVISION



ESI PEER REVIEW

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR DATE _____

CHARMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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COMMONWEALTH OF VIRGINIA
ELI GOLDMAN
Lic. No. 55868
7/12/2016
PROFESSIONAL ENGINEER

BMP TREE WELL COMPUTATIONS

BLOCK "A" / PRELIMINARY PLAN

CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: H007.100.00
SCALE: 1"=60'
DATE: 07/12/16
DESIGN: EG
DRAWN: JS
CHECKED: EG
SHEET No. **C710**
106978

STORM WATER MANAGEMENT / BEST MANAGEMENT PRACTICES NARRATIVE

BEST MANAGEMENT PRACTICES (BMP) - STORMWATER QUALITY
 TO MEET THE STATE REQUIREMENTS FOR STORMWATER QUALITY, THE VIRGINIA RUNOFF REDUCTION METHOD SPREADSHEET FOR RE-DEVELOPMENT MUST BE FILLED OUT AND MEET ALL POLLUTANT LOAD REDUCTION REQUIREMENTS. THE CITY REQUIREMENT IS MORE STRINGENT IN THIS CASE. THE ENTIRE SITE'S WATER QUALITY VOLUME (WQV) NEEDS TO BE TREATED (13-109-F-1). SINCE THERE IS A NET DECREASE IN IMPERVIOUS AREA FOR THE SITE, A 20% REDUCTION OF PHOSPHORUS FROM THE PRE-DEVELOPMENT LOAD WILL BE REQUIRED TO BE MET. THE SITE IS BEING DESIGNED TO CAPTURE AND TREAT AS MUCH WATER AS POSSIBLE WITH BMP TREE WELLS, HYDRODYNAMIC SEPARATORS AND A SAND FILTER.

NOTE: THE BMP TREE WELLS ARE SIZED PER THE CITY OF ALEXANDRIA GREEN SIDEWALK SPECIFICATIONS. SINCE THE STATE SPECIFICATION (2013 DRAFT VA DCR SPEC. # 9 - TABLE 9-A-3) IS SIZED FOR THE 1" STORM AND THE CITY SPECIFICATION IS SIZED FOR THE 1/2" STORM, HALF OF THE AREA TREATED WAS ENTERED INTO THE VRRM SPREADSHEET.

STORMWATER QUANTITY (CHANNEL PROTECTION / FLOOD PROTECTION)
 THE SITE HAS FIVE OUTFALLS THAT WERE ALL ANALYZED FOR BOTH CHANNEL PROTECTION AND FLOOD PROTECTION. REFER TO SHEET CA11 FOR LOCATION OF THE OUTFALLS AND DRAINAGE AREAS.

OUTFALL 1
 CHANNEL PROTECTION - PIPED TO THE POTOMAC RIVER (REQUIREMENT SATISFIED)
 FLOOD PROTECTION - THE POST-DEVELOPMENT PEAK FLOW RATE FOR THE 10-YEAR 24-HOUR STORM EVENT IS LESS THAN THE PREDEVELOPMENT PEAK FLOW RATE FROM THE 10-YEAR 24-HOUR STORM EVEN (REQUIREMENT MET)

OUTFALL 2
 CHANNEL PROTECTION - PIPED TO THE POTOMAC RIVER (REQUIREMENT SATISFIED)
 FLOOD PROTECTION - THE POST-DEVELOPMENT PEAK FLOW RATE FOR THE 10-YEAR 24-HOUR STORM EVENT IS GREATER THAN THE PREDEVELOPMENT PEAK FLOW RATE FROM THE 10-YEAR 24-HOUR STORM EVEN (DETENTION REQUIRED)

OUTFALL 3
 CHANNEL PROTECTION - PIPED TO THE POTOMAC RIVER (REQUIREMENT SATISFIED)
 FLOOD PROTECTION - THE POST-DEVELOPMENT PEAK FLOW RATE FOR THE 10-YEAR 24-HOUR STORM EVENT IS GREATER THAN THE PREDEVELOPMENT PEAK FLOW RATE FROM THE 10-YEAR 24-HOUR STORM EVEN (DETENTION REQUIRED)

OUTFALL 4
 CHANNEL PROTECTION - REACHES A NATURAL CHANNEL BEFORE THE WATER DRAINS TO FOUR MILE RUN. THE IMPROVEMENT FACTOR EQUATION IN 13-109-F-1-c-i WAS USED TO ANALYZE THIS OUTFALL (REQUIREMENT SATISFIED)
 FLOOD PROTECTION - THE POST-DEVELOPMENT PEAK FLOW RATE FOR THE 10-YEAR 24-HOUR STORM EVENT IS LESS THAN THE PREDEVELOPMENT PEAK FLOW RATE FROM THE 10-YEAR 24-HOUR STORM EVEN (REQUIREMENT MET)

OUTFALL 5
 CHANNEL PROTECTION - REACHES A NATURAL CHANNEL IN MOUNT JEFFERSON PARK. THE IMPROVEMENT FACTOR EQUATION IN 13-109-F-1-c-i WAS USED TO ANALYZE THIS OUTFALL (REQUIREMENT SATISFIED)
 FLOOD PROTECTION - THE POST-DEVELOPMENT PEAK FLOW RATE FOR THE 10-YEAR 24-HOUR STORM EVENT IS LESS THAN THE PREDEVELOPMENT PEAK FLOW RATE FROM THE 10-YEAR 24-HOUR STORM EVEN (REQUIREMENT MET)

DETENTION VAULT SIZING

OUTFALL 2
 A STORMWATER DETENTION VAULT WILL BE LOCATED IN THE GARAGE OF BUILDING A. THIS VAULT WILL BE SIZED TO DETAIN 2,325 CF TO DECREASE THE OUTFALL'S MAXIMUM PEAK DISCHARGE FROM 9.03 CFS TO 6.78 CFS.

OUTFALL 3
 A STORMWATER DETENTION VAULT WILL BE LOCATED IN THE GARAGE OF BUILDING B. THIS VAULT WILL BE SIZED TO DETAIN 7,425 CF TO DECREASE THE OUTFALL'S MAXIMUM PEAK DISCHARGE FROM 21.49 CFS TO 12.13 CFS.

BMP MAINTENANCE AGREEMENT NOTE:

THE APPLICANT SHALL EXECUTE A MAINTENANCE SERVICE CONTRACT WITH A PRIVATE CONTRACTOR FOR A MINIMUM OF THREE YEARS. A COPY OF THE CONTRACT SHALL BE PLACED IN THE BMP OPERATION AND MAINTENANCE MANUAL PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A COPY OF THE CONTRACT SHALL BE SUBMITTED TO THE CITY. THE APPLICANT SHALL PREPARE AN OWNER'S OPERATION AND MAINTENANCE MANUAL FOR ALL THE BEST MANAGEMENT PRACTICES (BMPs) USED ON SITE. THE MANUAL SHALL INCLUDE AT A MINIMUM: AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF THE BMP(S); DRAWINGS AND DIAGRAMS OF THE BMP(S) AND ANY SUPPORTING UTILITIES; CATALOG CUTS ON MAINTENANCE REQUIREMENTS; MANUFACTURER CONTACT NAMES AND PHONE NUMBERS; A COPY OF THE EXECUTED MAINTENANCE SERVICE CONTRACT; AND A COPY OF THE MAINTENANCE AGREEMENT WITH THE CITY. PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, A COPY OF THE OPERATION AND MAINTENANCE MANUAL SHALL BE SUBMITTED TO THE CITY ON A DIGITAL MEDIA.

DESIGN PROFESSIONAL INSPECTION NOTE

THE STORMWATER BEST MANAGEMENT PRACTICES (BMPs) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN PROFESSIONAL OR HIS DESIGNATED REPRESENTATIVE. PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE DESIGN PROFESSIONAL SHALL SUBMIT A WRITTEN CERTIFICATION TO THE DIRECTOR OF PWS THAT THE BMPs ARE:
 A. CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED FINAL SITE PLAN.
 B. CLEAN AND FREE OF DEBRIS, SOIL AND LITTER BY EITHER HAVING BEEN INSTALLED OR BROUGHT INTO SERVICE AFTER SITE WAS STABILIZED.

Outfall	Pre				Post				Notes
	Area	Imp	Perv	CN	Area	Imp	Perv	CN	
1	3.98	3.83	0.15	97.3	4	3.63	0.37	96.3	All of Block C (except for park), Half of Block A, Part of Oakville St.
2	1.09	0.99	0.1	96.3	1.63	1.45	0.18	96.0	Half of Block A
3	1.93	1.78	0.15	96.6	3.42	3.2	0.22	96.8	Block B, Swann, Part of Oakville St, Part of Calvert
4	6.72	6.42	0.3	97.2	4.28	3.85	0.43	96.2	Block D, Part of Calvert
5	2.78	2.45	0.33	95.9	1.93	1.28	0.65	91.9	All of Park Rd, Park of Oakville, Block C park

Outfall	Pre								Post									
	1-Year		2-Year		10-Year		1-Year		2-Year		10-Year		1-Year		2-Year		10-Year	
	Q	Rv	Q	Rv	Q	Rv	Q	Rv	Q	Rv	Q	Rv	Q	Rv	Q	Rv	Q	Rv
1	13.53	33998	16.03	40703	25.01	65054	13.26	32660	15.8	39351	24.9	63724						
2	3.61	8899	4.31	10723	6.78	17365	4.81	11839	5.73	14265	9.03	23100						
3	6.56	16487	7.77	19738	12.13	31547	11.62	29215	13.77	34976	21.49	55901						
4	22.84	57405	27.06	68725	42.22	109841	14.19	34946	16.91	42106	26.64	68185						
5	9.22	22698	10.98	27349	17.3	44288	5.59	13114	6.84	16207	11.35	27661						

SEE SHEETS CA13 & CA14 FOR PONDPACK COMPUTATIONS

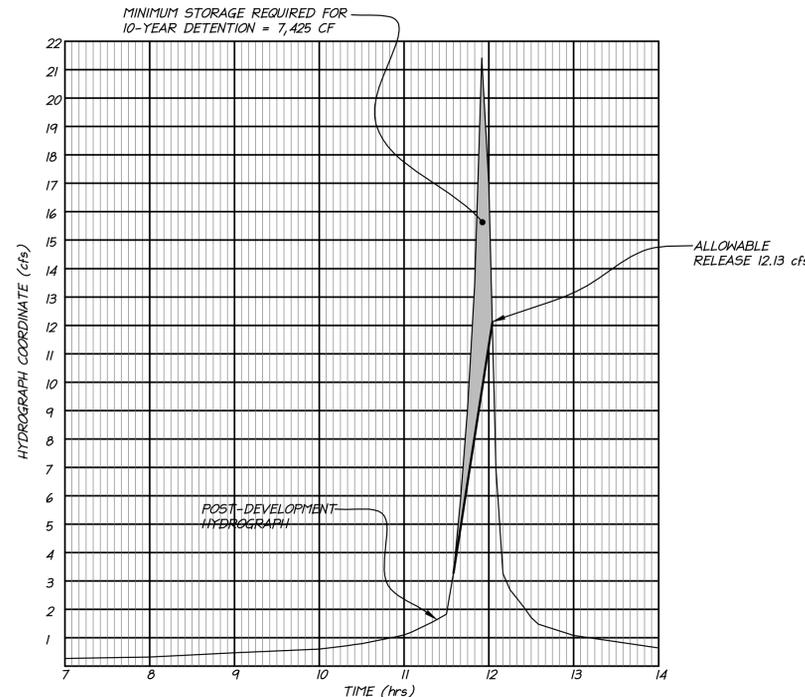
OUTFALL 4 IMPROVEMENT FACTOR EQUATION (13-109-F-1-c-i)

$QDEV \leq (.8) (QPRE) [RVPRE / RVDEV]$
 $14.19 \leq (.8) (22.84) [57405 / 34946]$
 $14.19 \leq 30.01 \quad OK$

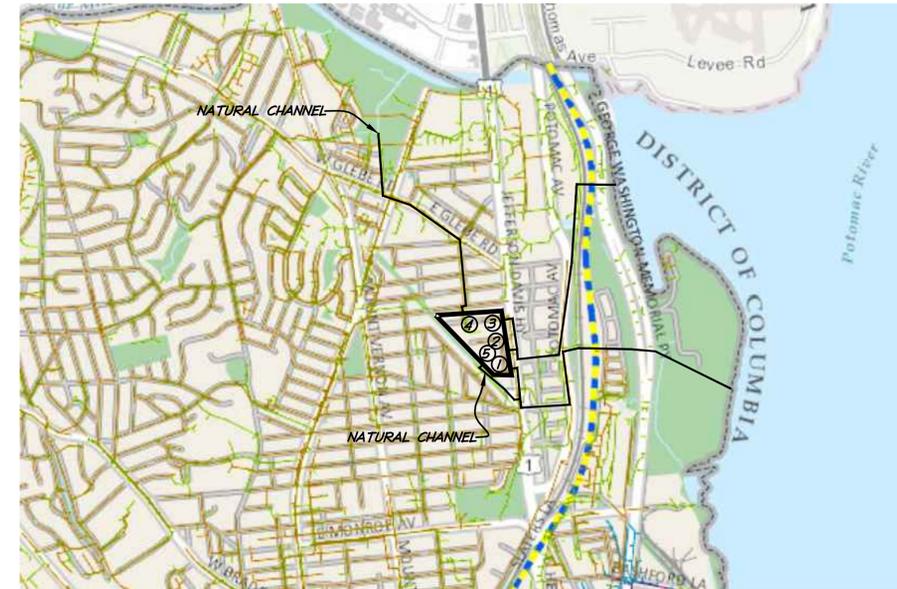
OUTFALL 5 IMPROVEMENT FACTOR EQUATION (13-109-F-1-c-i)

$QDEV \leq (.8) (QPRE) [RVPRE / RVDEV]$
 $5.59 \leq (.8) (9.22) [22698 / 13114]$
 $5.59 \leq 12.77 \quad OK$

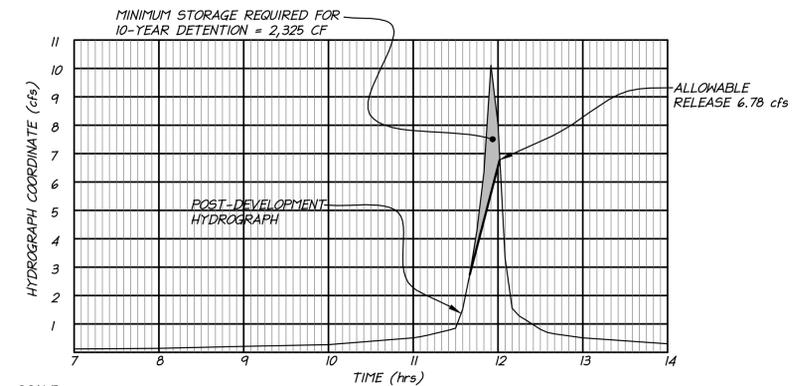
10-YEAR STORM ANALYSIS



SCALE:
 H: 1 UNIT = 5 MIN
 V: 1 UNIT = 1 CFS
 AREA = 24.75 S.U.
 ESTIMATED STORAGE REQUIRED = 7,425 CF
 APPROXIMATE VAULT SIZE = 15 x 10 x 49.5
 1 S.U. = 1 CF / 5 * 5 M * 60 S = 300 CF



OUTFALL 2 10-YEAR STORM ANALYSIS



SCALE:
 H: 1 UNIT = 5 MIN
 V: 1 UNIT = 1 CFS
 AREA = 7.75 S.U.
 ESTIMATED STORAGE REQUIRED = 2,325 CF
 APPROXIMATE VAULT SIZE = 15 x 5 x 31
 1 S.U. = 1 CF / 5 * 5 M * 60 S = 300 CF

ESI PEER REVIEW

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DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHARMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

NOTE: ALL DETENTION VAULTS WILL BE INSTALLED WITH PHASE I OF THE OAKVILLE DEVELOPMENT.

DATE _____ REVISION _____

christopher consultants
 9900 main street (suite 400) · Fairfax, VA 22031
 phone 703.273.6820 · fax 703.273.6820

COMMONWEALTH OF VIRGINIA
 ELI GOLDMAN
 Lic. No. 55868
 7/12/2016
 PROFESSIONAL ENGINEER

SWM WATER QUANTITY

BLOCK "A1" PRELIMINARY PLAN

CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: H007.400.00
 SCALE: 1"=30'
 DATE: 07/12/16
 DESIGN: EG
 DRAWN: JS
 CHECKED: EG
 SHEET No. **C712**
 106978



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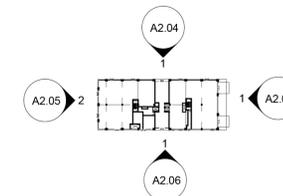
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

SWANN ELEVATION RENDERING

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.04

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1 OFFICE ELEVATION RENDERING - SWANN
A2.04 SCALE: 3/32" = 1'-0"

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SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 SWANN ELEVATION RENDERING
at 1_elevation_all glass 10 degree tower_oklaka.nt
7/11/2016 4:14:45 PM



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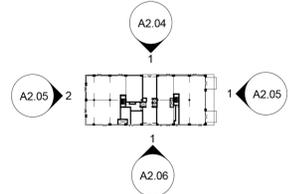
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

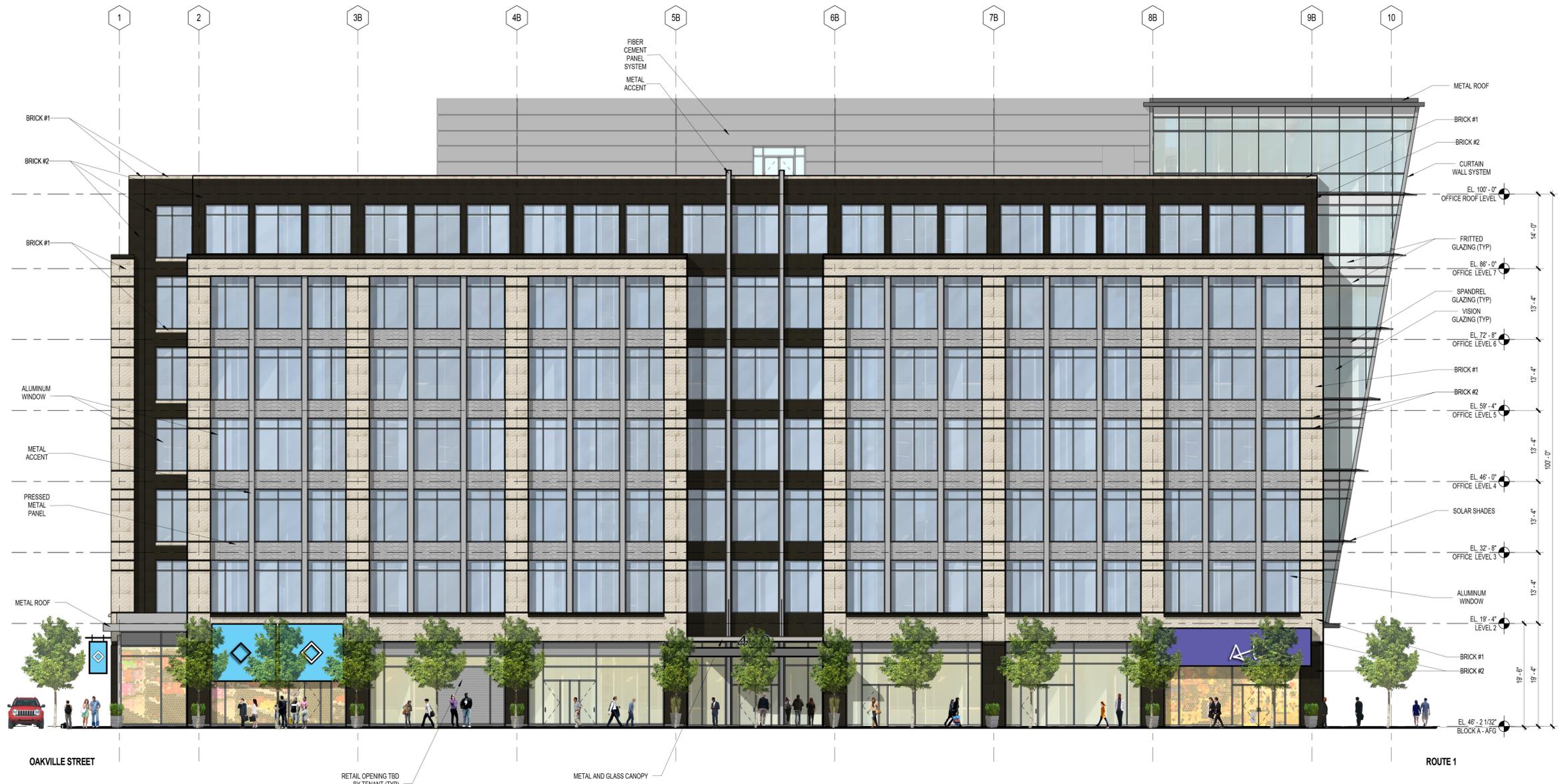
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PLAZA ELEVATION RENDERING

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.06



2 OFFICE ELEVATION RENDERING - PLAZA
A2.06 SCALE: 3/32" = 1'-0"

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DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
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at_1_elevation_all glass 10 degree tower_ oklaka.rvt
7/11/2016 4:15:43 PM



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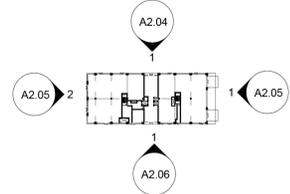
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

OAKVILLE / ROUTE 1 ELEVATION RENDERINGS

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.05

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2 OFFICE ELEVATION RENDERING - ROUTE 1
A2.05 SCALE: 3/32" = 1'-0"



3 OFFICE ELEVATION RENDERING - OAKVILLE
A2.05 SCALE: 3/32" = 1'-0"

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INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
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7/11/2016 4:15:14 PM



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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

TYPICAL BAY DETAILS

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A6.02

BRICKS

BRICK #1 - BLEND OF TAYLOR 319 GRAY & PEARL GRAY BRICK

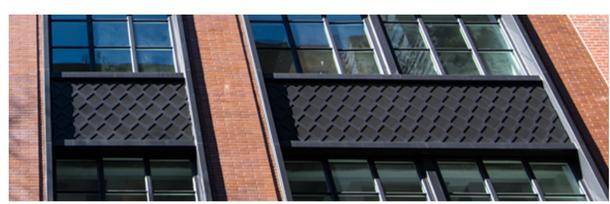


BRICK #2 - BELDEN EBONY BLACK SMOOTH BRICK



METAL PANEL

STAMPED METAL PANEL - SIMILAR TO PATTERN SHOWN IN SMOKE GREY FINISH



WINDOWS

ALUMINIM WINDOWS WITH LOW-E GLASS AND SMOKE GREY FINISH MULLIONS

WINDOW WALL

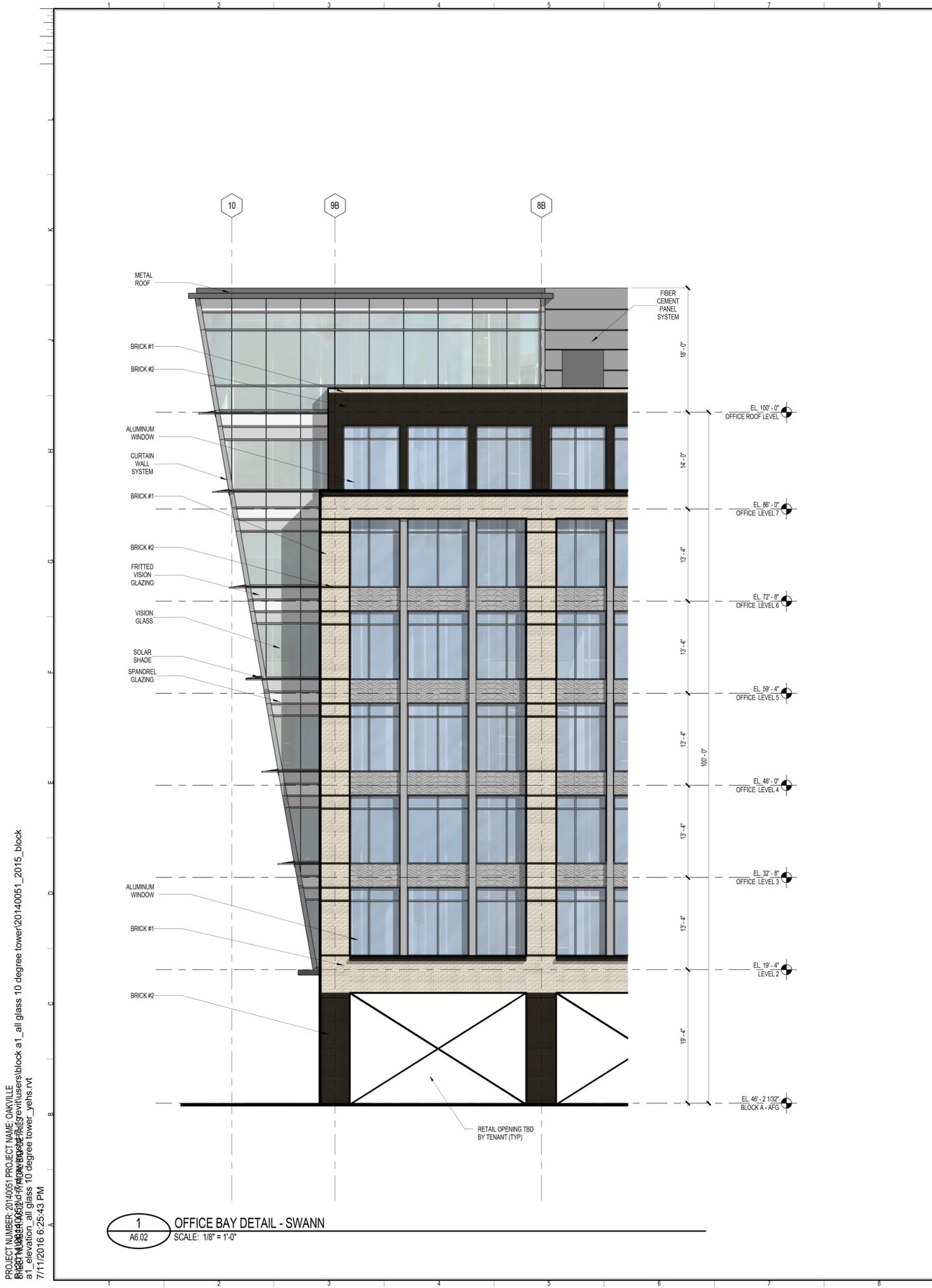
FRITTED SPANDREL PANEL - SIMILAR TO VIRASPAN V175

MULLIONS AND FINS - SMOKE GREY FINISH

VISION GLASS - LOW-E SIMILAR TO VIRACON VE 1-2M

STOREFRONT

ALUMINUM RETAIL STOREFRONT WITH CLEAR VISION GLASS AND SMOKE GREY FINISH MULLIONS



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
Block A1 - elevation, all glass 10 degree tower_yehs.rvt
7/11/2016 6:25:43 PM

1 OFFICE BAY DETAIL - SWANN
A6.02 SCALE: 1/8" = 1'-0"

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 1

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SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

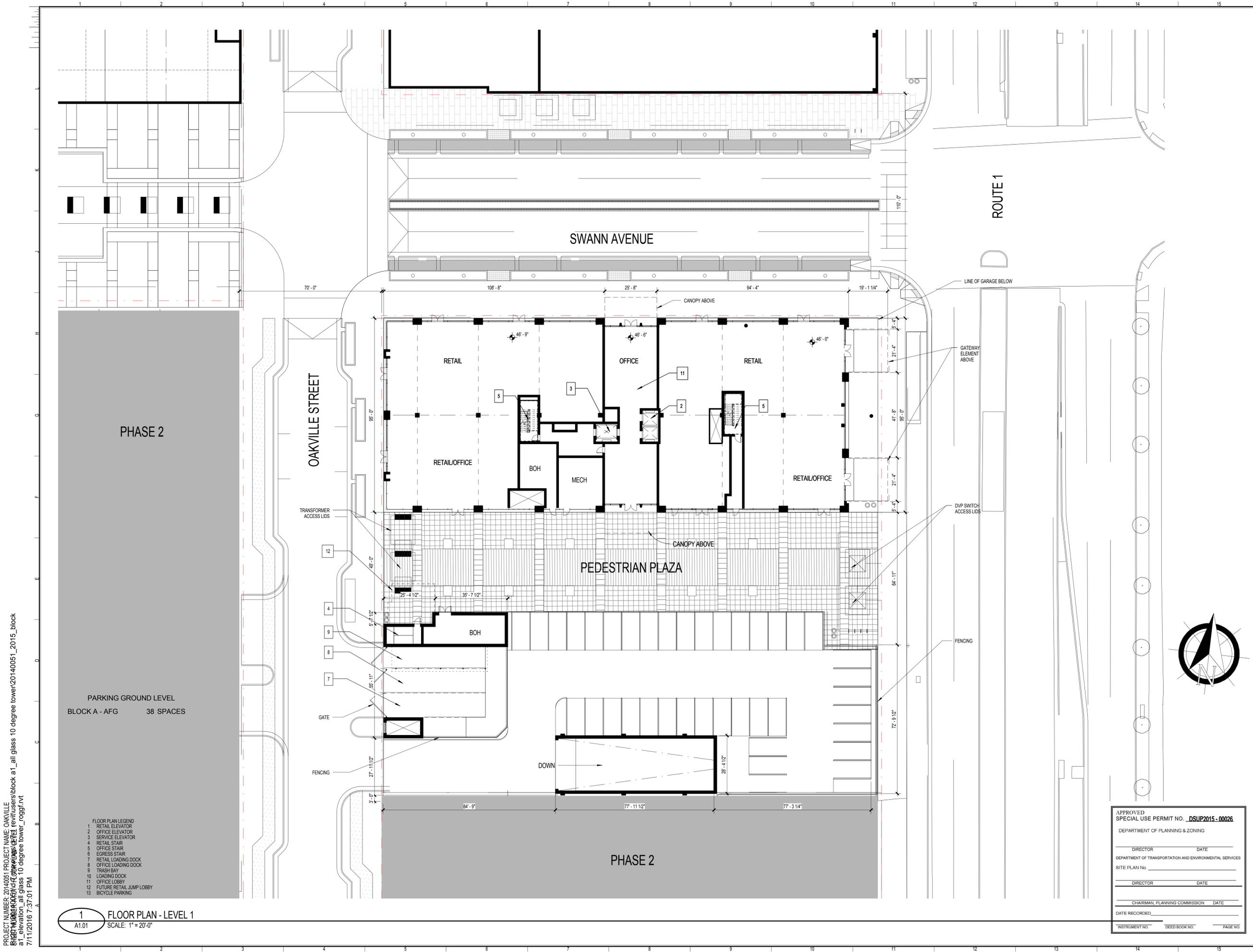
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.01

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PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A - AFG
at_1_elevation_all glass 10 degree tower_rvgg.rvt
7/11/2016 7:37:01 PM

- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 1
A1.01 SCALE: 1" = 20'-0"



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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 2

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.02

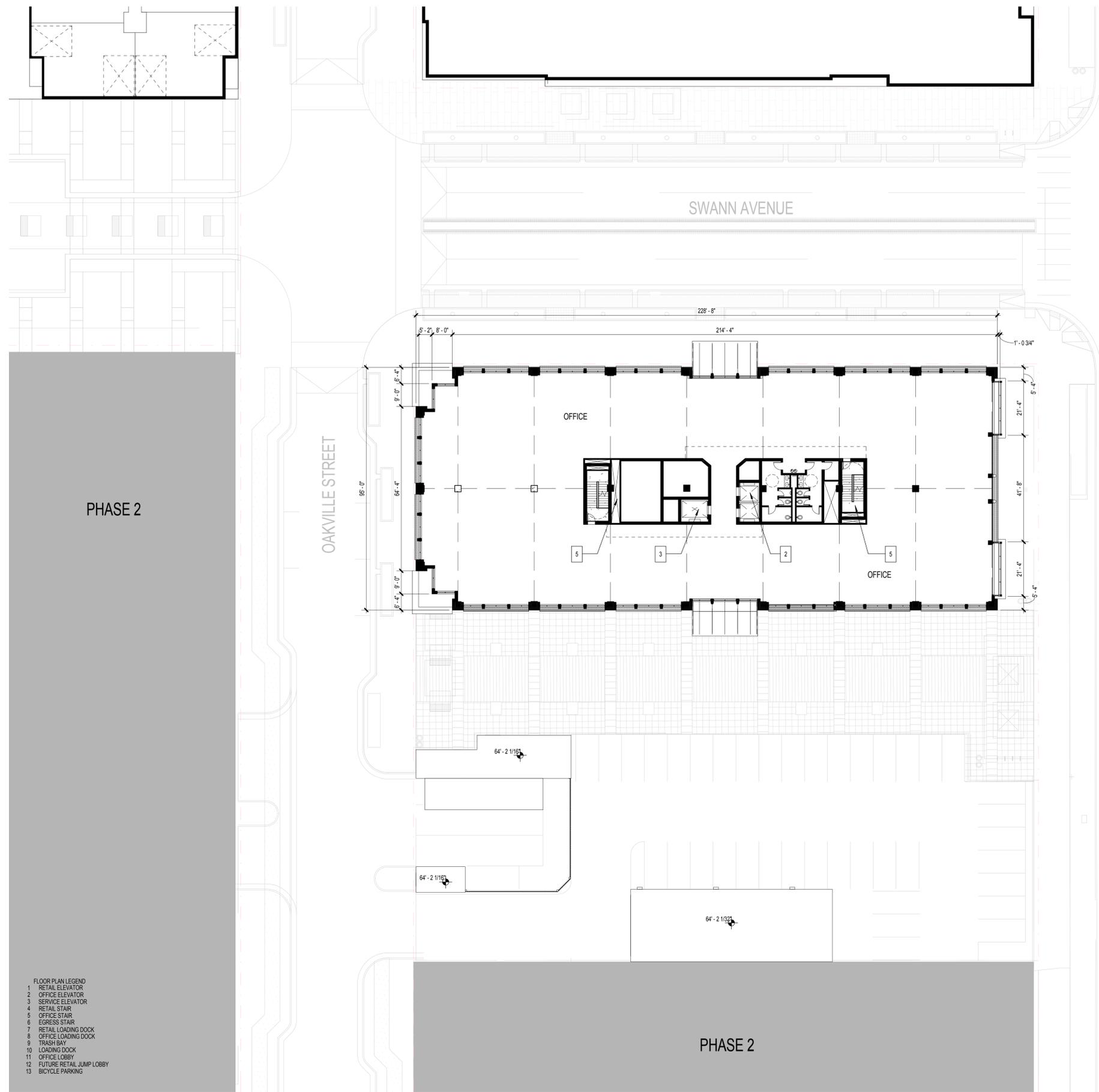
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- FLOOR PLAN LEGEND**
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 2
A1.02 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 DEPARTMENT OF PLANNING & ZONING SPECIAL USE PERMIT NO. DSUP2015-00026
at_1_elevation_all glass 10 degree tower_rdggr.rvt
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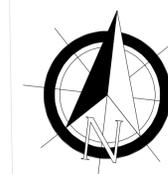
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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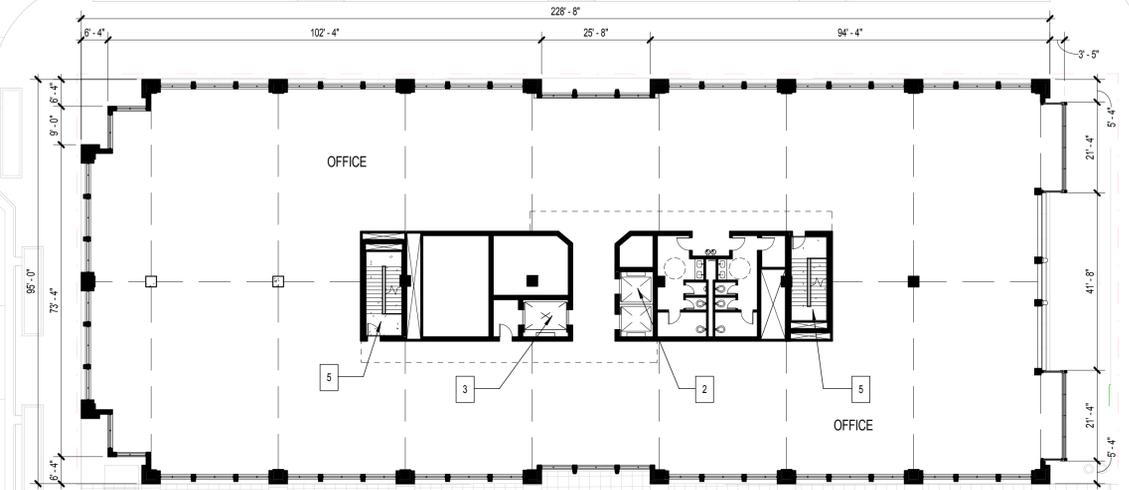
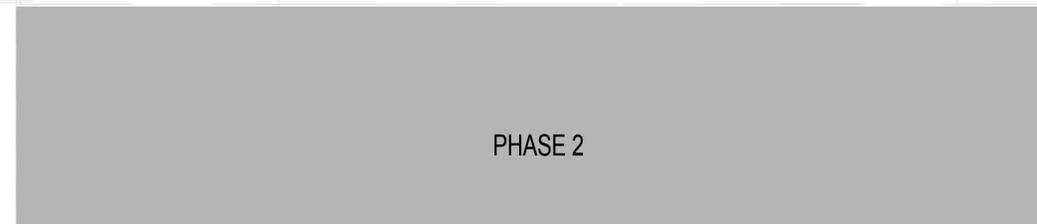
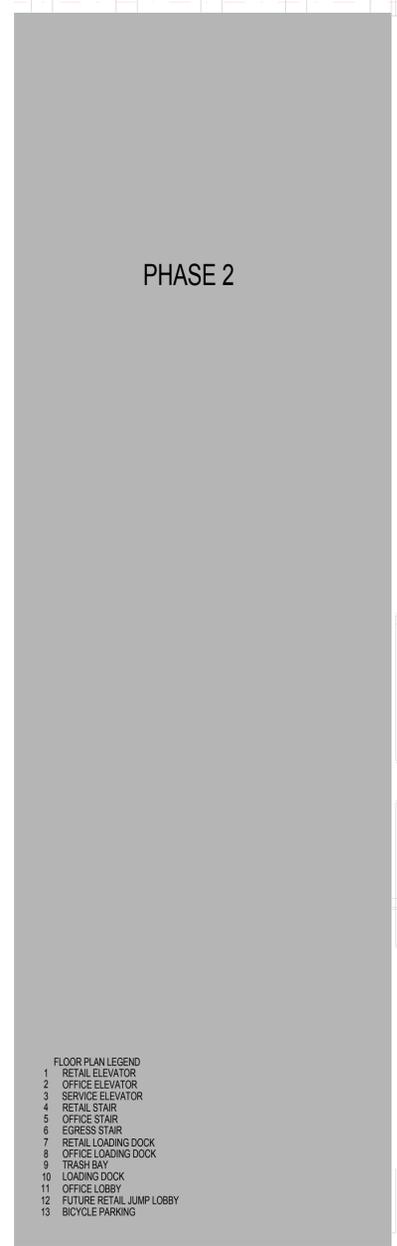
ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 3

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.03

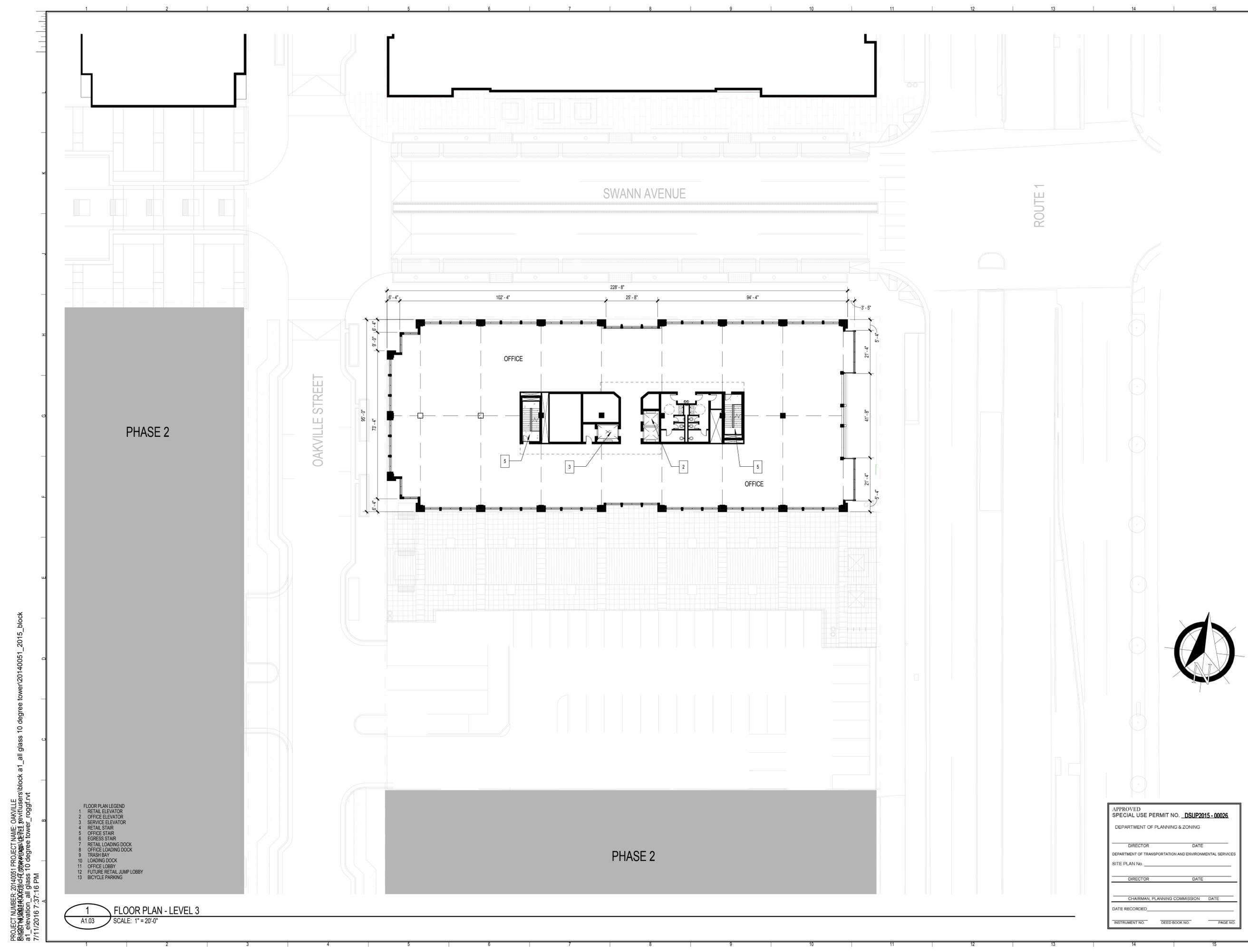
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- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 3
A1.03 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
 BLOCK A1 - CONCEPT II - CONCEPTS LEVEL 3.rvt
 at_1_elevation_all glass 10 degree tower_rdggr.rvt
 7/11/2016 7:37:16 PM





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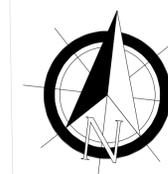
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 4

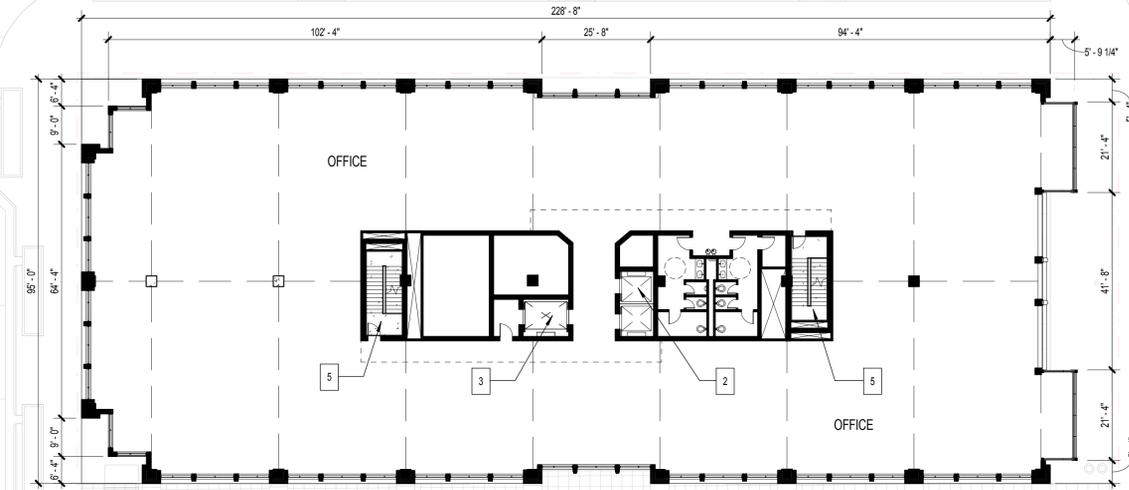
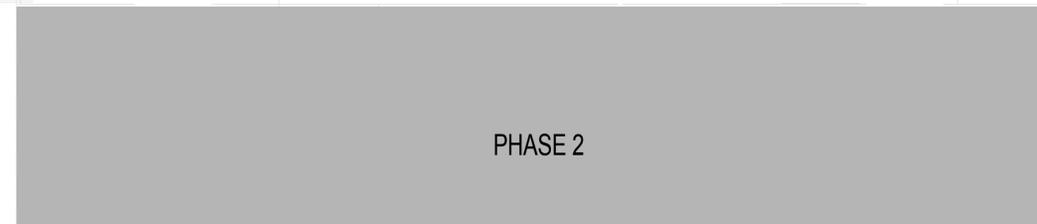
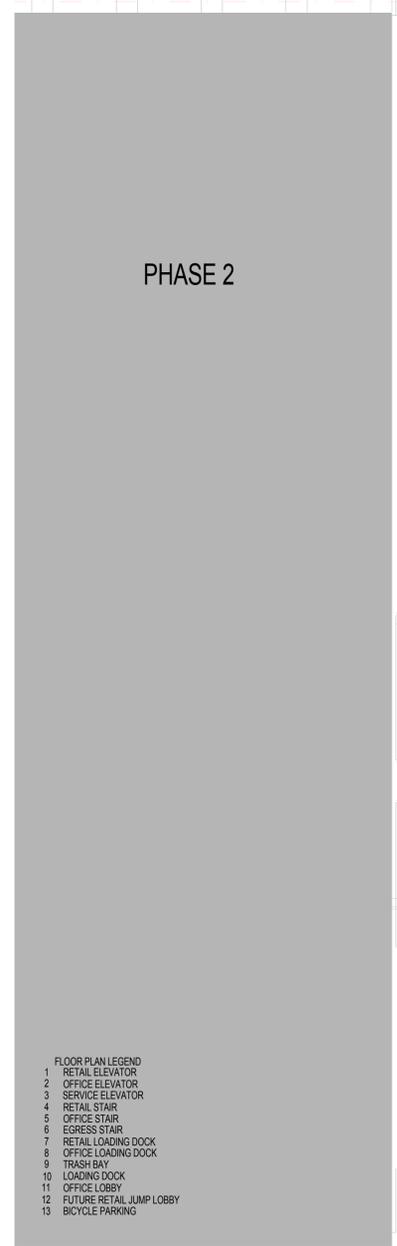
DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.04

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 4
A1.04 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
 BLOCK A1 DEPARTMENT OF PLANNING & ZONING SPECIAL USE PERMIT NO. DSUP2015-00026
 at_1_elevation_all glass 10 degree tower_rdggr.rvt
 7/11/2016 7:37:22 PM



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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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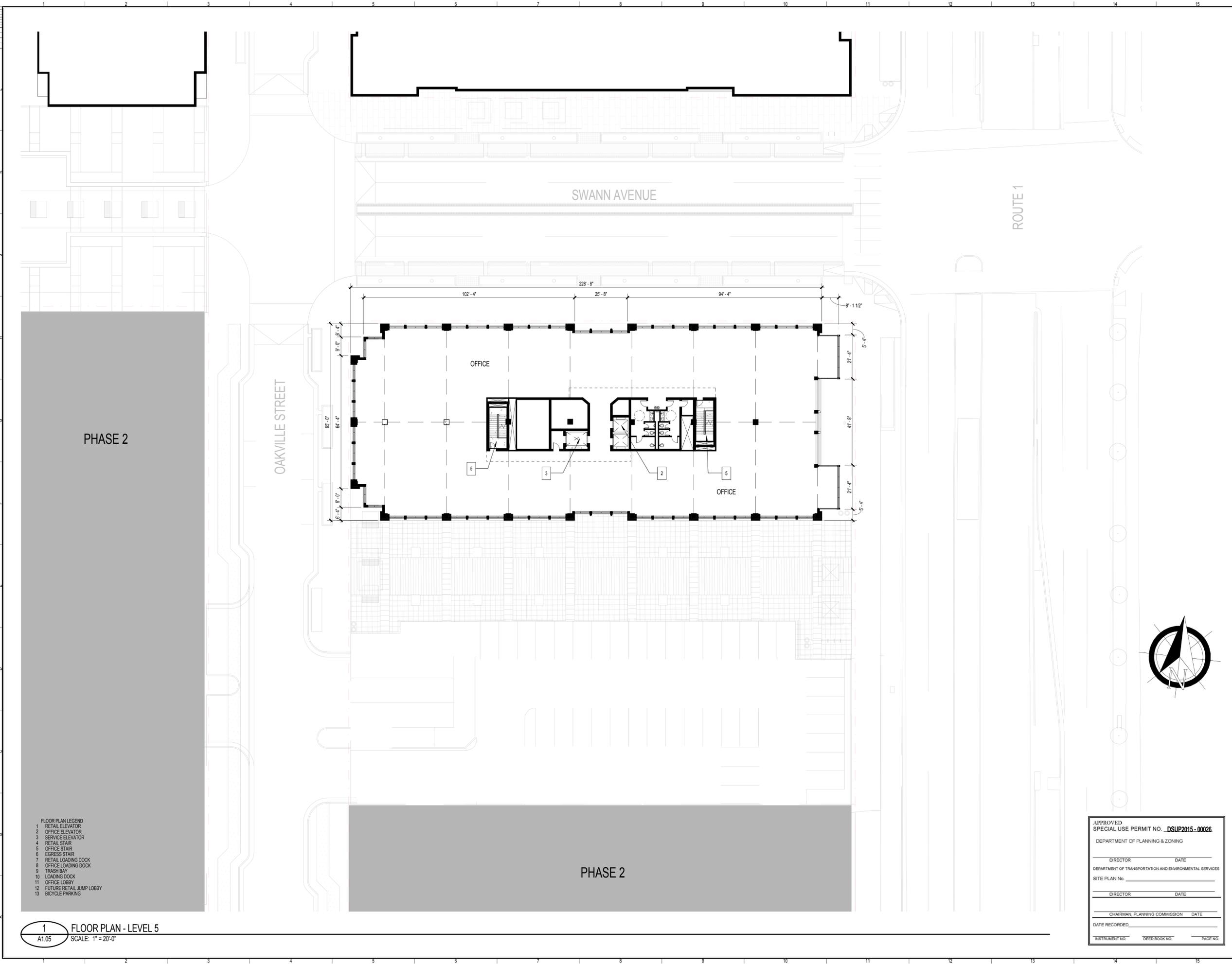
ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 5

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.05

NOT ISSUED FOR CONSTRUCTION



- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 5
A1.05 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - CONCEPTS LEVEL 5
at_1_elevation_all glass 10 degree tower_rdggr.rvt
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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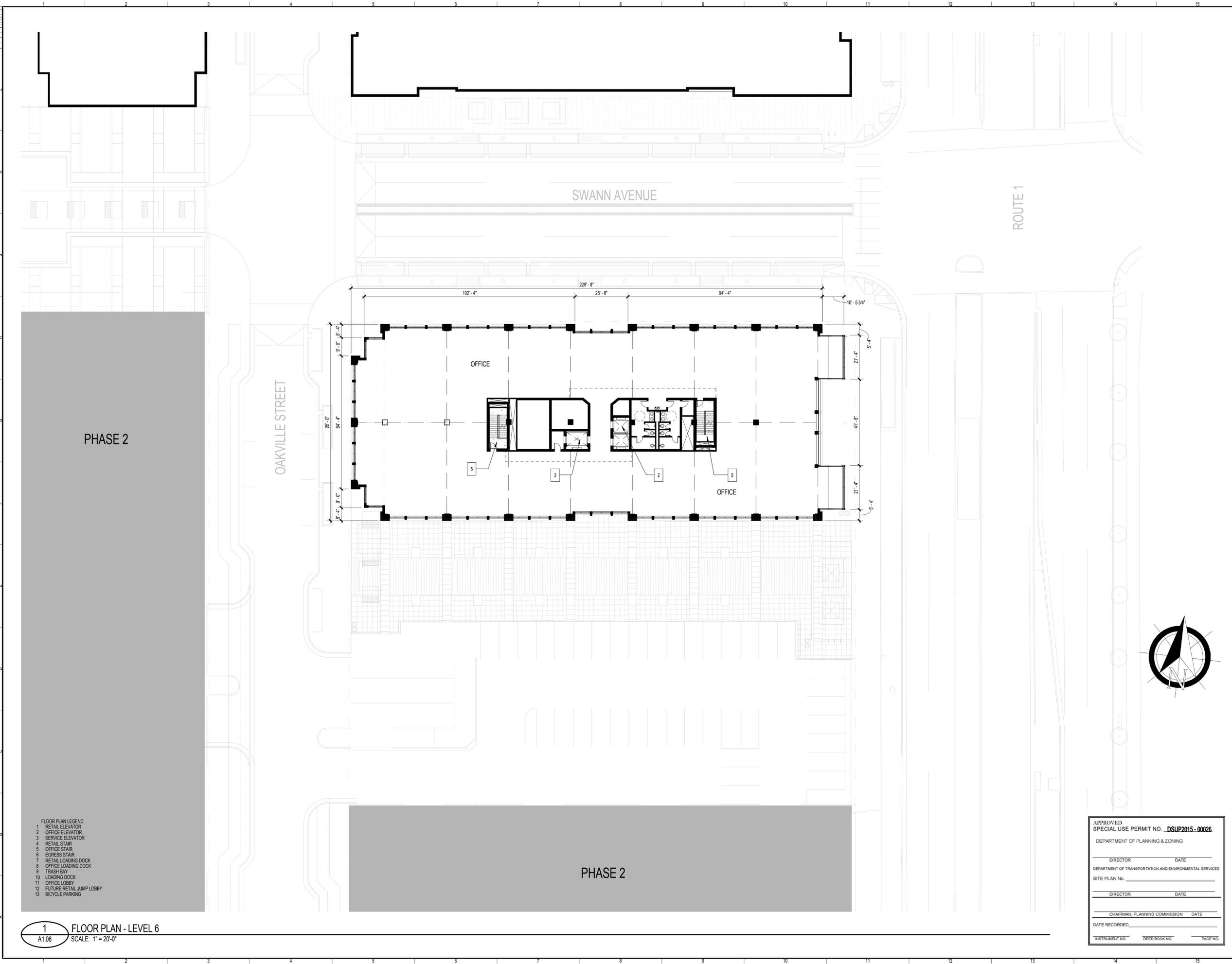
ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 6

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.06

NOT ISSUED FOR CONSTRUCTION



- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 6
A1.06 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
 BLOCK A1 - CONCEPT II - COMPLETENESS PLAN
 at_1_elevation_all glass 10 degree tower_rdggr.rvt
 7/11/2016 7:37:36 PM



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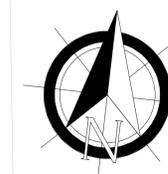
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

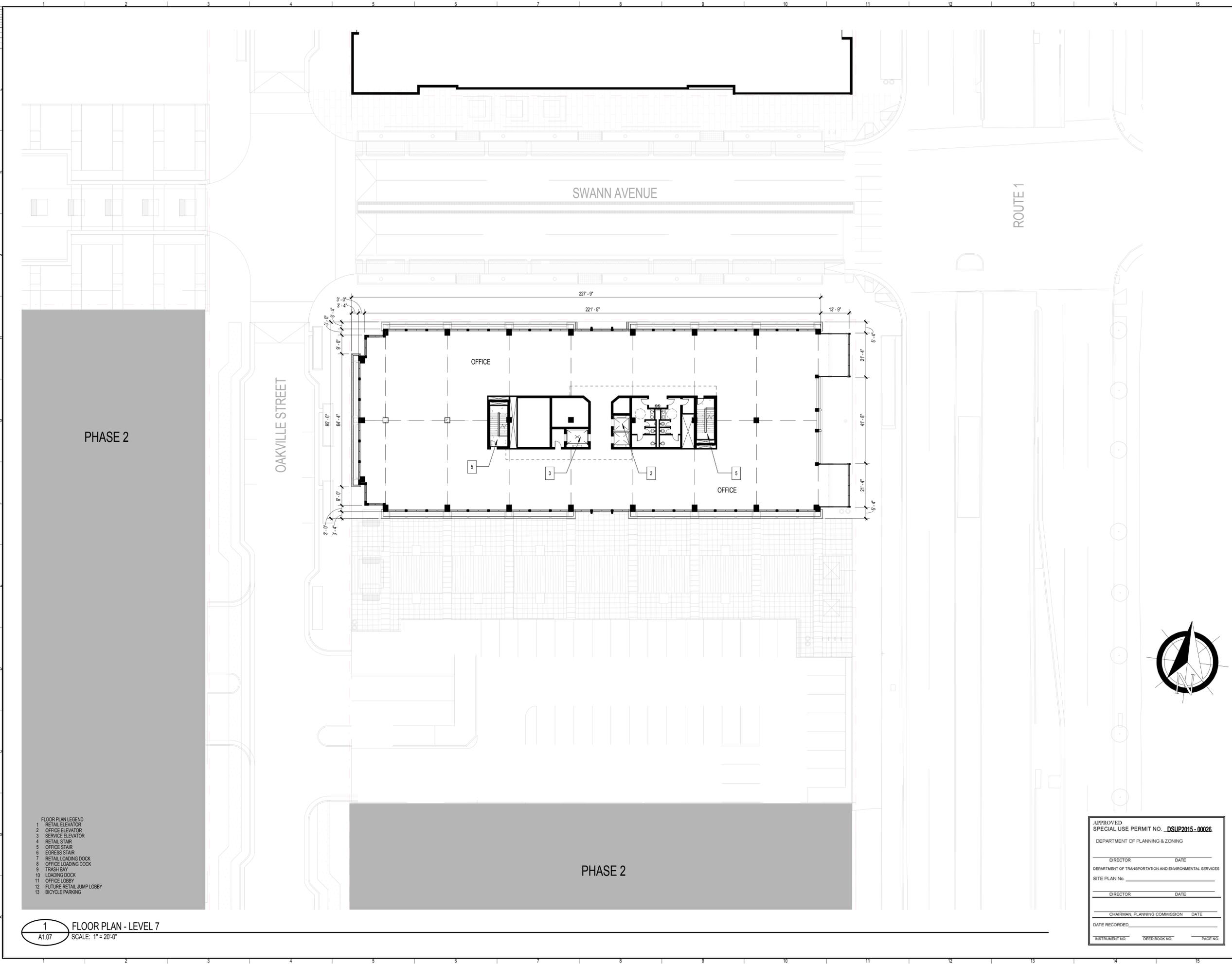
ALEXANDRIA, VIRGINIA

FLOOR PLAN - LEVEL 7

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.07

NOT ISSUED FOR CONSTRUCTION



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II AND CONCEPT III REVISED USER'S BLOCK A1 - ALL GLASS 10 DEGREE TOWER 20140051_2015_block
at_1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:37:42 PM

- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - LEVEL 7
A1.07 SCALE: 1" = 20'-0"



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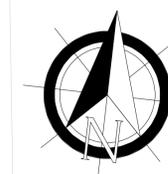
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FLOOR PLAN - ROOF LEVEL

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SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

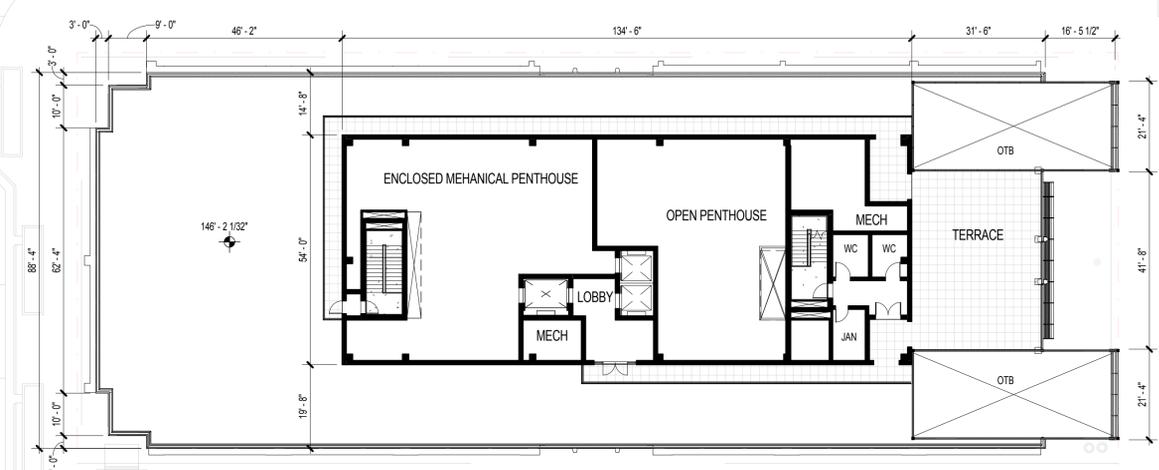
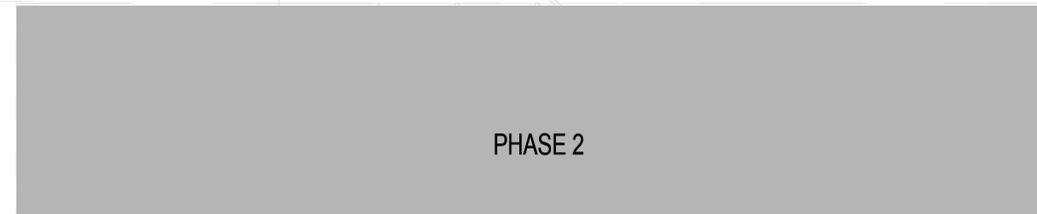
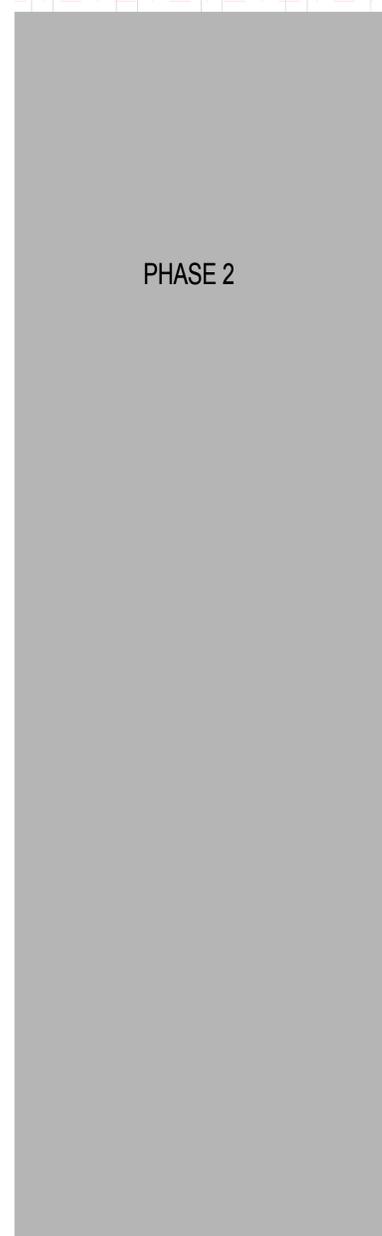
CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.08

NOT ISSUED FOR CONSTRUCTION



PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 ELEVATION: 07/12/2016 7:37:46 PM
at_1_elevation_all glass 10 degree tower_rvggr.rvt

1 FLOOR PLAN - ROOF LEVEL
A1.08 SCALE: 1" = 20'-0"

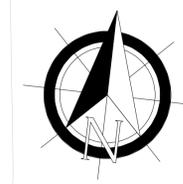


SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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FLOOR PLAN - ROOF PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.09

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 ELEVATION: 10 DEGREE TOWER
at_1_elevation_all glass 10 degree tower_rvgg.rvt
7/11/2016 7:37:50 PM

1 FLOOR PLAN - ROOF PLAN
A1.09 SCALE: 1" = 20'-0"

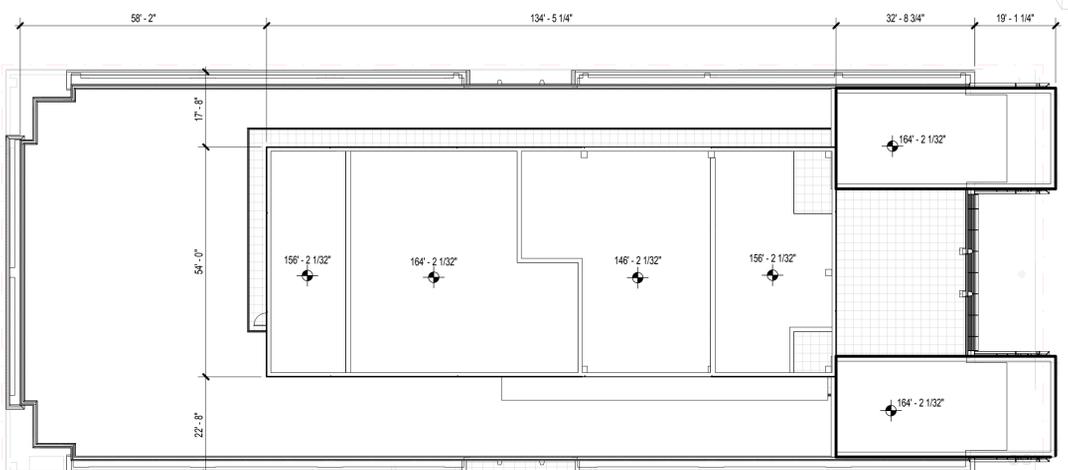
PHASE 2

PHASE 2

SWANN AVENUE

ROUTE 1

OAKVILLE STREET





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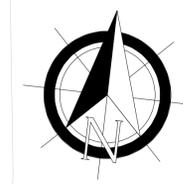
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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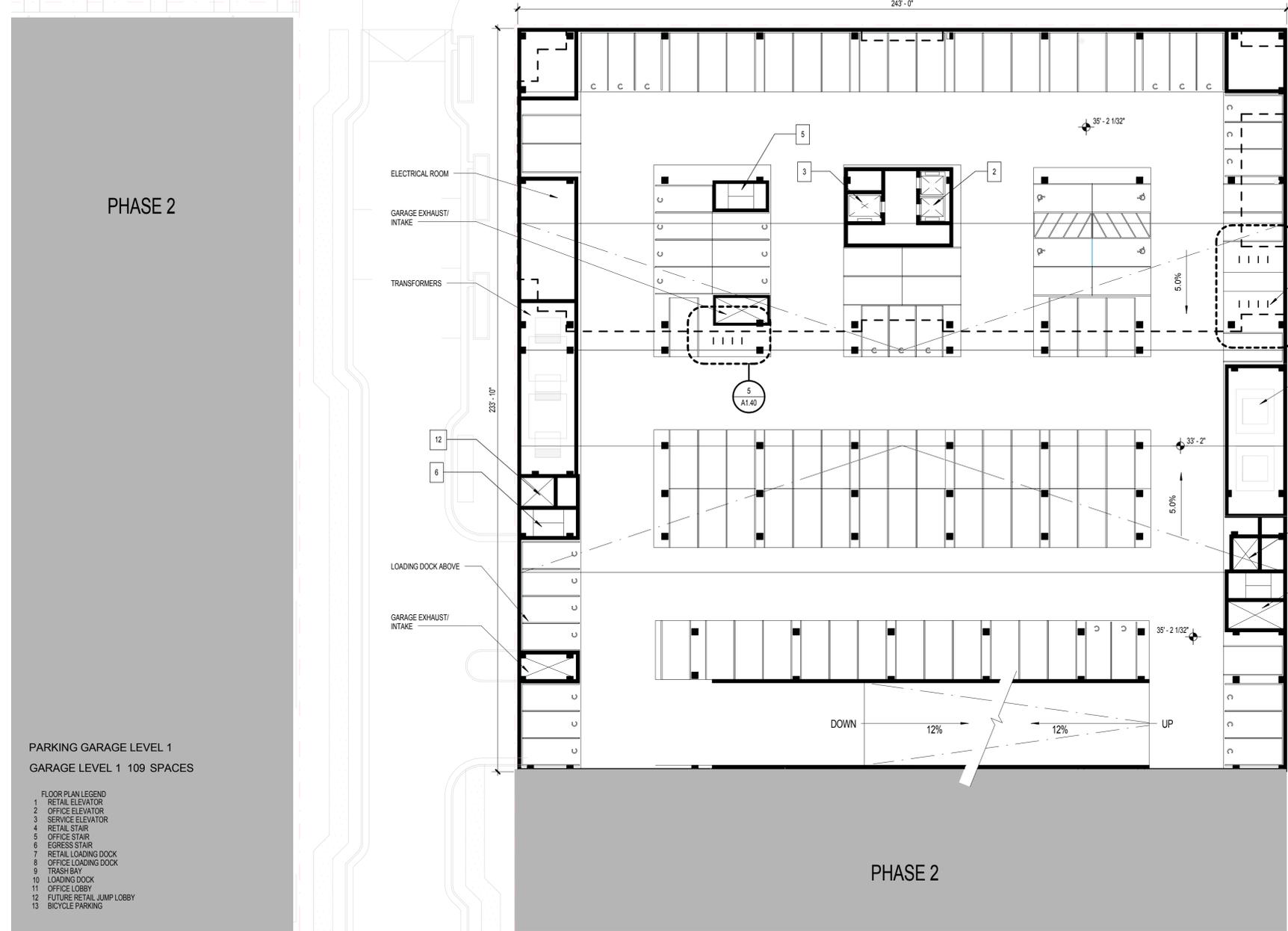
FLOOR PLAN - GARAGE LEVEL 1

1

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.10

NOT ISSUED FOR CONSTRUCTION



PARKING GARAGE LEVEL 1
GARAGE LEVEL 1 109 SPACES

- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EXPRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - GARAGE LEVEL 1
A1.10 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II PART 2 - GARAGE LEVEL 1
at_1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:37:56 PM



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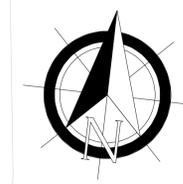
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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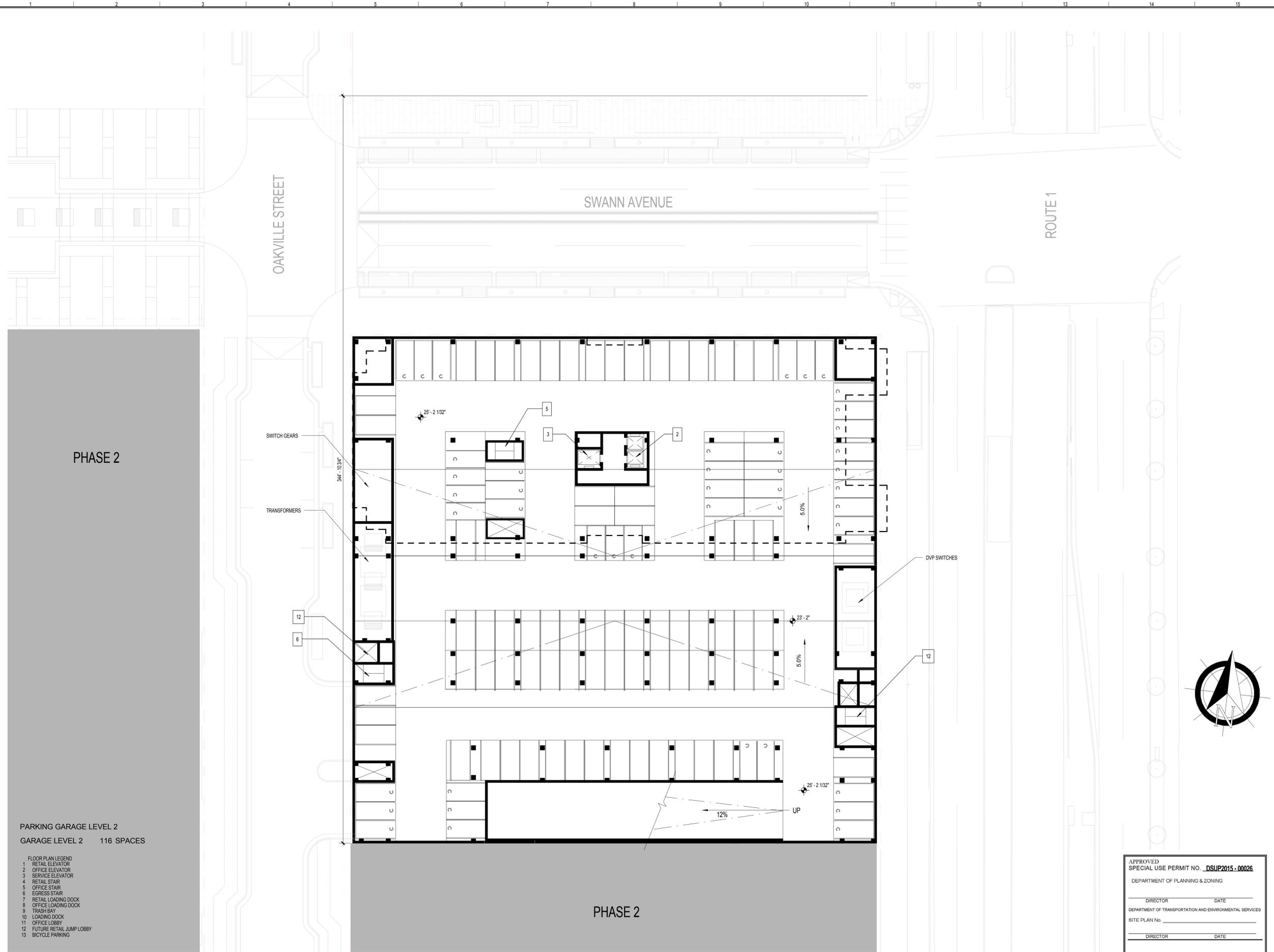
ALEXANDRIA, VIRGINIA

FLOOR PLAN - GARAGE LEVEL 2

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.11

NOT ISSUED FOR CONSTRUCTION



PARKING GARAGE LEVEL 2
GARAGE LEVEL 2 116 SPACES

- FLOOR PLAN LEGEND
- 1 RETAIL ELEVATOR
 - 2 OFFICE ELEVATOR
 - 3 SERVICE ELEVATOR
 - 4 RETAIL STAIR
 - 5 OFFICE STAIR
 - 6 EGRESS STAIR
 - 7 RETAIL LOADING DOCK
 - 8 OFFICE LOADING DOCK
 - 9 TRASH BAY
 - 10 LOADING DOCK
 - 11 OFFICE LOBBY
 - 12 FUTURE RETAIL JUMP LOBBY
 - 13 BICYCLE PARKING

1 FLOOR PLAN - GARAGE LEVEL 2
A1.11 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - PART 2 - CONCEPTS - GARAGE LEVELS
at_1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:38:02 PM

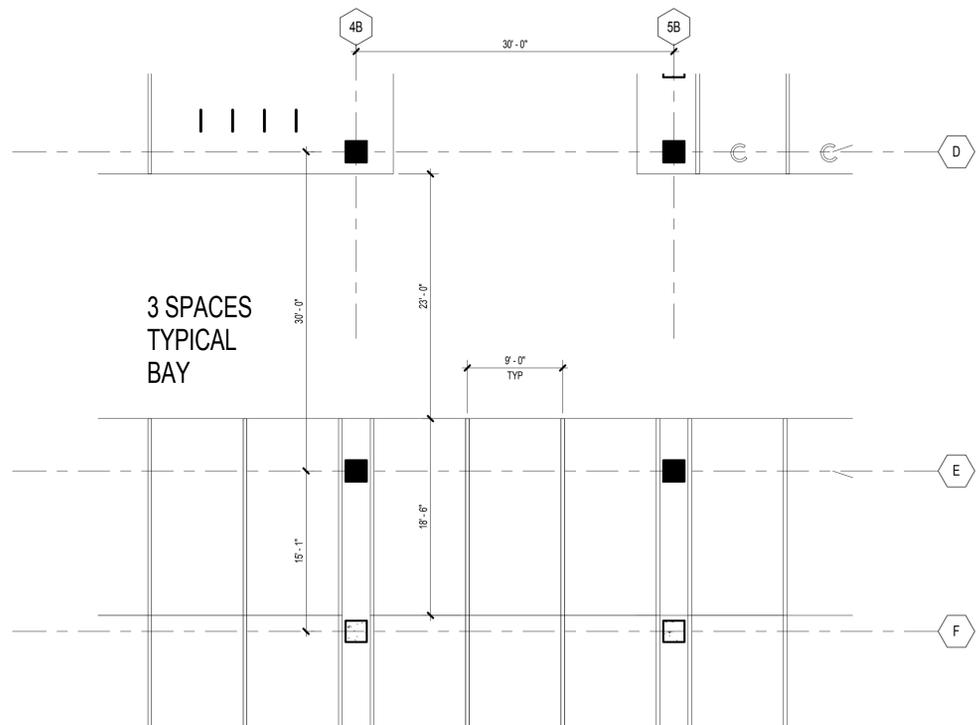


SCOPE DOCUMENTS

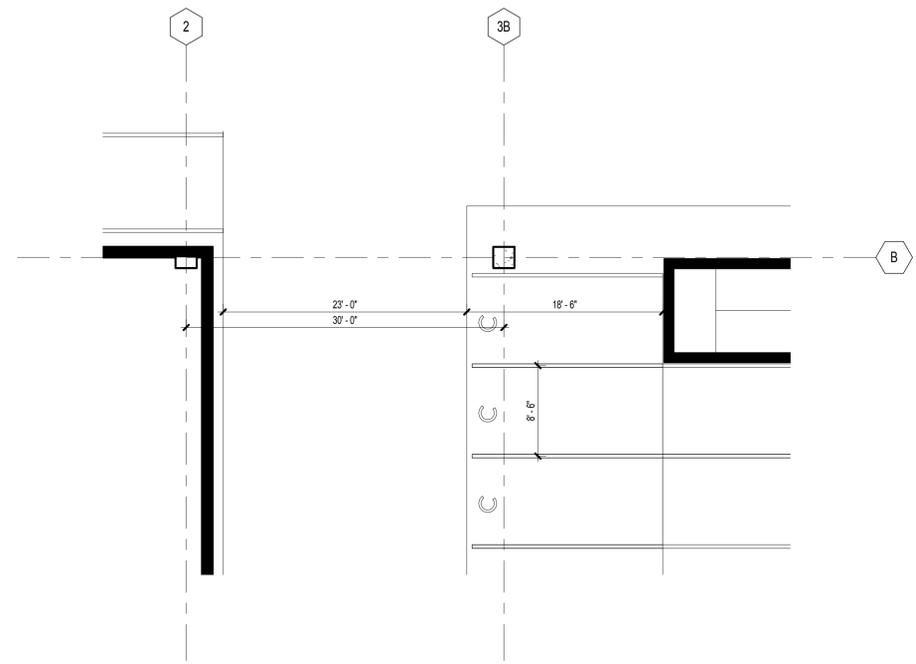
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

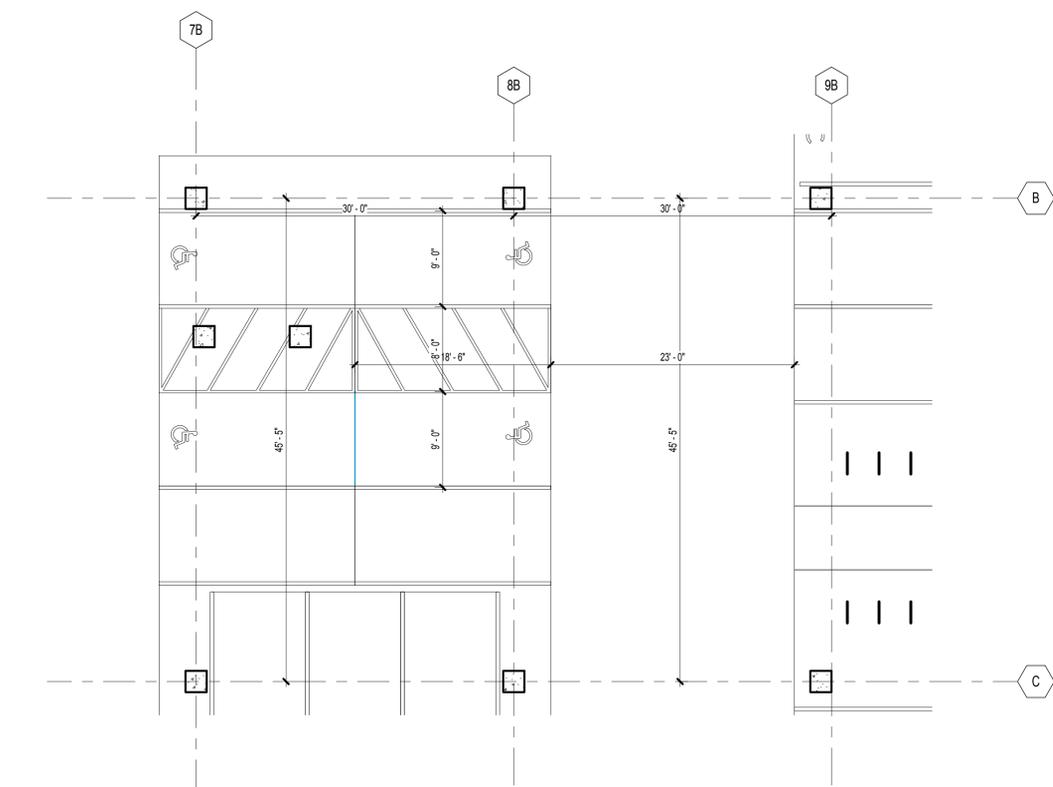
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



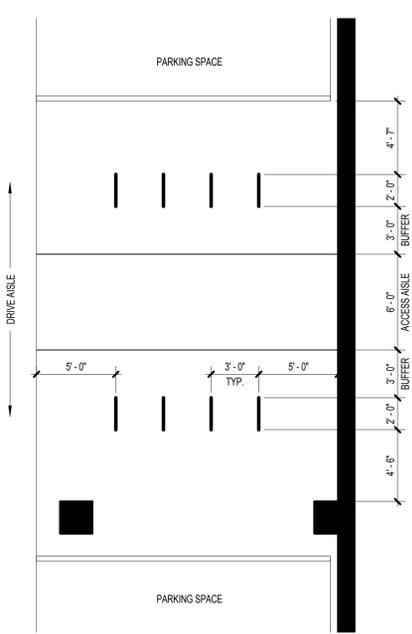
1 TYPICAL PARKING SPACES
A1.40 SCALE: 1/8" = 1'-0"



3 COMPACT PARKING SPACES
A1.40 SCALE: 1/8" = 1'-0"

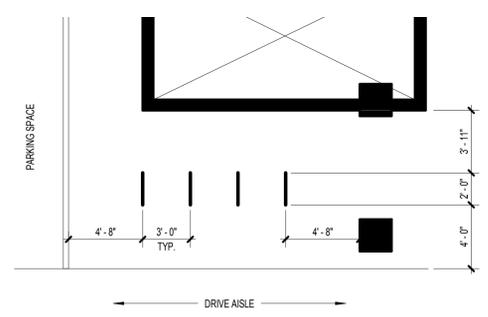


2 ADA PARKING SPACES
A1.40 SCALE: 1/8" = 1'-0"



4 BICYCLE PARKING - GARAGE LEVEL 1 - EAST
A1.40 SCALE: 3/16" = 1'-0"

USE	CLASS	REQUIRED	PROVIDED
OFFICE	2	24 SPACES	24 SPACES
RETAIL	3	7 SPACES	7 SPACES



5 BICYCLE PARKING - GARAGE LEVEL 1 - WEST
A1.40 SCALE: 3/16" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

ENLARGED PLAN - PARKING SPACES

DAVID KITCHENS 20140051
Principal-in-Charge Project No.
ABBEY OKLAK 07/12/16
Project Manager Date
LAYTON GOLDING
Project Architect
STEPHANIE SMID
Staff Architect

A1.40

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - PARKING SPACES
at_1_elevation_all glass 10 degree tower_r0ggf.rvt
7/11/2016 7:38:05 PM



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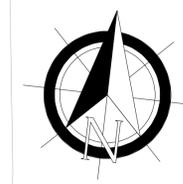
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

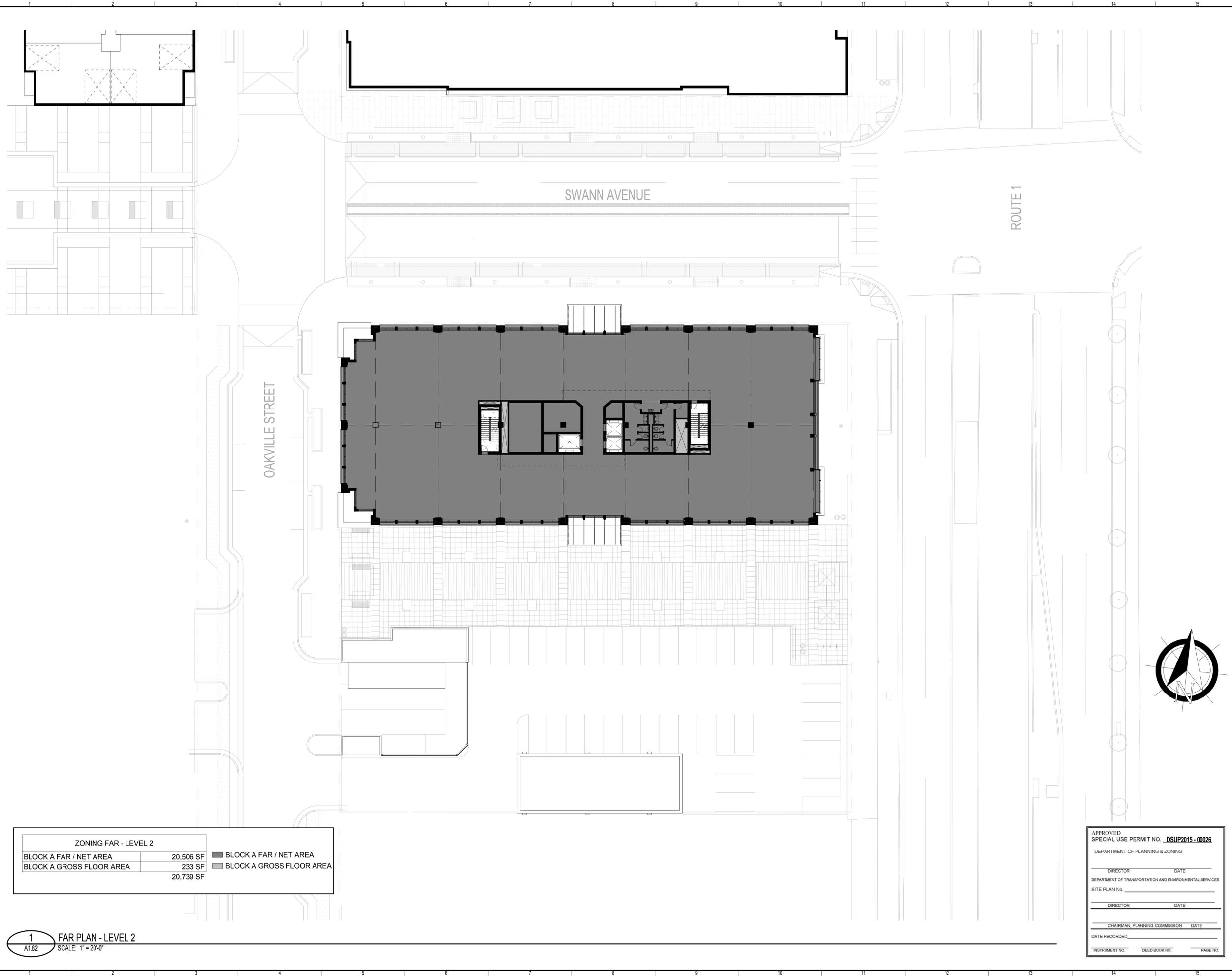
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 2

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.82

NOT ISSUED FOR CONSTRUCTION



ZONING FAR - LEVEL 2	
BLOCK A FAR / NET AREA	20,506 SF
BLOCK A GROSS FLOOR AREA	233 SF
BLOCK A FAR / NET AREA	20,739 SF

1 FAR PLAN - LEVEL 2
A1.82 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 20,506 SF
BLOCK A GROSS FLOOR AREA: 233 SF
BLOCK A FAR / NET AREA: 20,739 SF
7/11/2016 7:38:14 PM



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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



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ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 3

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.83

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SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

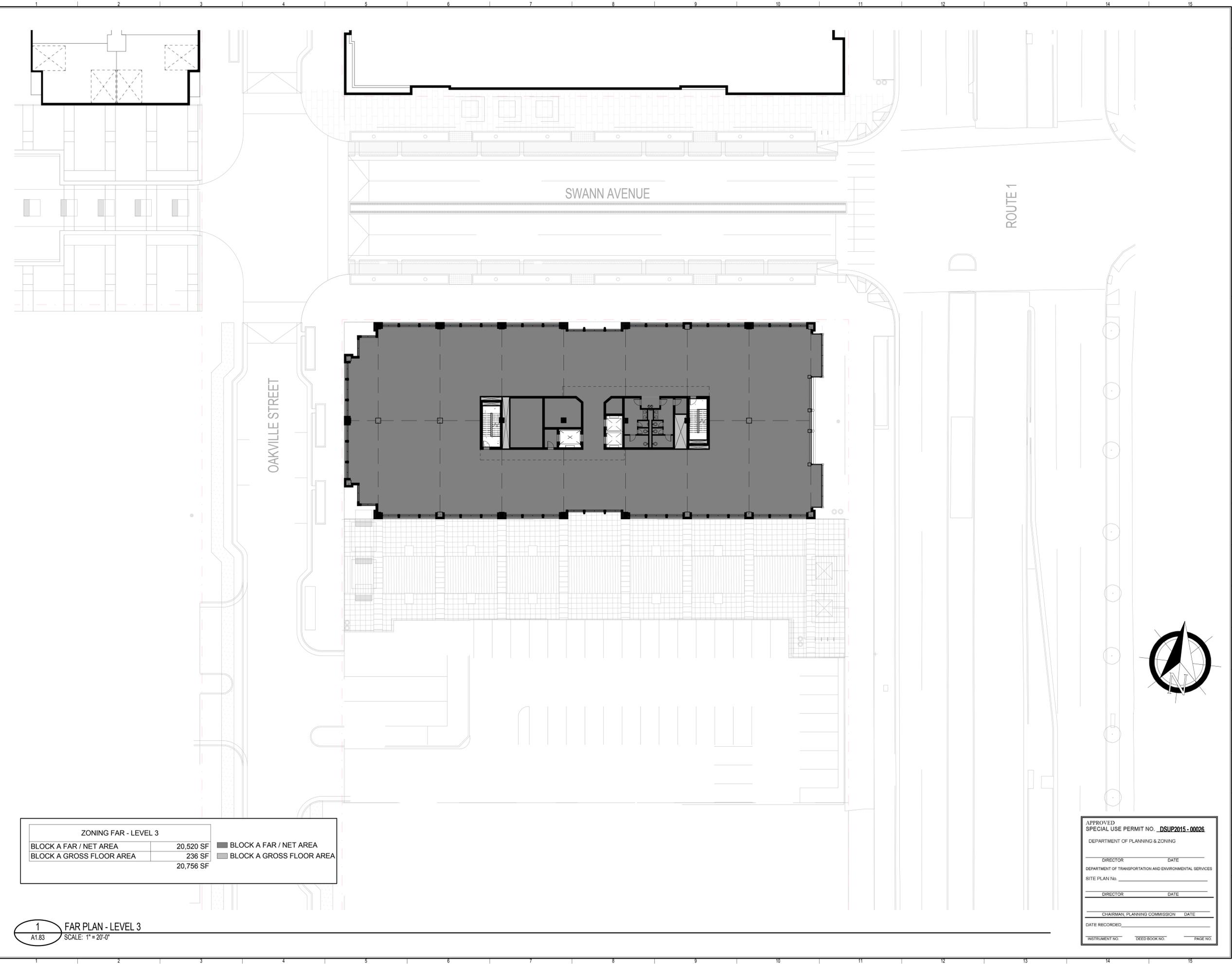
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ZONING FAR - LEVEL 3	
BLOCK A FAR / NET AREA	20,520 SF
BLOCK A GROSS FLOOR AREA	236 SF
BLOCK A FAR / NET AREA	20,756 SF
BLOCK A GROSS FLOOR AREA	

1 FAR PLAN - LEVEL 3
A1.83 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 20,520 SF
BLOCK A GROSS FLOOR AREA: 236 SF
DATE: 7/11/2016 7:38:18 PM





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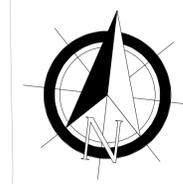
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
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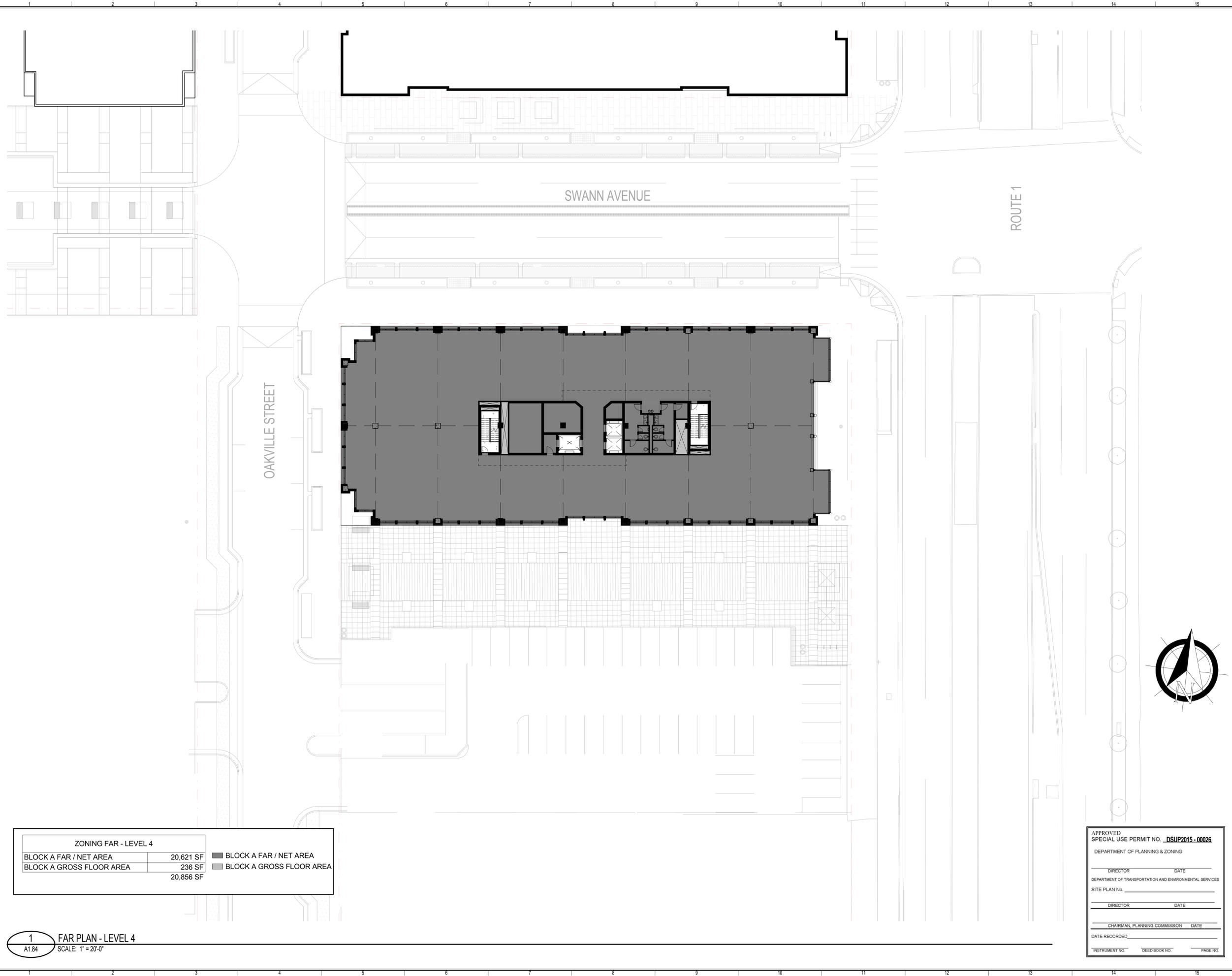
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 4

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.84

NOT ISSUED FOR CONSTRUCTION



ZONING FAR - LEVEL 4	
BLOCK A FAR / NET AREA	20,621 SF
BLOCK A GROSS FLOOR AREA	236 SF
BLOCK A FAR / NET AREA	20,856 SF

1 FAR PLAN - LEVEL 4
A1.84 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 20,621 SF
BLOCK A GROSS FLOOR AREA: 236 SF
DATE: 7/11/2016 7:38:22 PM



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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
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ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 5

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.85

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

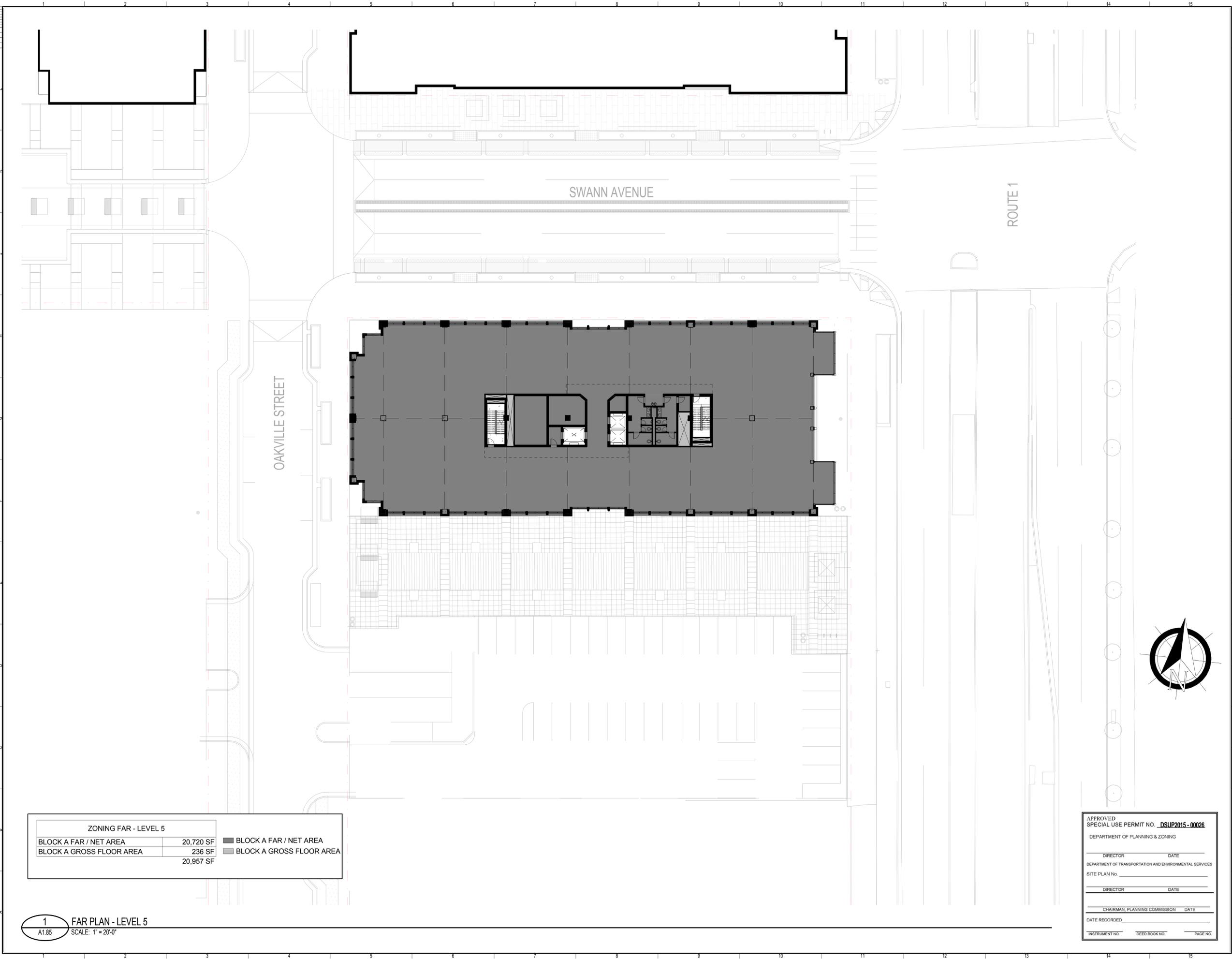
CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ZONING FAR - LEVEL 5		
BLOCK A FAR / NET AREA	20,720 SF	■ BLOCK A FAR / NET AREA
BLOCK A GROSS FLOOR AREA	236 SF	■ BLOCK A GROSS FLOOR AREA
	20,957 SF	

1 FAR PLAN - LEVEL 5
A1.85 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 20,720 SF
BLOCK A GROSS FLOOR AREA: 236 SF
DATE: 7/11/2016 7:38:26 PM





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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 6

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.86

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ZONING FAR - LEVEL 6	
BLOCK A FAR / NET AREA	20,821 SF
BLOCK A GROSS FLOOR AREA	236 SF
BLOCK A FAR / NET AREA	21,057 SF
BLOCK A GROSS FLOOR AREA	

1 FAR PLAN - LEVEL 6
A1.86 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 20,821 SF
BLOCK A GROSS FLOOR AREA: 236 SF
DATE: 7/11/2016 7:38:30 PM





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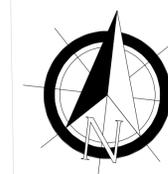
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



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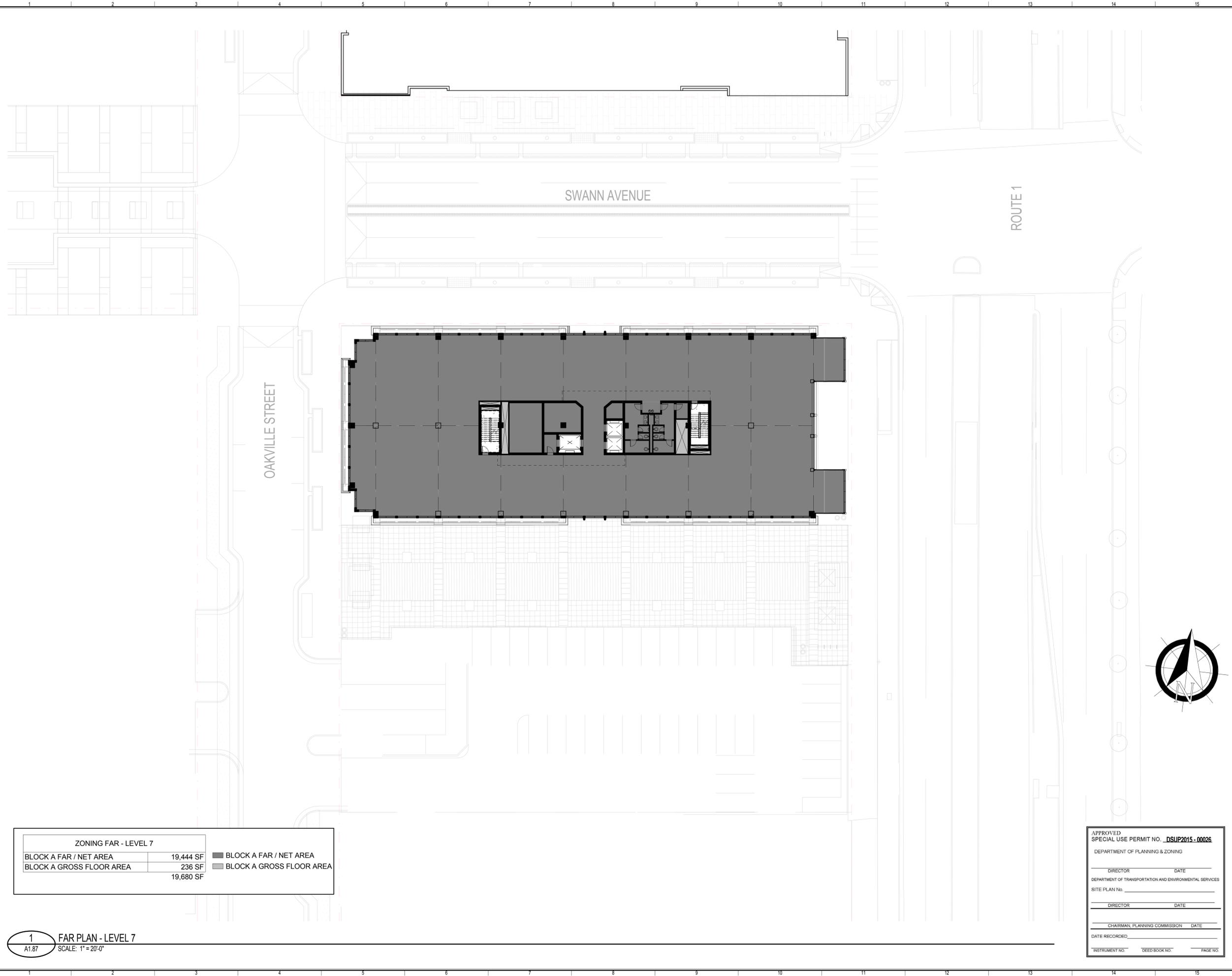
ALEXANDRIA, VIRGINIA

FAR PLAN - LEVEL 7

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.87

NOT ISSUED FOR CONSTRUCTION



ZONING FAR - LEVEL 7	
BLOCK A FAR / NET AREA	19,444 SF
BLOCK A GROSS FLOOR AREA	236 SF
BLOCK A FAR / NET AREA	19,680 SF

1 FAR PLAN - LEVEL 7
SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 19,444 SF
BLOCK A GROSS FLOOR AREA: 236 SF
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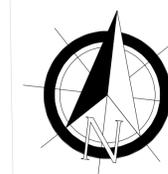
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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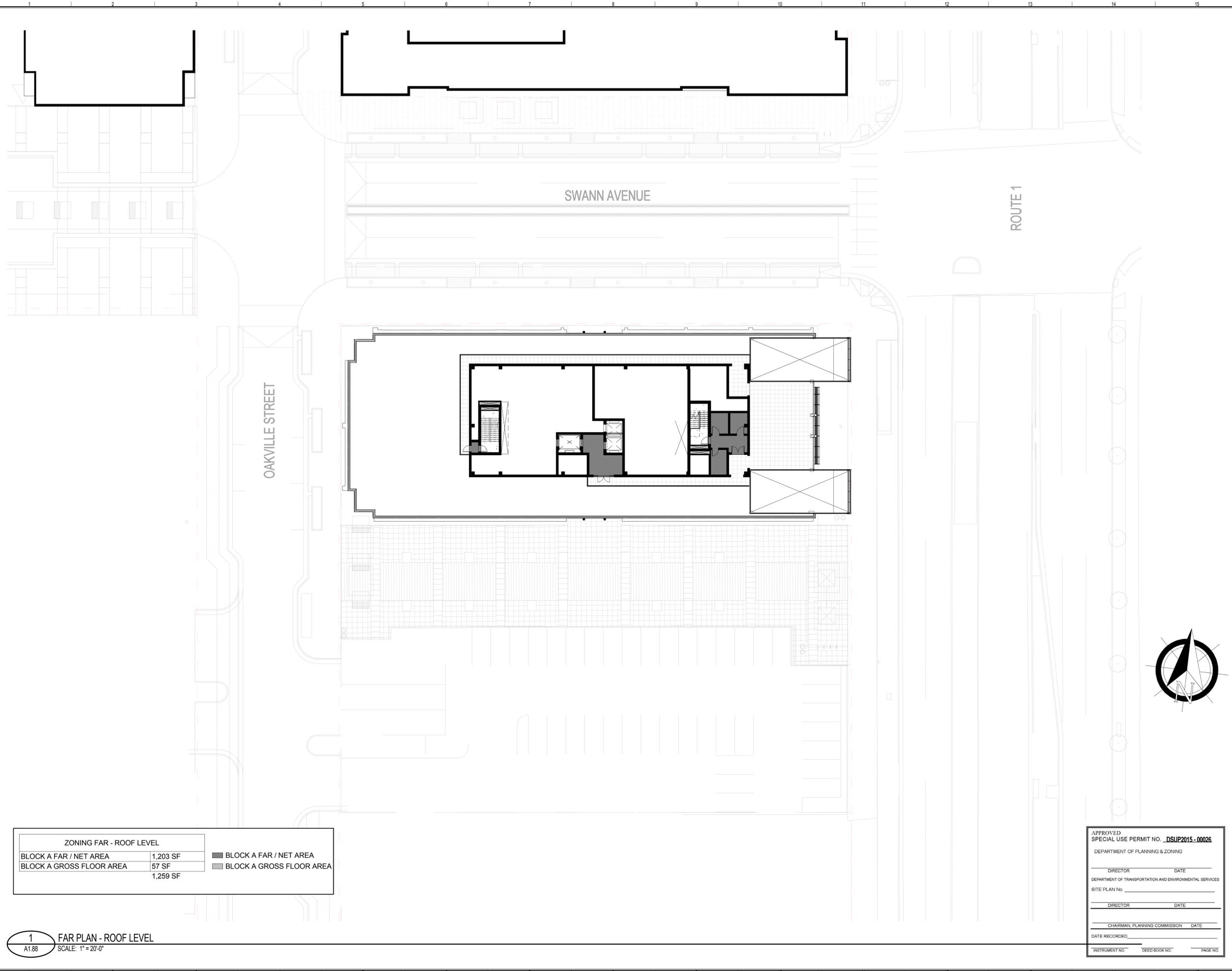
ALEXANDRIA, VIRGINIA

FAR PLAN - ROOF LEVEL

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.88

NOT ISSUED FOR CONSTRUCTION



ZONING FAR - ROOF LEVEL	
BLOCK A FAR / NET AREA	1,203 SF
BLOCK A GROSS FLOOR AREA	57 SF
	1,259 SF

1 FAR PLAN - ROOF LEVEL
A1.88 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A FAR / NET AREA: 1,203 SF
BLOCK A GROSS FLOOR AREA: 57 SF
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
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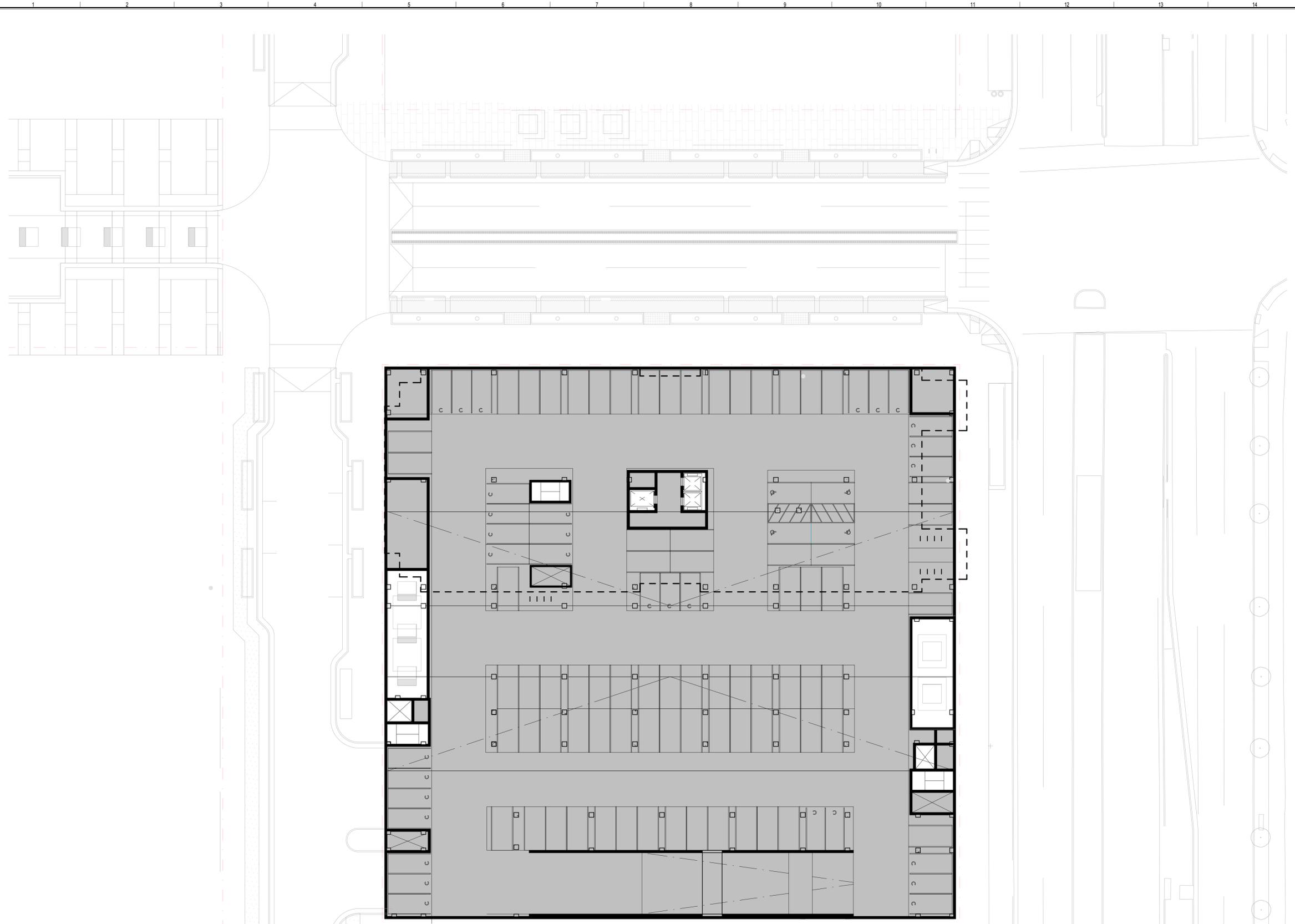
ALEXANDRIA, VIRGINIA

FAR PLAN - GARAGE LEVEL 1

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

A1.89

NOT ISSUED FOR CONSTRUCTION



ZONING FAR - GARAGE LEVEL 1	
BLOCK A GROSS FLOOR AREA	54,311 SF
	54,311 SF

1 FAR PLAN - GARAGE LEVEL 1
A1.89 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - FAR PLAN - GARAGE LEVEL 1
at_1_elevation_all glass 10 degree tower_rdggr.rvt
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
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ALEXANDRIA, VIRGINIA

FAR PLAN - GARAGE LEVEL 2

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DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

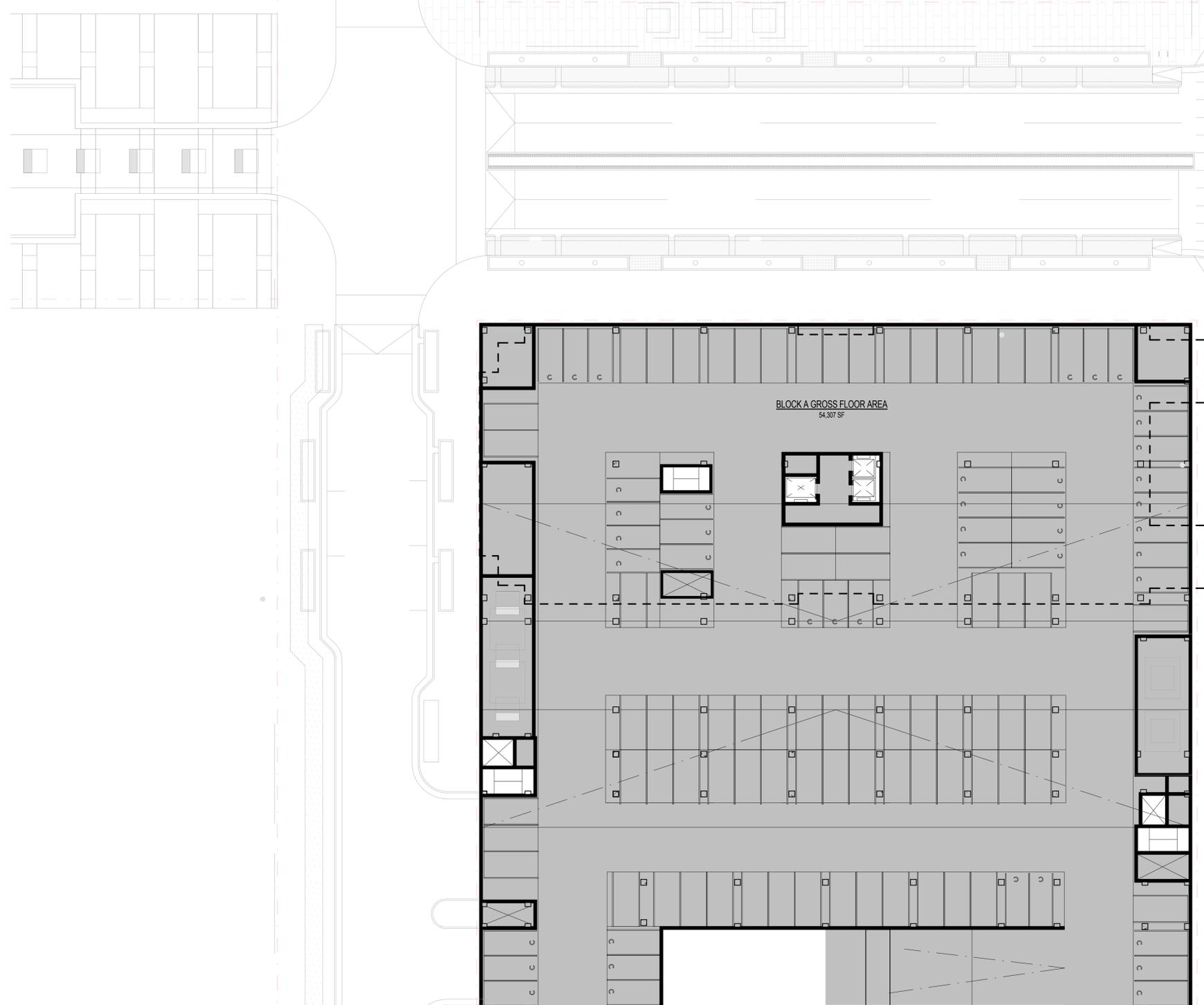
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DATE RECORDED _____

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DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A1.90

NOT ISSUED FOR CONSTRUCTION



ZONING FAR - GARAGE LEVEL 2	
BLOCK A GROSS FLOOR AREA	54,307 SF
BLOCK A GROSS FLOOR AREA	54,307 SF

1 FAR PLAN - GARAGE LEVEL 2
A1.90 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1.90 FAR PLAN - GARAGE LEVEL 2
at_1_elevation_all glass 10 degree tower_r0ggf.rvt
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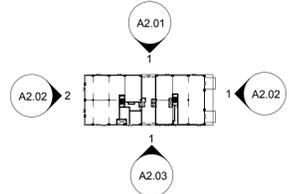
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

SWANN ELEVATION

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.01

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DEPARTMENT OF PLANNING & ZONING

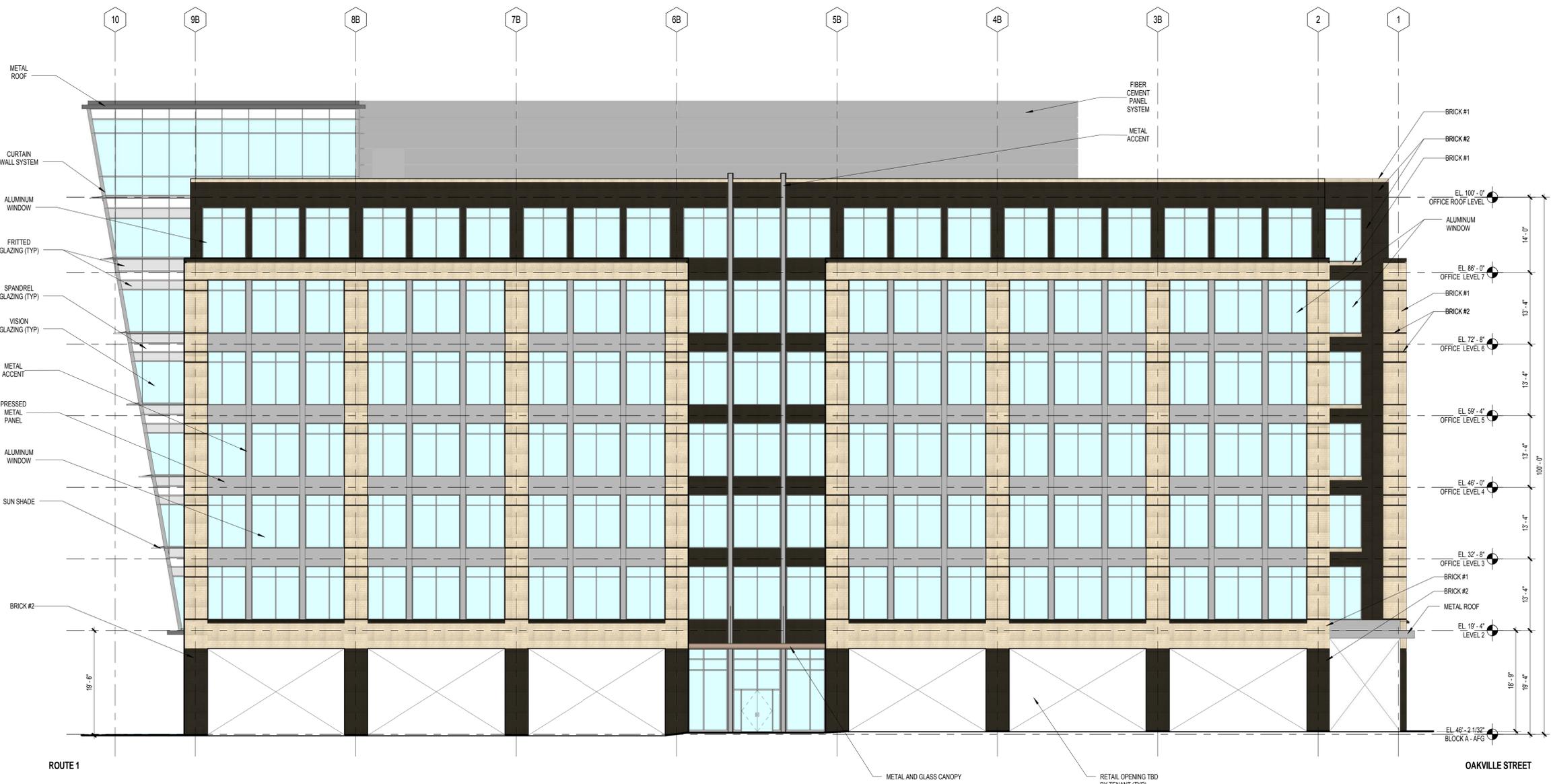
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SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
at_1_elevation_all glass 10 degree tower_rvgg.rvt
7/11/2016 7:39:04 PM



1 OFFICE ELEVATION - SWANN
A2.01 SCALE: 3/32" = 1'-0"



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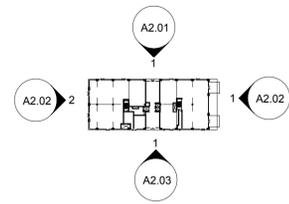
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

PLAZA ELEVATION

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.03

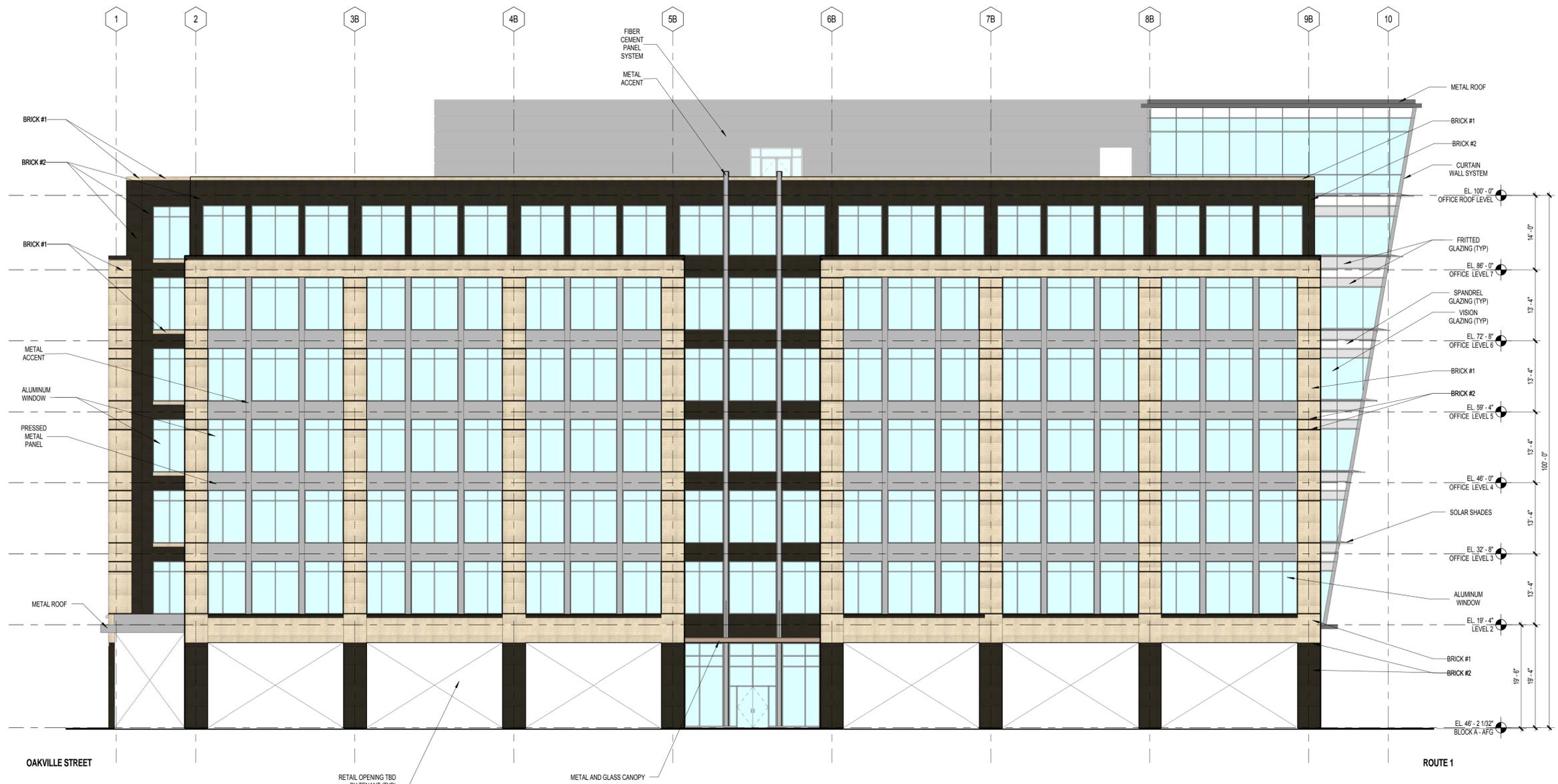
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SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



1 OFFICE ELEVATION - PLAZA
A2.03 SCALE: 3/32" = 1'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
at_1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:39:45 PM

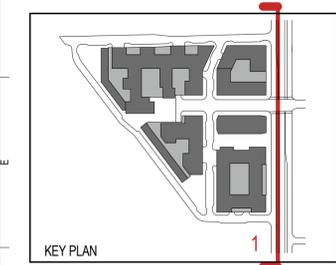


SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

STREET SECTIONS

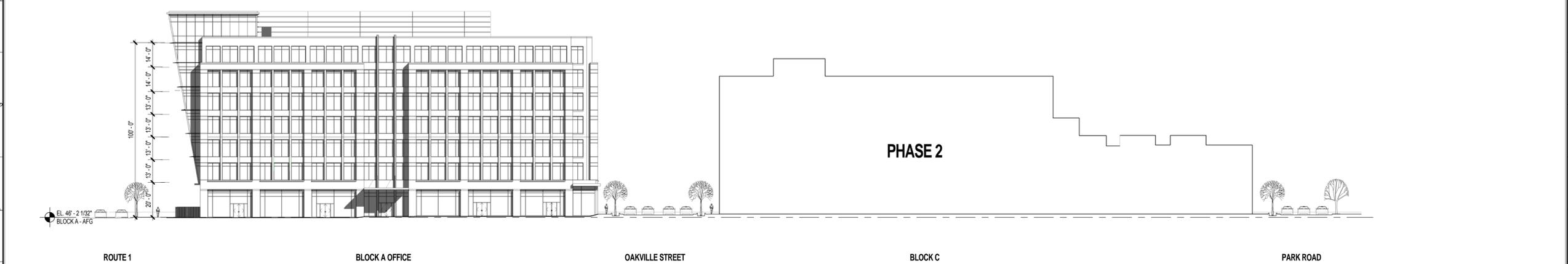
DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A2.10

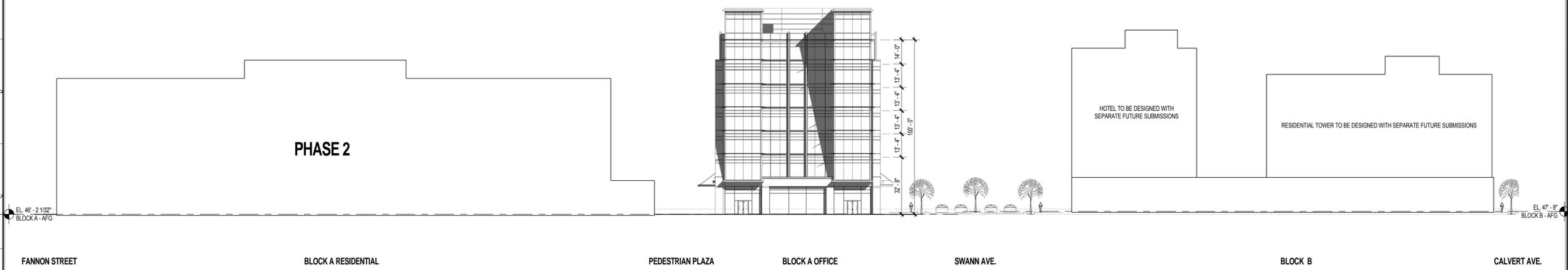
NOTE: FINAL MATERIALS AND LOCATIONS ARE UNDER DEVELOPMENT AND WILL BE IN ACCORDANCE WITH THE DESIGN GUIDELINES.



3 SITE ELEVATION - OAKVILLE ST - E
SCALE: 1" = 30'-0"



2 SITE ELEVATION - SWANN AVE - S
SCALE: 1" = 30'-0"



1 SITE ELEVATION - ROUTE 1
SCALE: 1" = 30'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR: _____ DATE: _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR: _____ DATE: _____

CHAIRMAN, PLANNING COMMISSION DATE: _____
DATE RECORDED: _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

SUBJECT TO CHANGE WITH SUBSEQUENT DSUP SUBMISSIONS

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A OFFICE
BLOCK A RESIDENTIAL
BLOCK B
BLOCK C
ROUTE 1
SWANN AVE - S
OAKVILLE ST - E
ROUTE 1
at 1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:40:17 PM



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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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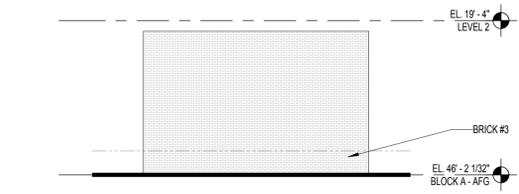
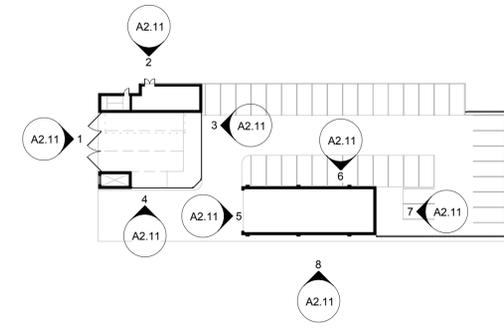
TEMPORARY ELEVATIONS - PHASE 1

DAVID KITCHENS Principal in Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

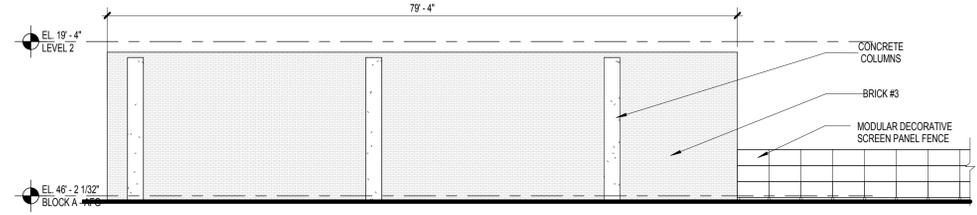
A2.11

Drawing No.

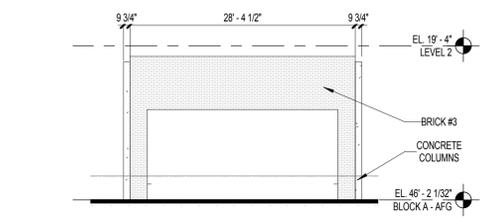
NOT ISSUED FOR CONSTRUCTION



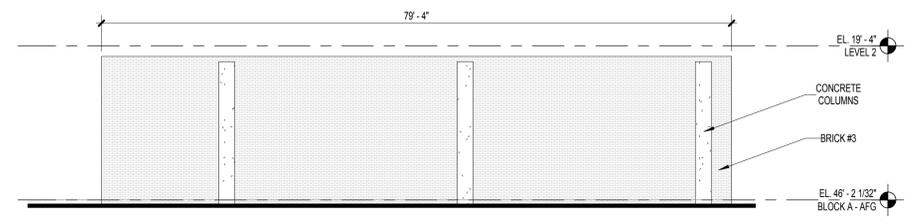
7 RAMP - EAST ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



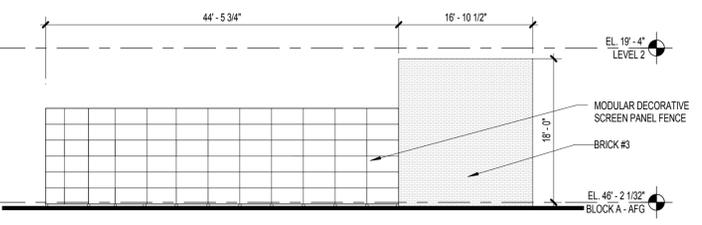
8 RAMP - SOUTH ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



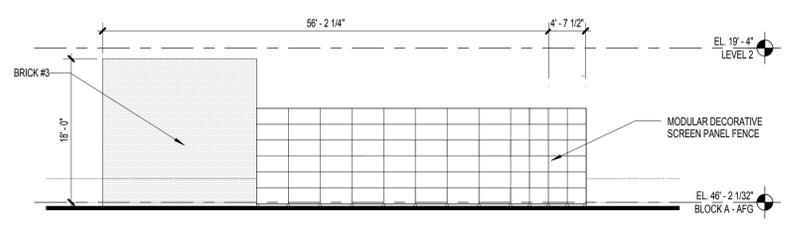
5 RAMP - WEST ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



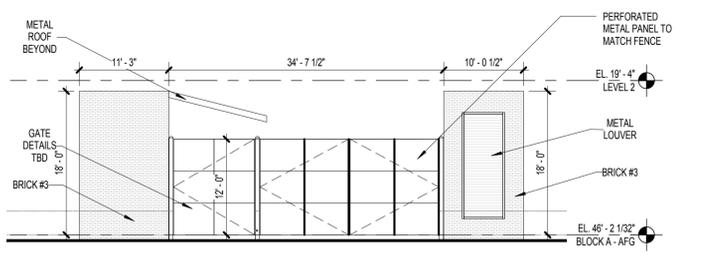
6 RAMP - NORTH ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



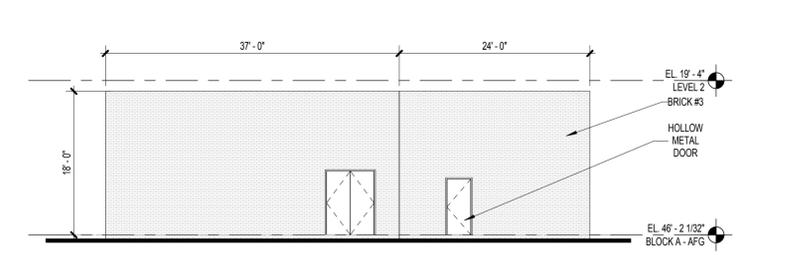
3 LOADING DOCK - EAST ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



4 LOADING DOCK - SOUTH ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



1 LOADING DOCK - OAKVILLE ELEVATION
A2.11 SCALE: 3/32" = 1'-0"



2 LOADING DOCK - NORTH ELEVATION
A2.11 SCALE: 3/32" = 1'-0"

NOTE: FENCING DETAILS ON SHEET L4.1

APPROVED SPECIAL USE PERMIT NO. DSUP2015-00026		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES		
SITE PLAN No.		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
DATE: 07/12/2016 7:40:21 PM
at_1_elevation_all glass 10 degree tower_rdg.rvt



SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

OFFICE LIGHTING

DAVID KITCHENS 20140051
Principal in Charge Project No.
ABBEY OKLAK 07/12/16
Project Manager Date
LAYTON GOLDING
Project Architect
STEPHANIE SMID
Staff Architect

A2.20



4 OFFICE LIGHTING - OAKVILLE
A2.20 SCALE: 1/16" = 1'-0"



2 OFFICE LIGHTING - ROUTE 1
A2.20 SCALE: 1/16" = 1'-0"



3 OFFICE LIGHTING - PLAZA
A2.20 SCALE: 1/16" = 1'-0"



1 OFFICE LIGHTING - SWANN
A2.20 SCALE: 1/16" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. **DSUP2015-00026**
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - REVISED
at 1_elevation_all glass 10 degree tower_rdggt.rvt
7/11/2016 7:40:30 PM

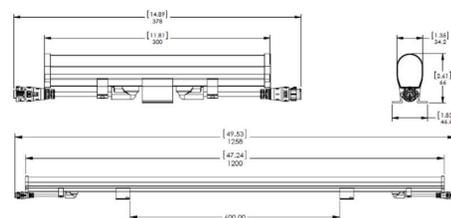


SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016

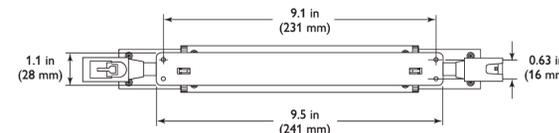


VAYA TUBE
WIDTH 47 MM INCLUDING MOUNTING BRACKET
HEIGHT 66 MM (2.6 IN), INCLUDING MOUNTING BRACKET
LENGTH 300 MM (1 FT) 1200 MM (4 FT)
MOUNTING FRONT-SERVICEABLE SURFACE MOUNT BRACKETS
LENS TRANSLUCENT COVER LENS
HOUSING UV-STABILIZED POLYCARBONATE, DARK GREY FINISH
WEIGHT <0.5 KG (1 LBS) <1.0KG (2 LBS)
INPUT VOLTAGE 24V DC

MANUFACTURER
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3 BURLINGTON WOODS DRIVE
BURLINGTON, MA 01803

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FAX 617 338 0454

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EW COVE MX POWERCORE
WIDTH 38 MM (1.5 IN)
HEIGHT 42 MM (1.64 IN)
LENGTH 305 MM (12 IN)
LENS POLYCARBONATE
HOUSING DIE-CAST ALUMINUM, WHITE POWDER-COATED FINISH
WEIGHT 372 G (0.82 LBS)
INPUT VOLTAGE 100 - 277 VAC

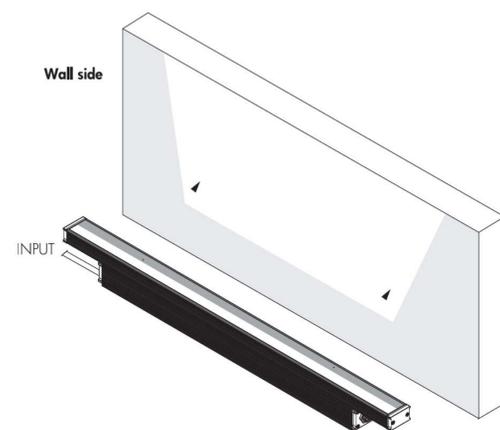
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BURLINGTON, MA 01803

TEL 888 385 5742
FAX 617 338 0454

www.philipscolorkinetics.com

1 COLORED ACCENT BAND
A2.21 SCALE: 3" = 1'-0"

2 COVE AT INTERIOR CEILING PLANE
A2.21 SCALE: 3" = 1'-0"

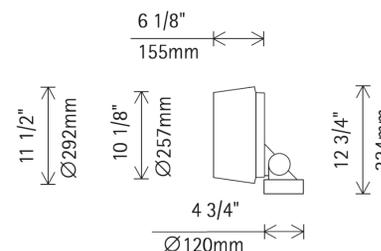


WWLF
Asymmetric Wallwash Optic, Left Feed

LUMENFACADE
LENGTH AVAILABLE IN 1', 2', 3', OR 4' SECTIONS
FINISH ELECTRO-STATICALLY APPLIED POLYESTER POWDER COAT
POWER 100, 120, 208, 220, 240, 277
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HOUSING CORROSION-RESISTANT CAST ALUMINUM, DOUBLE POWDER-COATED
GASKETING UV AND OZONE-RESISTANT SILICONE GASKET
FINISH DOUBLE POWDER COATED
VOLTAGE 18, 32, 42, 48, 72, 96
LENS SPHERULIT LENS, SPOT

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ERCO LIGHTING

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FAX 732 225 8857
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3 LINEAR UPLIGHT AT HORIZONTAL FIN
A2.21 SCALE: 3" = 1'-0"

4 SURFACE MOUNTED UPLIGHT
A2.21 SCALE: 3" = 1'-0"

APPROVED
SPECIAL USE PERMIT NO. **DSUP2015-00026**
DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

OFFICE FIXTURES

DAVID KITCHENS 20140051
Principal-in-Charge Project No.
ABBEY OKLAK 07/12/16
Project Manager Date
LAYTON GOLDING
Project Architect
STEPHANIE SMID
Staff Architect

A2.21

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
Block A1 - Concept II and Office Fixtures
at 1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:40:32 PM



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SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE OAKVILLE

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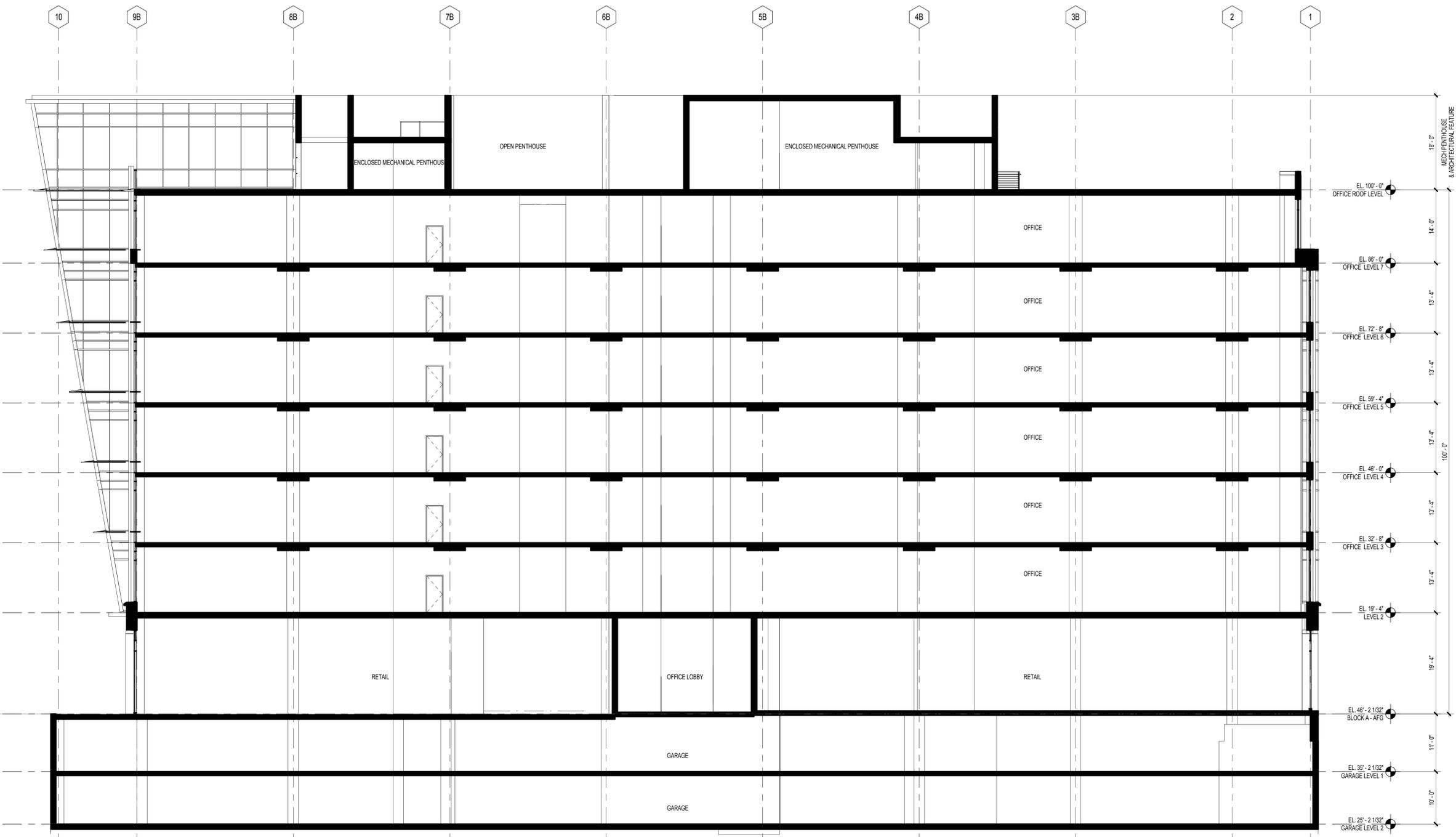
ALEXANDRIA, VIRGINIA

BUILDING SECTION 2

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.02

NOT ISSUED FOR CONSTRUCTION



1 BUILDING SECTION - BLOCK A1 - EAST WEST
A3.02 SCALE: 1" = 10'-0"

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DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
BLOCK A1 - COMPLETENESS PLAN
at_1_elevation_all glass 10 degree tower_rvgg.rvt
7/11/2016 7:40:35 PM



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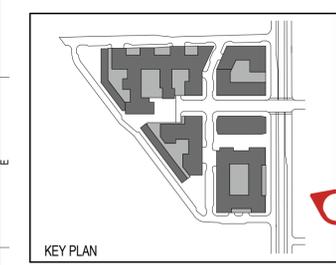
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



KEY PLAN

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

SITE MASSING - VIEW 1 - LOOKING NORTHWEST

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.10

NOT ISSUED FOR CONSTRUCTION

SUBJECT TO CHANGE WITH DSUP SUBMISSION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - SITE MASSING - VIEW 1 -
LOOKING NORTHWEST
at 1_elevation_all glass 10 degree tower_roggr.rvt
7/11/2016 7:41:06 PM



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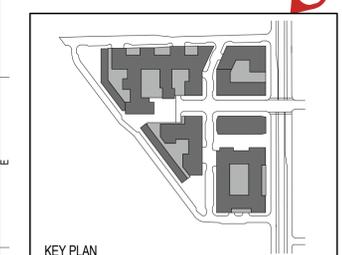
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



KEY PLAN

OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

SITE MASSING - VIEW 2 - LOOKING SOUTHWEST

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.11

SUBJECT TO CHANGE WITH DSUP SUBMISSION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - SITE MASSING - VIEW 2 - LOOKING SOUTHWEST
at_1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:41:35 PM



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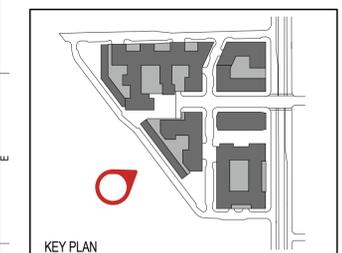
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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



KEY PLAN

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

SITE MASSING - VIEW 3 - LOOKING NORTHEAST

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A3.12

SUBJECT TO CHANGE WITH DSUP SUBMISSION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - SITE MASSING - VIEW 3 - LOOKING NORTHEAST
at_1_elevation_all glass 10 degree tower_r01.rvt
7/11/2016 7:42:04 PM



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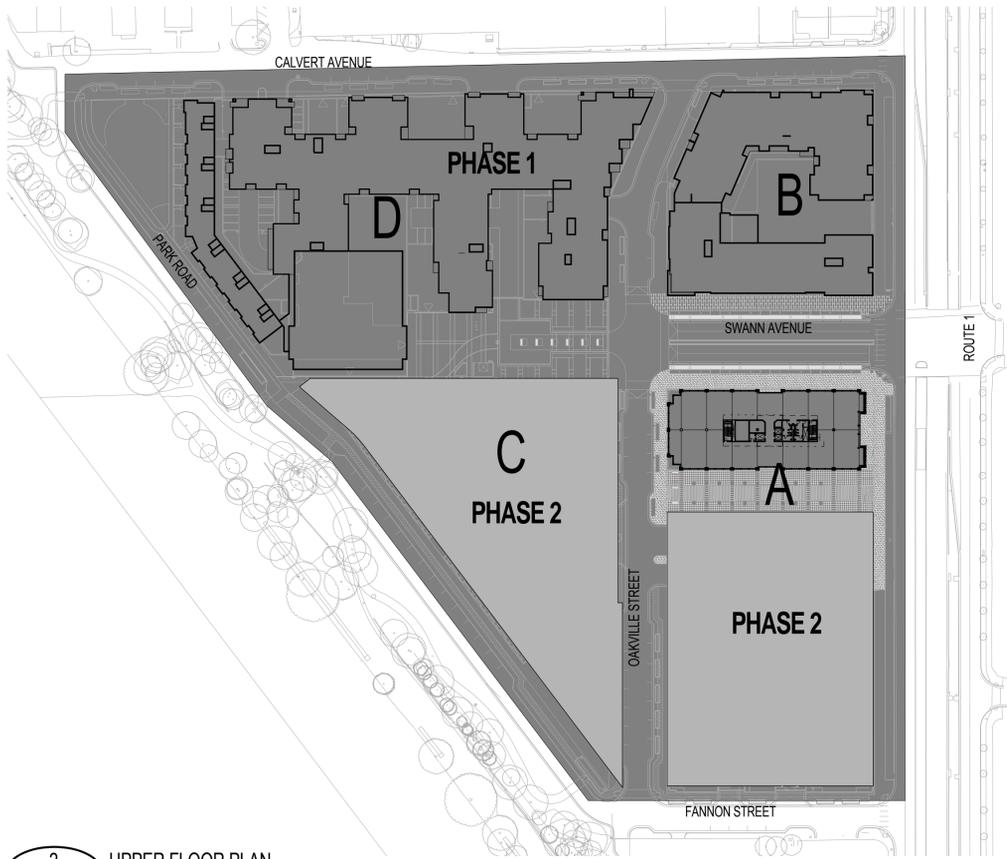
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SCOPE DOCUMENTS

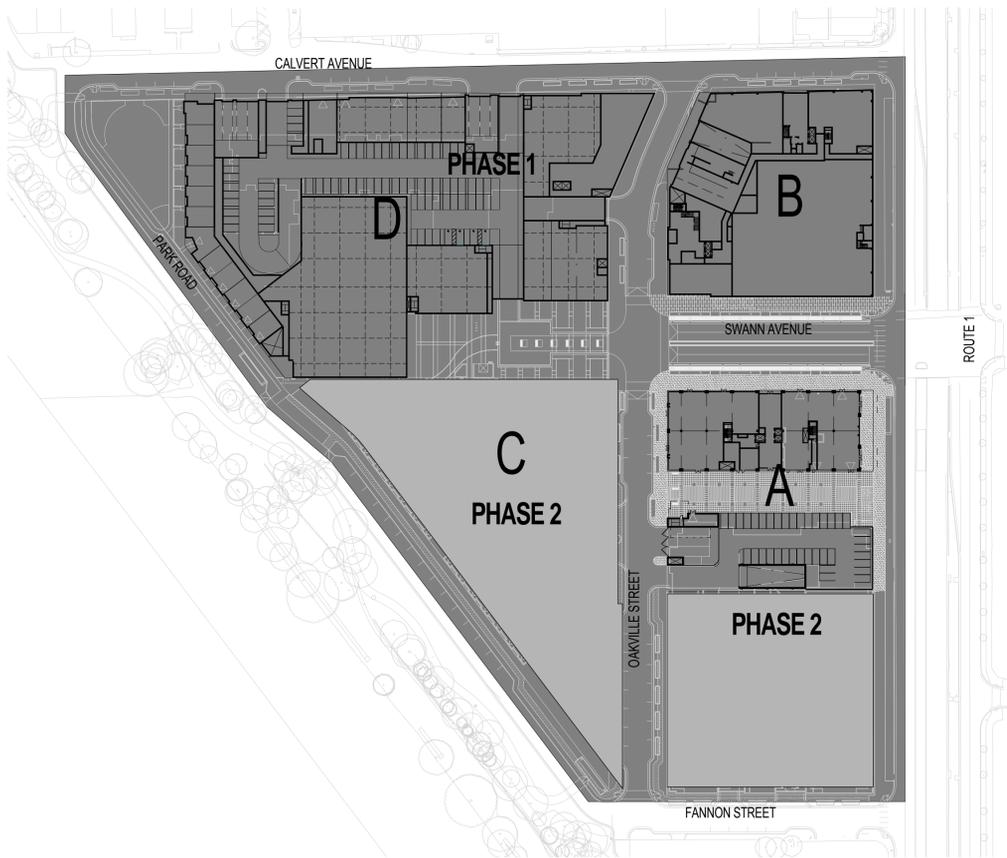
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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



2 UPPER FLOOR PLAN
A4.00 SCALE: 1" = 100'-0"



1 GROUND FLOOR PLAN
A4.00 SCALE: 1" = 100'-0"

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

PHASING PLAN

Designer 20140051
Principal-in-Charge _____
Project No. _____
Approver 07/12/16
Project Manager _____
Date _____
Checker _____
Project Architect _____
Author _____
Staff Architect _____

A4.00

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - PHASING PLAN
at_1_elevation_all glass 10 degree tower_rvggr.rvt
7/11/2016 7:42:17 PM



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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

HEIGHT MAP

1 SITE HEIGHTS
A6.00 SCALE: 1" = 60'-0"

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DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

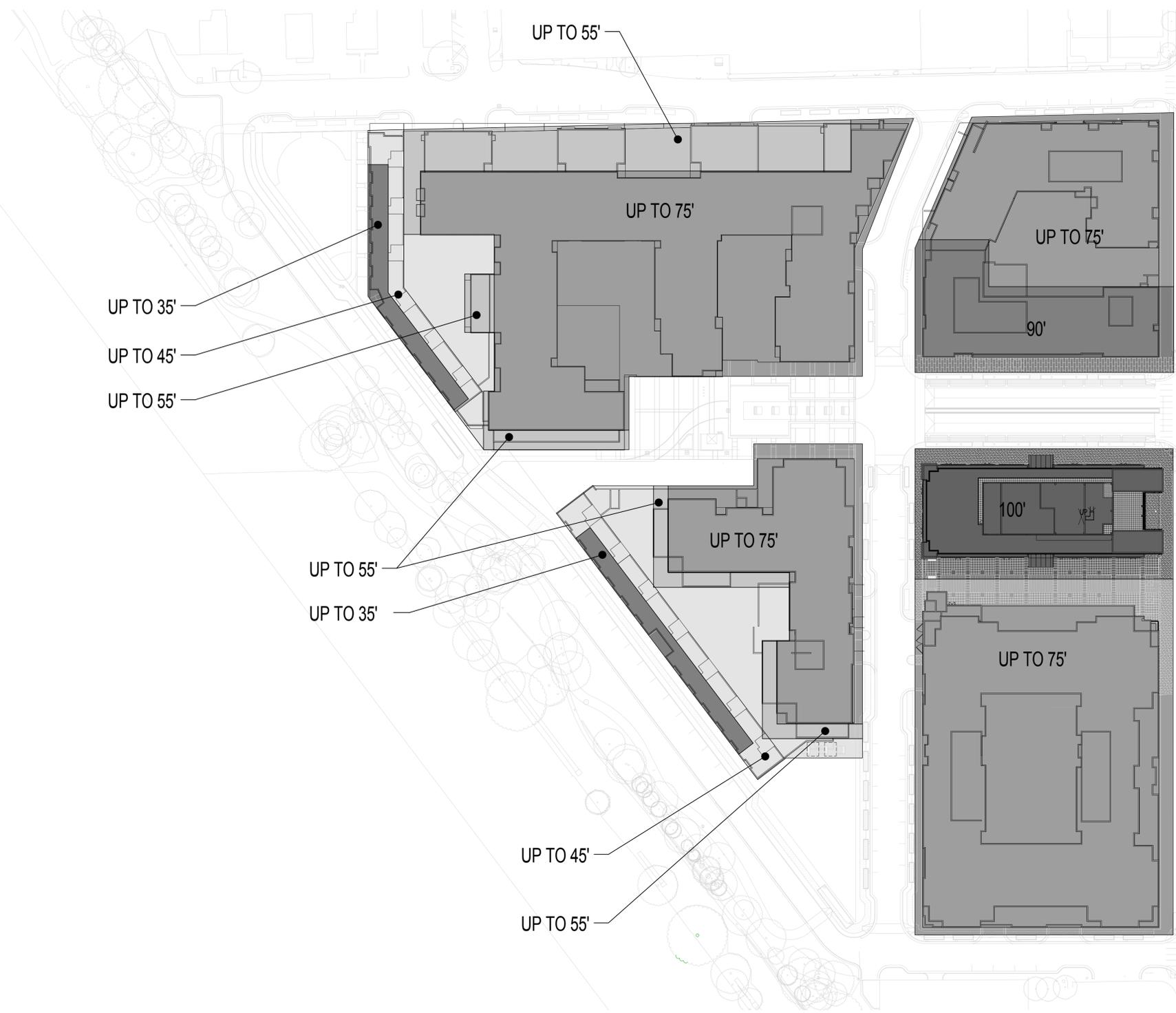
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

A6.00

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - HEIGHTS
at_1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:42:27 PM



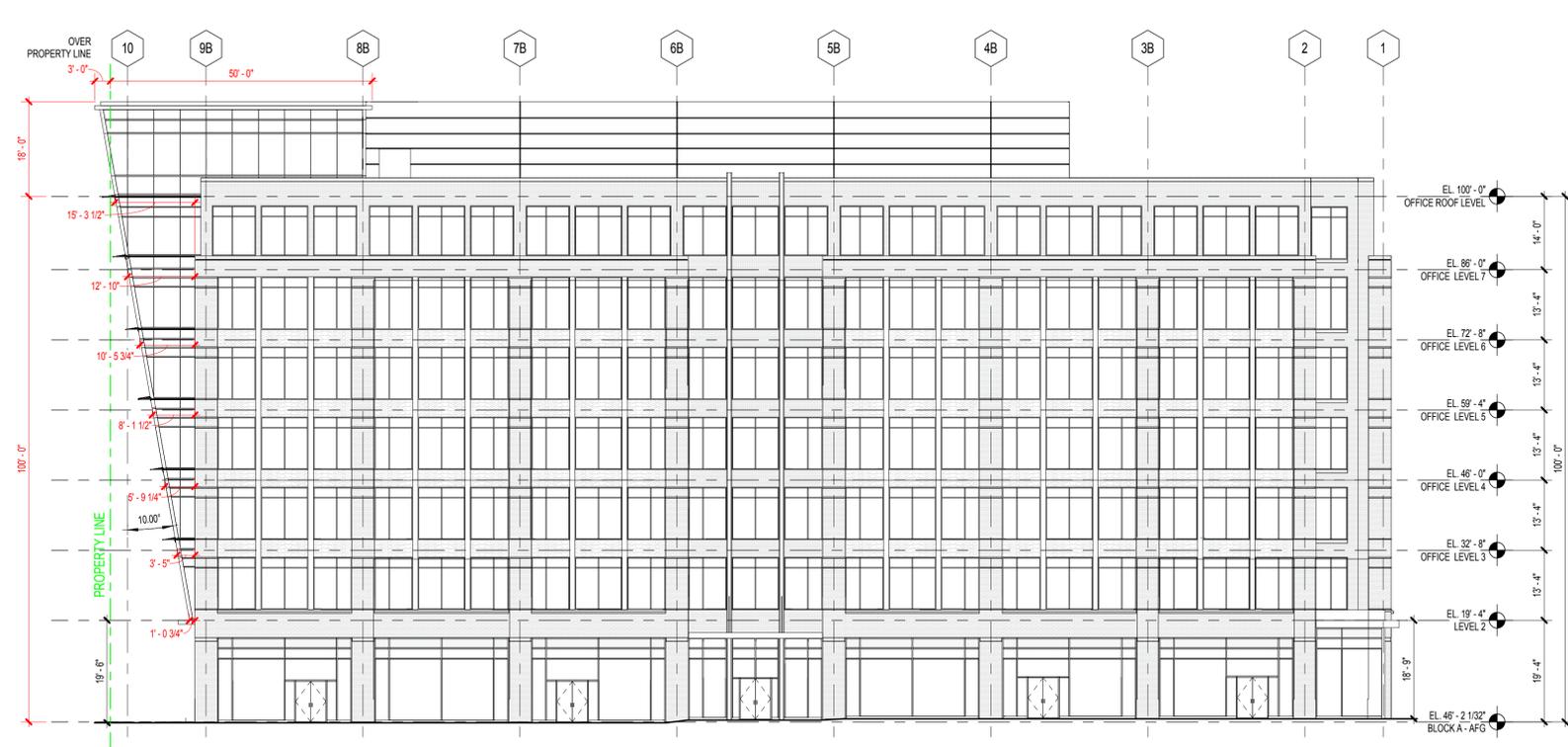


SCOPE DOCUMENTS

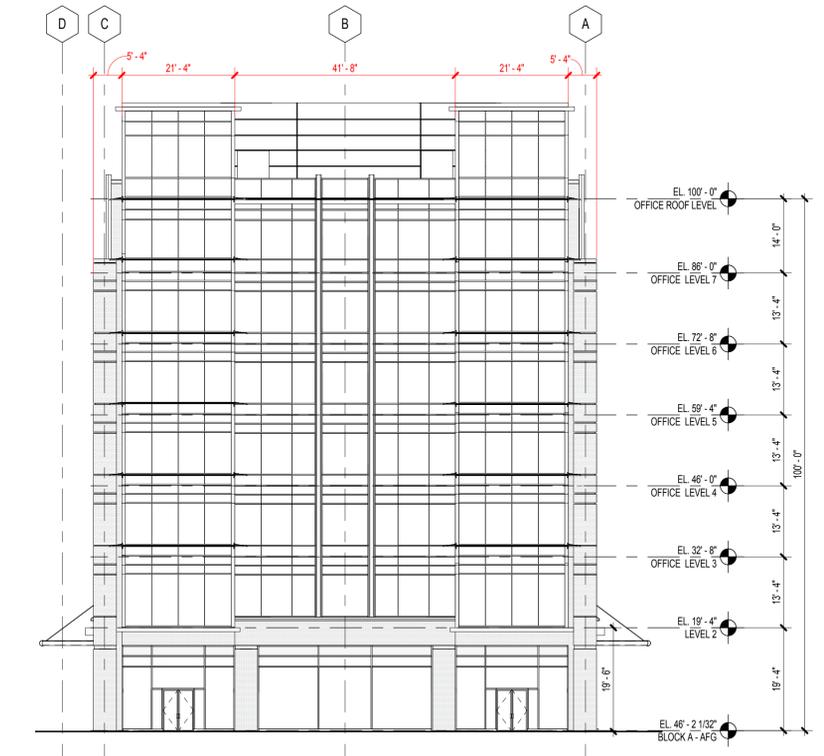
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



1 GATEWAY ANALYSIS - SWANN
A6.01 SCALE: 1/16" = 1'-0"



2 GATEWAY ANALYSIS - ROUTE 1
A6.01 SCALE: 1/16" = 1'-0"



3 GATEWAY ANALYSIS - PERSEPECTIVE
A6.01 SCALE:

GATEWAY MATERIAL

- CURTAIN WALL SYSTEM - KAWNEER 1600 UT
- FRITTED SPANDREL PANEL - SIMILAR TO VIRASPAN V175
- VISION GLASS - LOW-E SIMILAR TO VIRACON VE 1-2M
- MULLIONS AND FINS - SMOKE GREY FINISH

NOTE:
SEE A6.03 FOR TYPICAL GATEWAY PIER PLAN DETAILS

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
OAKVILLE

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ALEXANDRIA, VIRGINIA

GATEWAY ELEMENT

DAVID KITCHENS 20140051
Principal-in-Charge Project No.
ABBEY OKLAK 07/12/16
Project Manager Date
LAYTON GOLDING
Project Architect
STEPHANIE SMID
Staff Architect

A6.01

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 PERSEPECTIVE
at_1_elevation_all_glass_10_degree_lower_rvgg.rvt
7/11/2016 7:43:04 PM



SCOPE DOCUMENTS
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

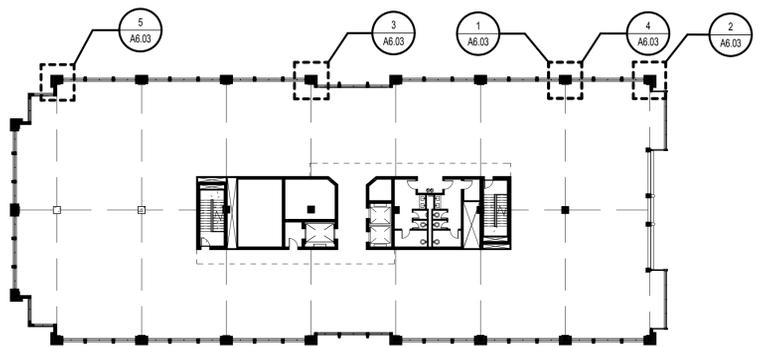
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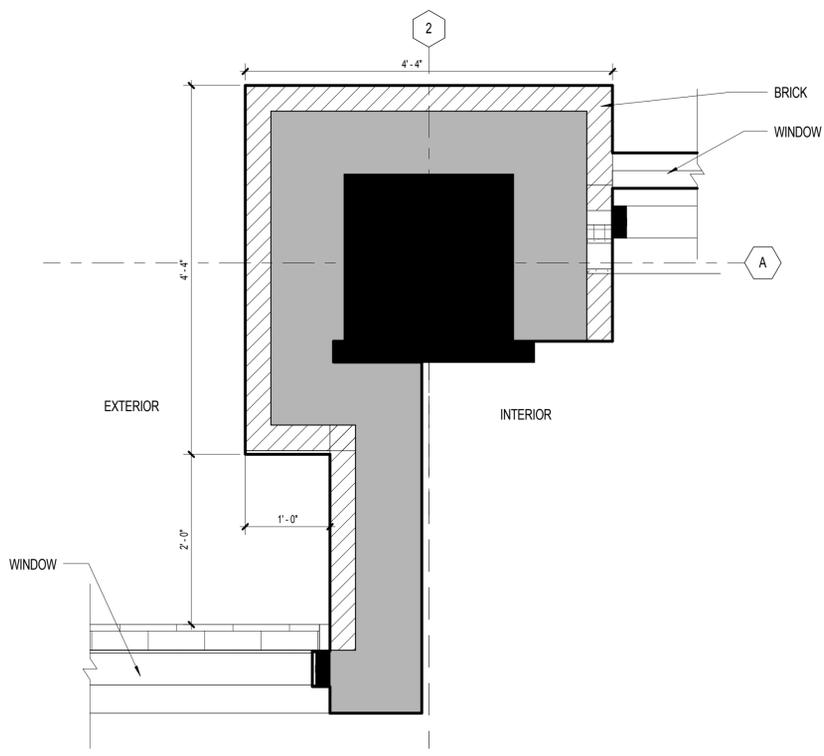
TYPICAL PLAN DETAILS

DAVID KITCHENS	20140051
Principal-in-Charge	Project No.
ABBEY OKLAK	07/12/16
Project Manager	Date
LAYTON GOLDING	
Project Architect	
STEPHANIE SMID	
Staff Architect	

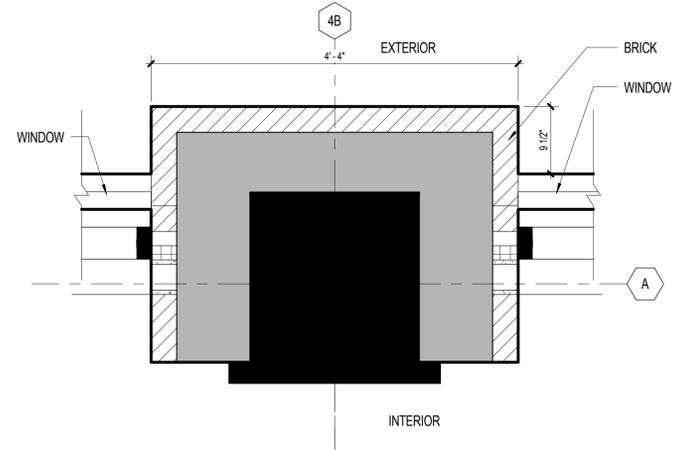
A6.03



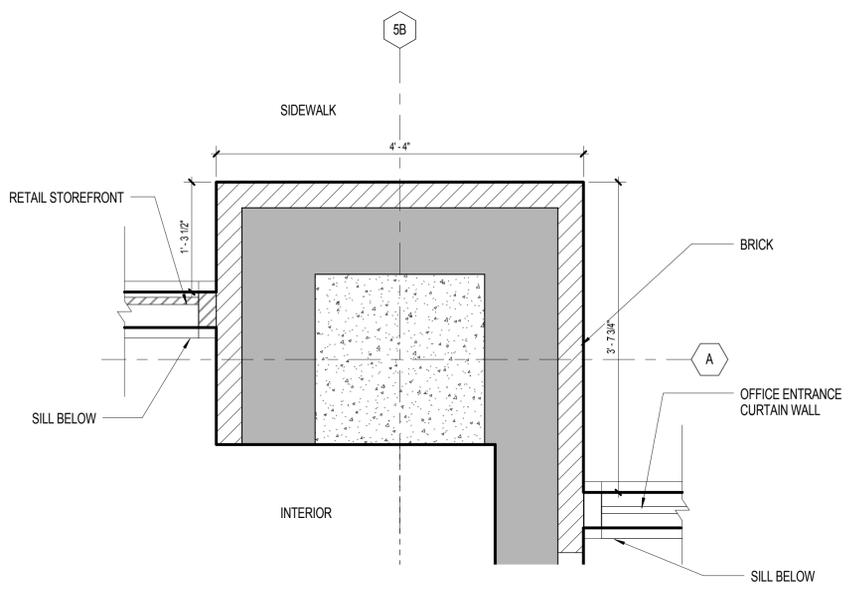
TYP. FLOOR PLAN



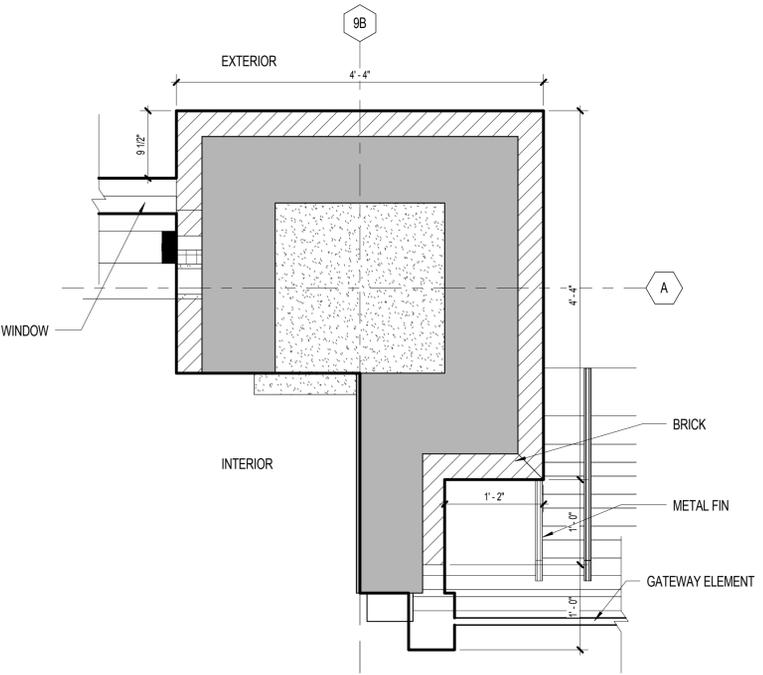
5 OFFICE CORNER TYPICAL PIER
A6.03 SCALE: 1" = 1'-0"



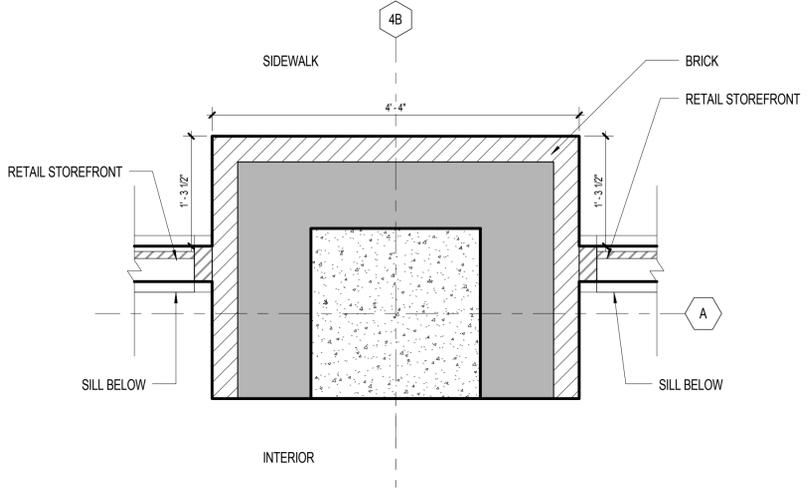
4 OFFICE TYPICAL PIER
A6.03 SCALE: 1" = 1'-0"



3 OFFICE ENTRANCE TYPICAL PIER
A6.03 SCALE: 1" = 1'-0"



2 ENTRY GATEWAY TYPICAL PIER - TYPICAL
A6.03 SCALE: 1" = 1'-0"



1 RETAIL TYPICAL PIER
A6.03/A6.03 SCALE: 1" = 1'-0"

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SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II
at_1_elevation_all glass 10 degree tower_rdggr.rvt
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No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

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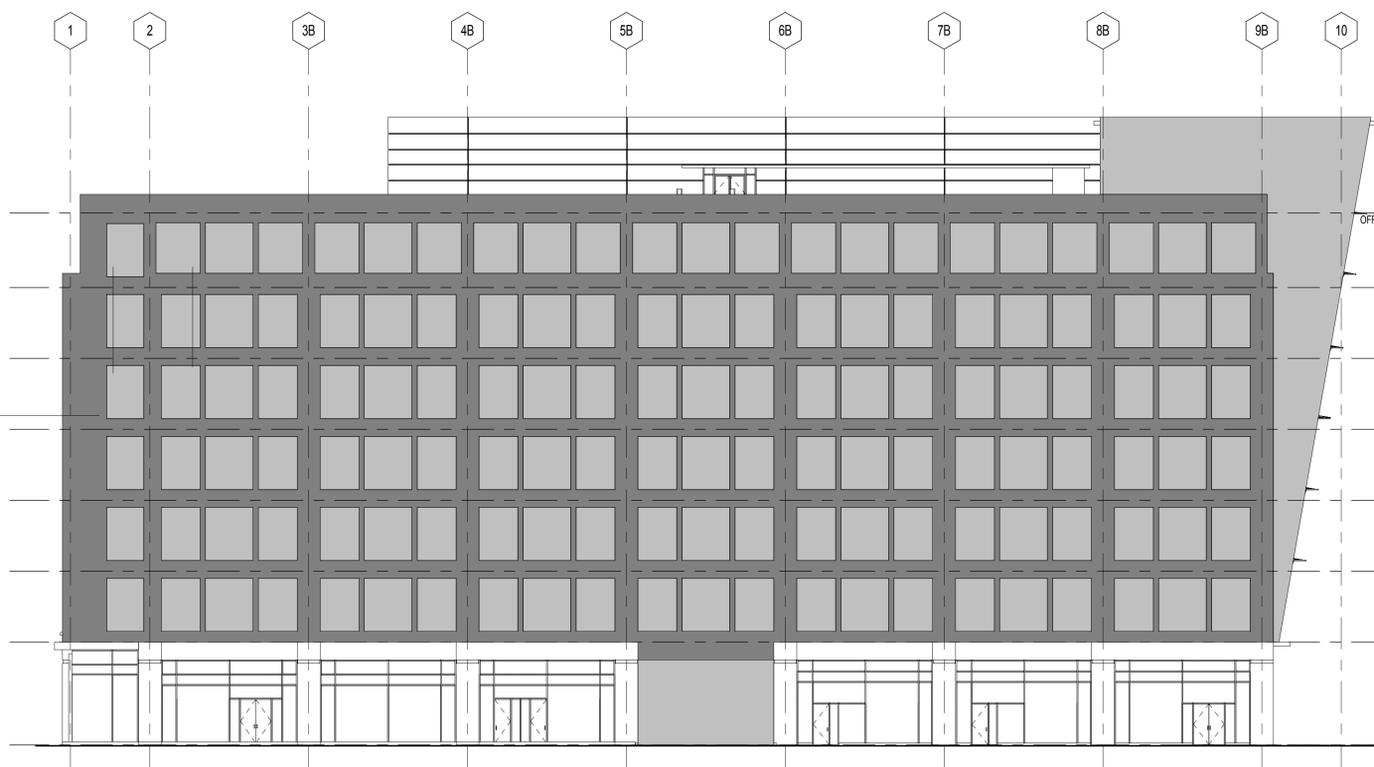
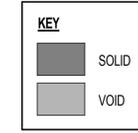
OFFICE VOID PERCENTAGE CALCULATION

DAVID KITCHENS Principal-in-Charge	20140051 Project No.
ABBEY OKLAK Project Manager	07/12/16 Date
LAYTON GOLDING Project Architect	
STEPHANIE SMID Staff Architect	

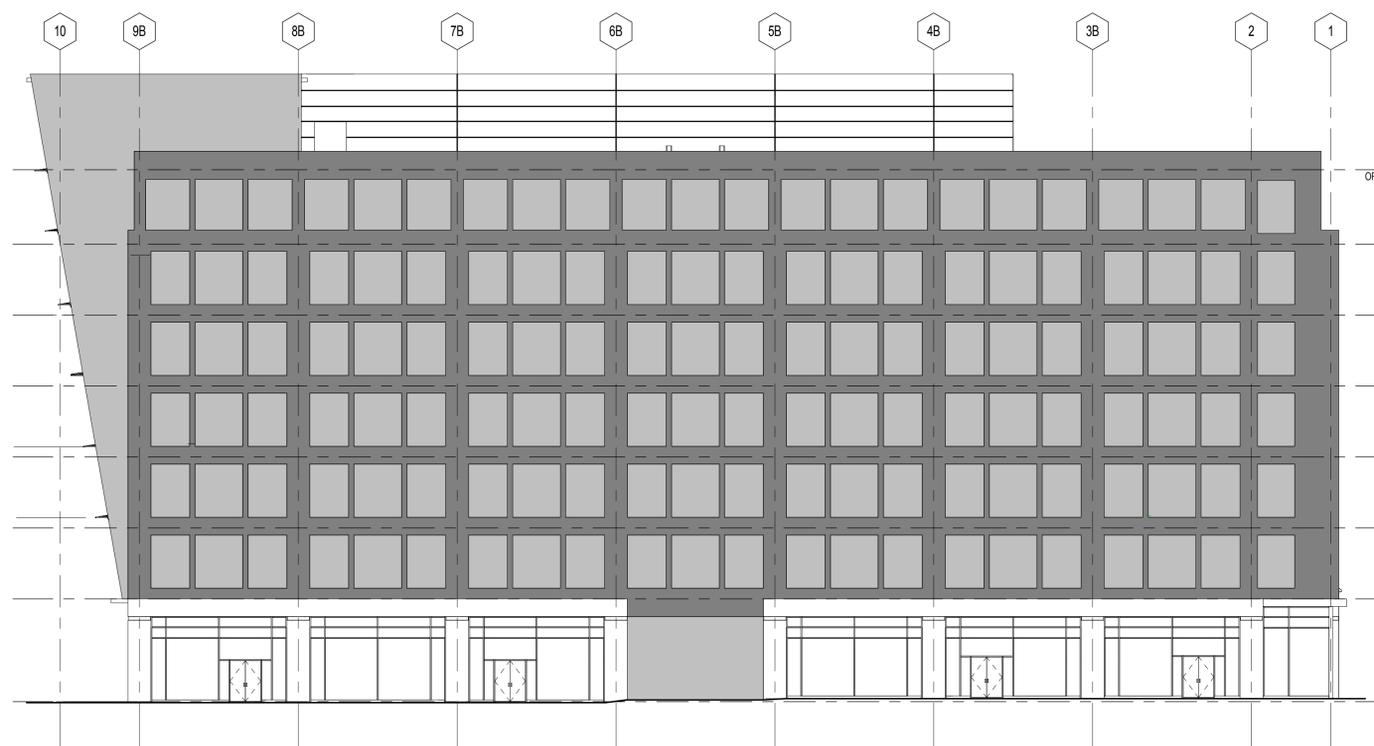
A6.04

NOT ISSUED FOR CONSTRUCTION

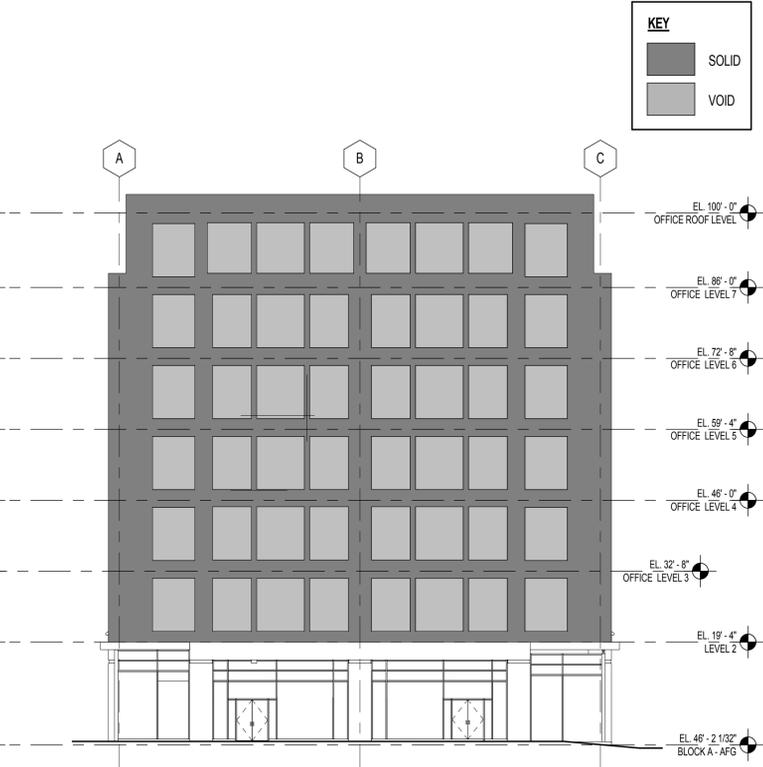
OFFICE - VOID CALCULATION			
	wt	Area	PERCENTAGE
OAKVILLE			
TOTAL SOLID	4,083 SF		52%
TOTAL VOID	3,814 SF		48%
	7,897 SF		100%
PLAZA			
TOTAL SOLID	8,856 SF		42%
TOTAL VOID	12,274 SF		58%
	21,130 SF		100%
ROUTE 1			
TOTAL SOLID	882 SF		10%
TOTAL VOID	7,647 SF		90%
	8,530 SF		100%
SWANN			
TOTAL SOLID	8,856 SF		42%
TOTAL VOID	12,275 SF		58%
	21,131 SF		100%
Grand total			
TOTAL SOLID	22,677 SF		39%
TOTAL VOID	36,010 SF		61%
	58,687 SF		100%



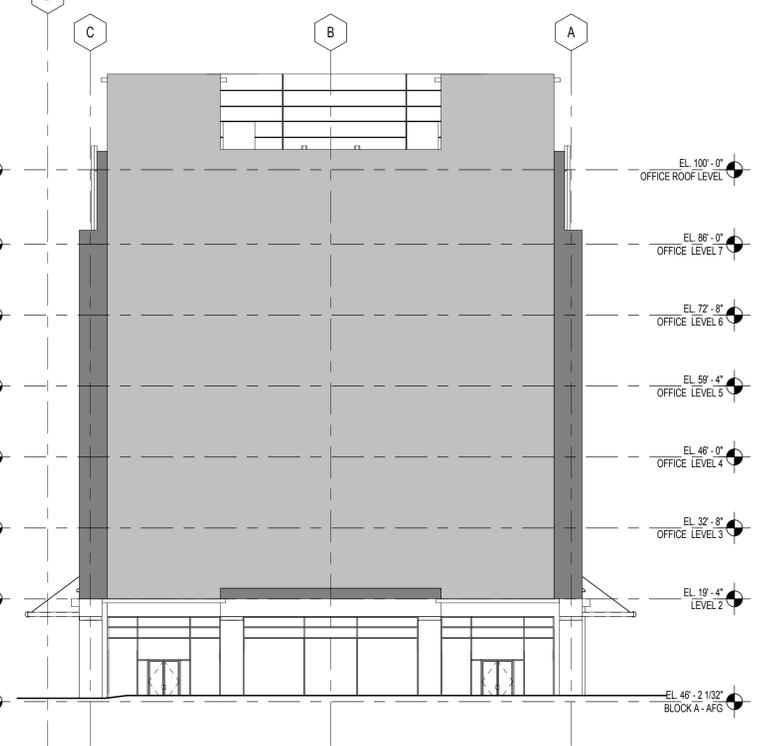
3 VOID CALCULATION - OFFICE - PLAZA
A6.04 SCALE: 1/16" = 1'-0"



1 VOID CALCULATION - OFFICE - SWANN
A6.04 SCALE: 1/16" = 1'-0"



4 VOID CALCULATION - OFFICE - OAKVILLE
A6.04 SCALE: 1/16" = 1'-0"



2 VOID CALCULATION - OFFICE - ROUTE 1
A6.04 SCALE: 1/16" = 1'-0"

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DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 - CONCEPT II - OFFICE VOID PERCENTAGE CALCULATION
at 1_elevation_all glass 10 degree tower_rdggr.rvt
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ISSUANCES		
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - CONCEPT II	04/08/2016
2	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

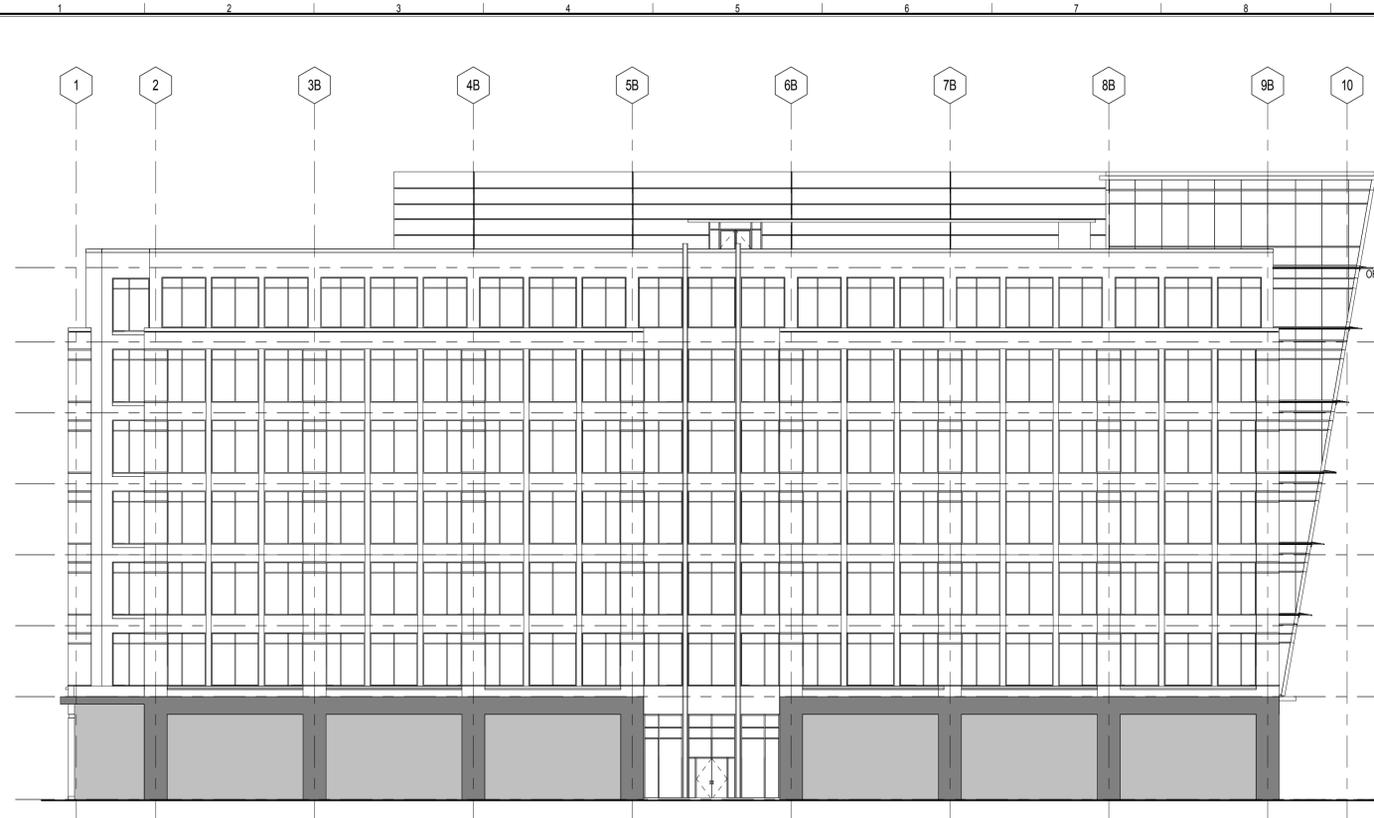
ALEXANDRIA, VIRGINIA

RETAIL VOID PERCENTAGE CALCULATION

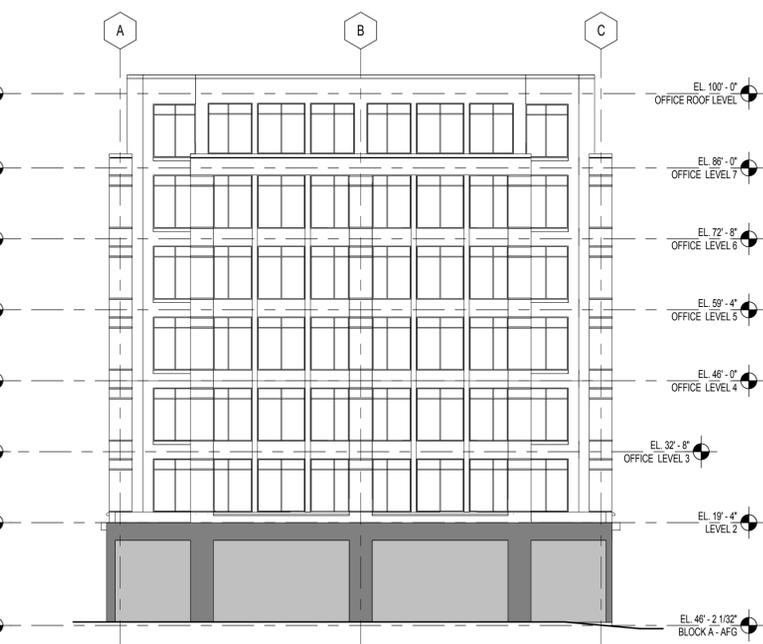
RETAIL - VOID CALCULATION		
CATEGORY	Area	PERCENTAGE
OAKVILLE		
TOTAL SOLID	561 SF	31%
TOTAL VOID	1,223 SF	69%
	1,785 SF	100%
PLAZA		
TOTAL SOLID	1,206 SF	31%
TOTAL VOID	2,700 SF	69%
	3,906 SF	100%
ROUTE 1		
TOTAL SOLID	606 SF	35%
TOTAL VOID	1,123 SF	65%
	1,729 SF	100%
SWANN		
TOTAL SOLID	1,200 SF	31%
TOTAL VOID	2,660 SF	69%
	3,861 SF	100%
Grand total		
TOTAL SOLID	3,574 SF	32%
TOTAL VOID	7,706 SF	68%
	11,281 SF	100%

KEY

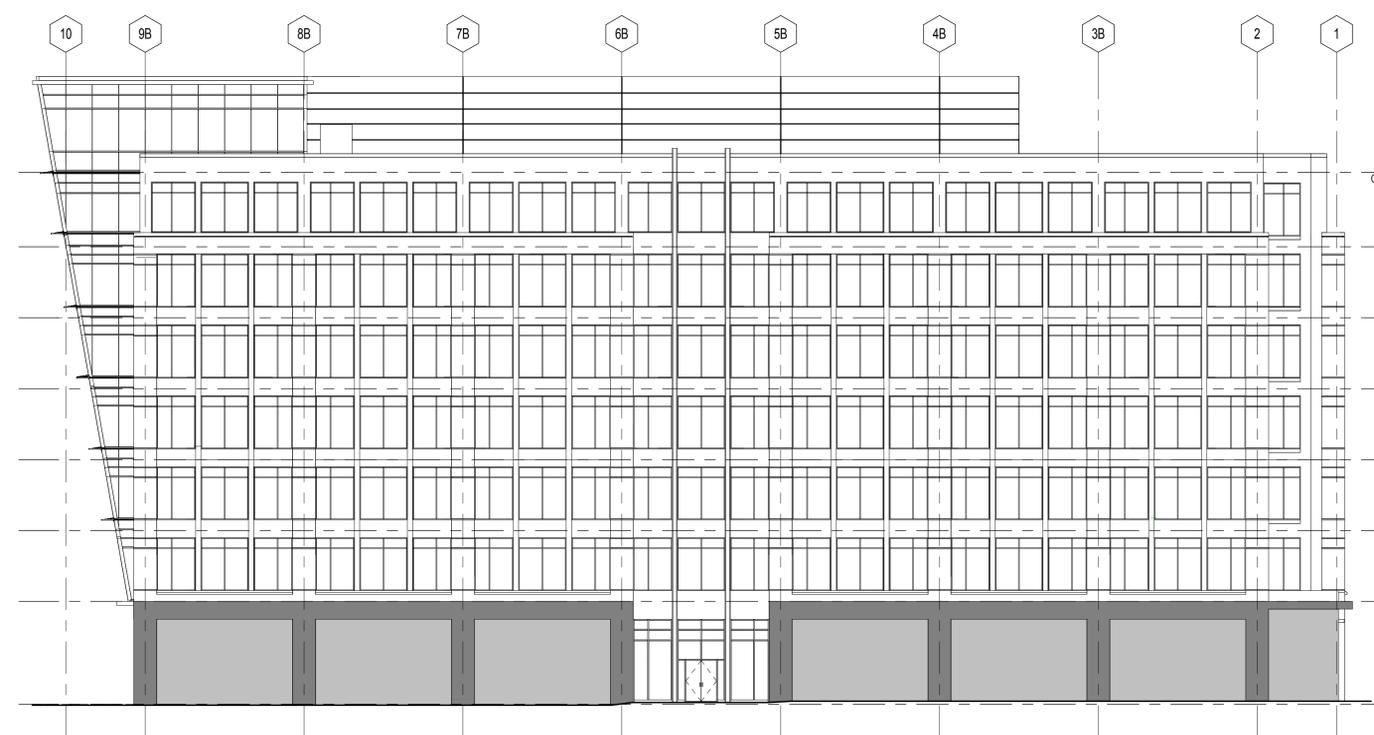
- SOLID
- VOID



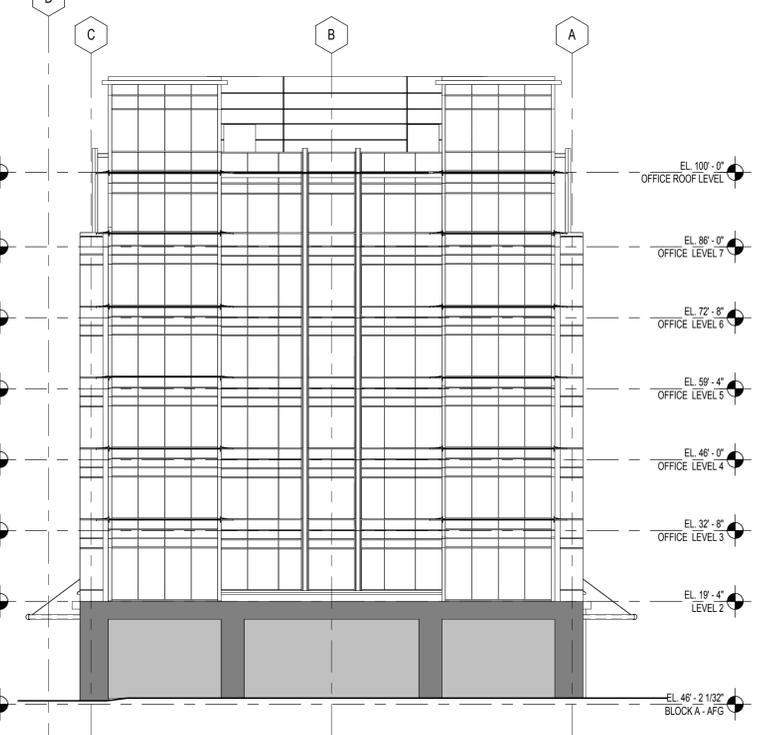
1 VOID CALCULATION - RETAIL - PLAZA
A6.05 SCALE: 1/16" = 1'-0"



4 VOID CALCULATION - RETAIL - OAKVILLE
A6.05 SCALE: 1/16" = 1'-0"



3 VOID CALCULATION - RETAIL - SWANN
A6.05 SCALE: 1/16" = 1'-0"



2 VOID CALCULATION - RETAIL - ROUTE 1
A6.05 SCALE: 1/16" = 1'-0"

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SPECIAL USE PERMIT NO. **DSUP2015-00026**
DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DAVID KITCHENS 20140051
Principal-in-Charge Project No.
ABBEY OKLAK 07/12/16
Project Manager Date
LAYTON GOLDING
Project Architect
STEPHANIE SMID
Staff Architect

A6.05

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BLOCK A1 RETAIL VOID PERCENTAGE CALCULATION
at 1_elevation_all glass 10 degree tower_rdggr.rvt
7/11/2016 7:43:31 PM

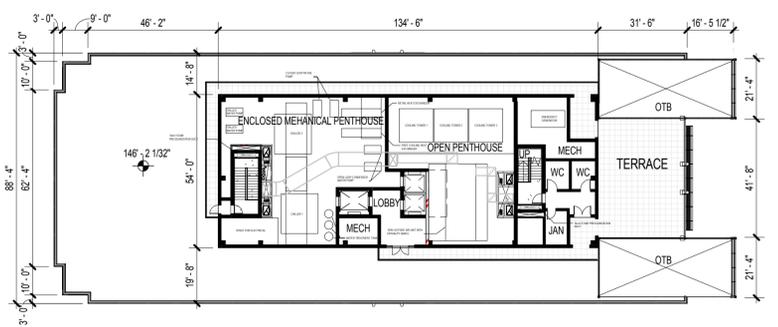


SCOPE DOCUMENTS

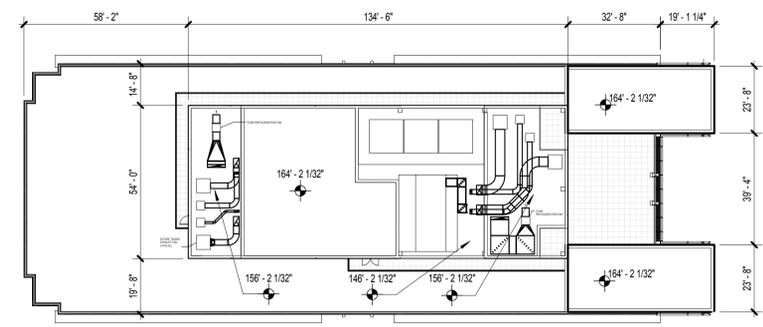
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ISSUANCES

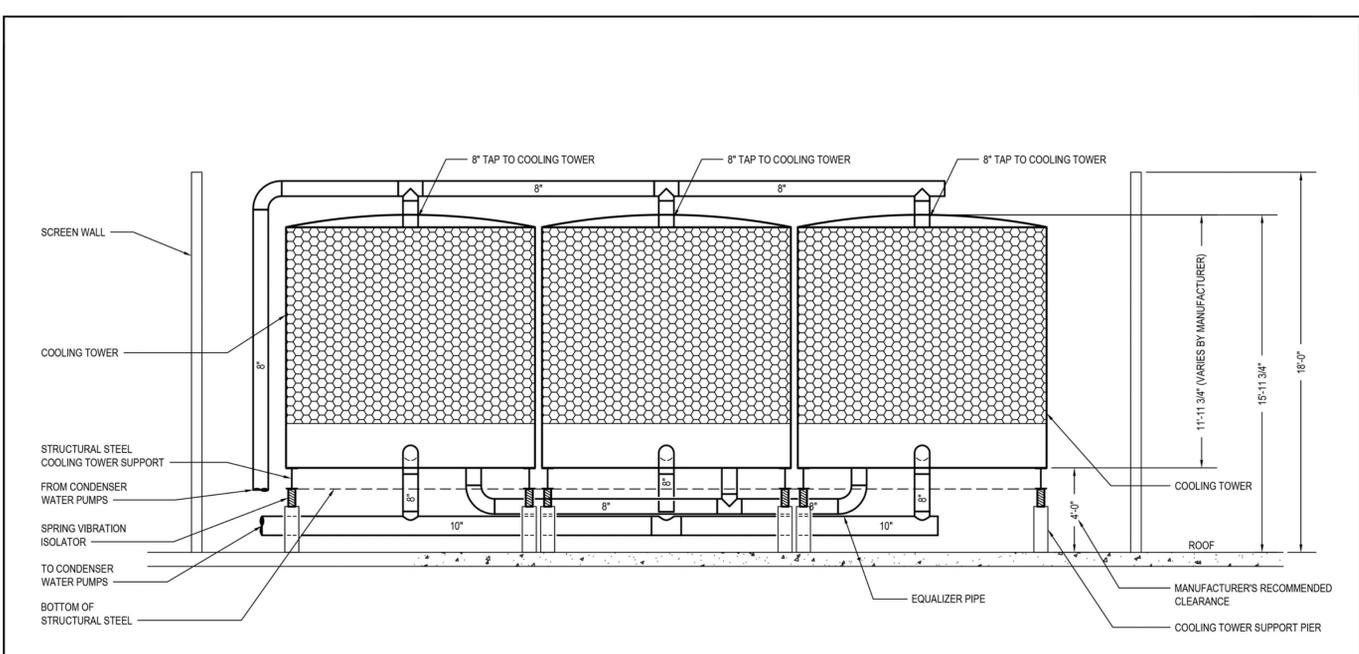
No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



1 FLOOR PLAN - ROOF LEVEL KEY
A6.07 SCALE: 1" = 30'-0"



2 FLOOR PLAN - ROOF PLAN KEY
A6.07 SCALE: 1" = 30'-0"



1 SECTION THROUGH COOLING TOWER ENCLOSURE
NOT TO SCALE

JSE Jordan & Skala Engineers
11440 Commerce Park Drive, Suite 200
Reston, VA 20191
V: (703) 483-3730 F: (703) 483-3726
Project Number - 1550383 Drawn By: SDW Checked By: SDW

OAKVILLE
ALEXANDRIA, VA

REFERENCE DWG:	SCALE:
---	1/4"=1'-0"
DATE:	2016.07.11
REVISION:	---
SK-M1	

Baltimore Aircoil Company, Inc.
Cooling Tower Selection Program

Version: 8.7.3 NA
Product data correct as of: June 30, 2016
Project Name: Oakville
Selection Name: 3 cell tower under 13'
Project State/Province: Maryland
Project Country: United States
Date: July 06, 2016

Model Information

Product Line: New Series 1500
Model: S15E-1212-07JN
Number of Units: 3
Fan Type: Whisper Quiet Fan
Fan Motor: (2) 7.50 = 15.00 HP/Unit
Total Standard Fan Power: Full Speed, 15.00 BHP/Unit
Intake Option: None
Internal Option: None
Discharge Option: None

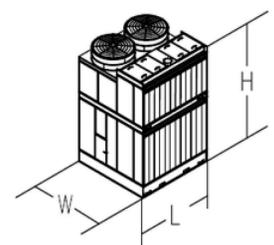
Design Conditions

Flow Rate: 1,700.00 USGPM
Hot Water Temp.: 98.00 °F
Cold Water Temp.: 83.00 °F
Wet Bulb Temp.: 78.00 °F
Tower Pumping Head: 4.85 psi
Reserve Capability: 0.13 %

Thermal performance at design conditions and standard total fan motor power is certified by the Cooling Technology Institute (CTI).

Engineering Data, per Unit

Unit Length: 11' 11.75"
Unit Width: 11' 10.00"
Unit Height: 12' 00.50"
Air Flow: 66,220 CFM
Approximate Shipping Weight: 6,640 pounds
Heaviest Section: 6,640 pounds
Approximate Operating Weight: 14,490 pounds
Heater kW Data (Optional)
0°F (-17.8°C) Ambient Heaters: (1) 12 kW
-20°F (-28.9°C) Ambient Heaters: (1) 16 kW



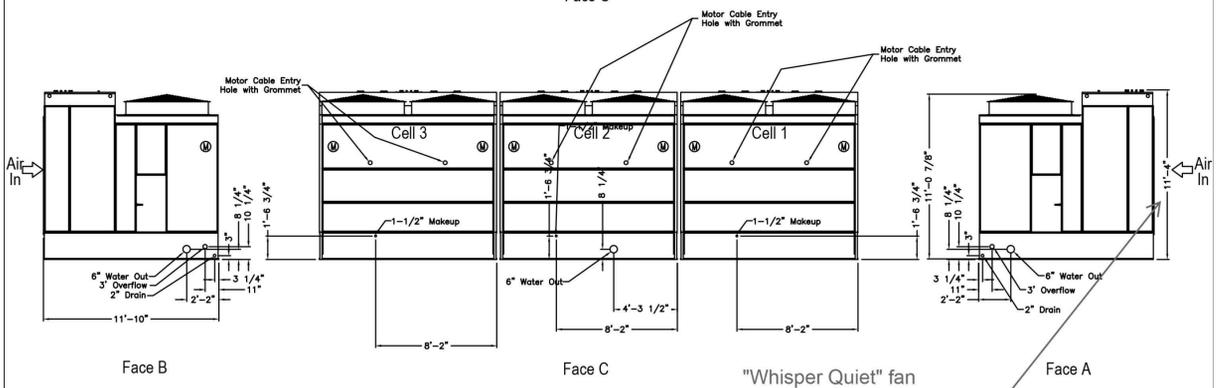
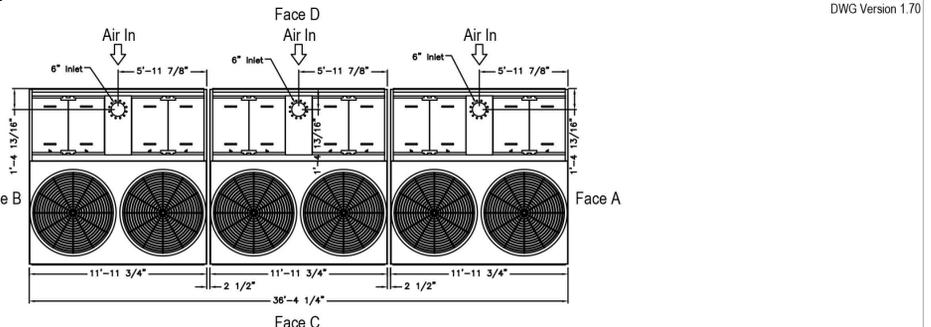
Minimum Distance Required for Single Unit:
(For multiple units, refer to Layout Guidelines)
From Solid Wall: 6.5 ft.
From 50% Open Wall: 3 ft.

Energy Rating:
66.79 per ASHRAE 90.1, ASHRAE 189 and CA Title 24.

Note: These unit dimensions account for the selected fan type for the standard cataloged drive configuration, but they do not account for other options/accessories. Please contact your local BAC sales representative for dimensions of units with other options/accessories.

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- Notes
- 1) All dimensions are in feet and inches. Weights are in pounds and include options and accessories.
 - 2) Unless otherwise indicated, pan connections 3" and smaller are MPT. Pan Connections 4" and larger are grooved to suit a mechanical coupling and beveled for welding. Inlet is Studded Bolt Circle for mating to a 150# class ASME Flange. Make-Up connection is FPT.
 - 3) Field piping should be fabricated at time of installation. Pre-fabrication of pipe work is not recommended.
 - 4) Do not support piping from unit connections. All necessary piping supports to be supplied by others.
 - 5) For weight loadings and support requirements, refer to the suggested unit support drawing.
 - 6) The area above the fan discharge must be unobstructed.
 - 7) Due to height limitations on truck shipments, some items shown may ship loose for field installation.
 - 8) Dimension to the top of the fan guard reflect all additional cowl extensions.
 - 9) Conduit must be water tight and pitched downward to allow condensation to drain away from fan motor conduit box. Therefore, do not run the conduit through fan deck.



Model Number	Shipping Weight	Operating Weight	Heaviest Section
S15E-1212-07JN-3	18930	42480	6310

ORDER NO: **27736_S15E-1212-07JN-3**
DATE: **7/6/2016 4:33:28 PM**



Series 1500 3 Cell Unit Print
DRAWING NUMBER:
UP-27736_S15E-1212-07JN-3

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DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES
SITE PLAN No. _____
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

OAKVILLE
OAKVILLE
StonebridgeCarras
ALEXANDRIA, VIRGINIA
PENTHOUSE HEIGHT

Designer: 20140051
Project No. _____
Approver: 07/12/16
Project Manager: _____
Date: _____
Checker: _____
Project Architect: _____
Author: _____
Staff Architect: _____

A6.07

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
BAC: 1500 Series 3 Cell Cooling Tower Revit users block at 11' elevation, all glass 10 degree tower, roggf.rvt
7/11/2016 7:43:49 PM



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ISSUANCES

No.	Drawing Issue Description	Date
1	OAKVILLE - BLOCK A1 - COMPLETENESS PLAN	07/12/2016



OAKVILLE
OAKVILLE

StonebridgeCarras

ALEXANDRIA, VIRGINIA

ENCROACHMENT PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP2015-00026
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____
DIRECTOR _____ DATE _____

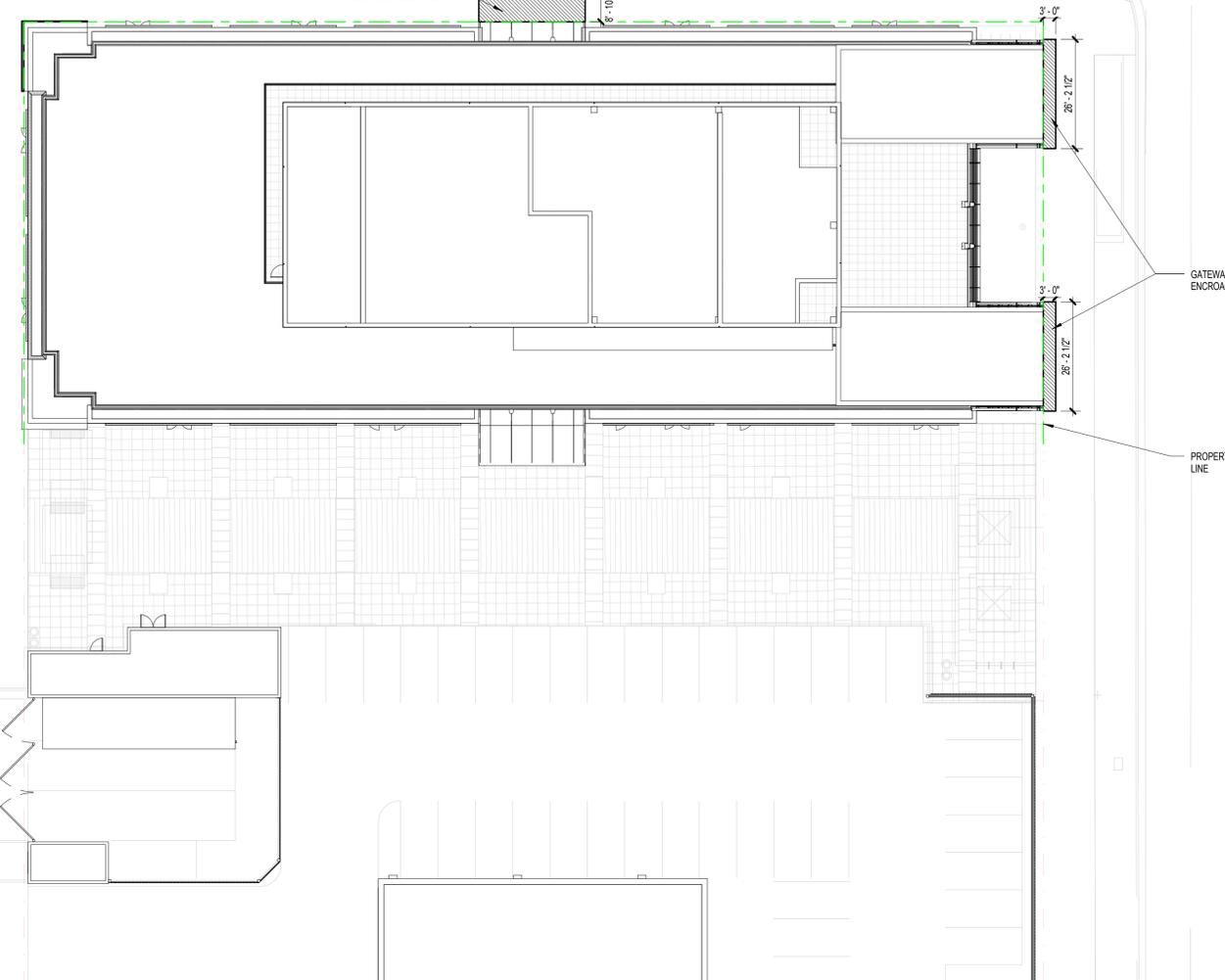
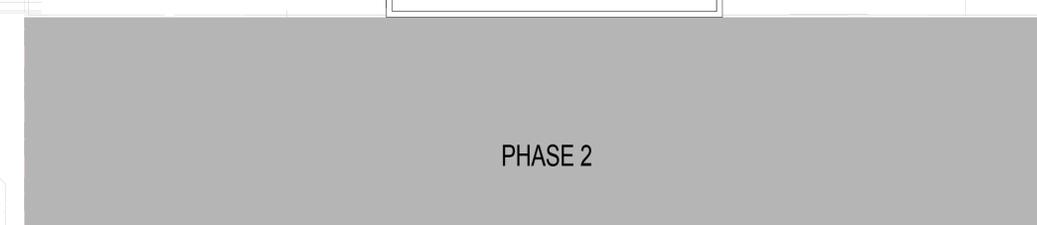
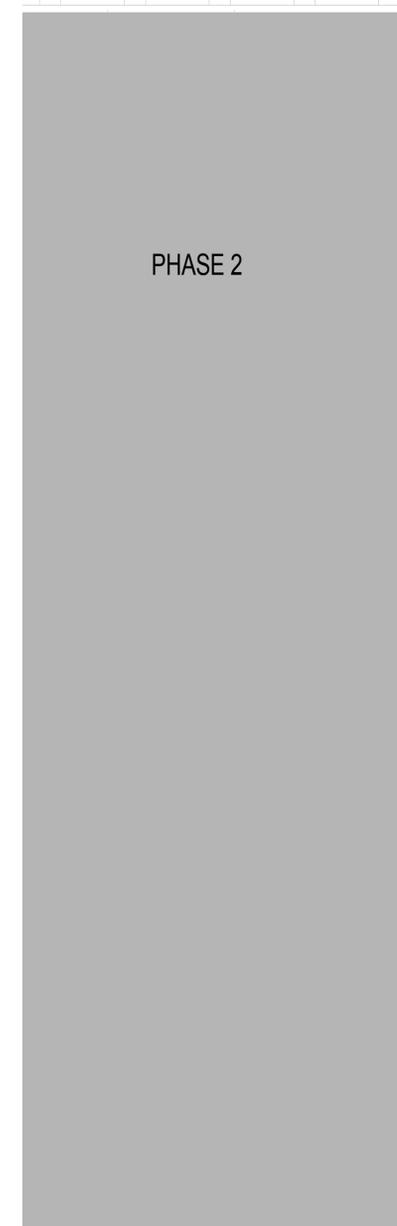
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Designer	20140051
Principal-in-Charge	Project No.
Approver	07/12/16
Project Manager	Date
Checker	
Project Architect	
Author	
Staff Architect	

A6.08

NOT ISSUED FOR CONSTRUCTION

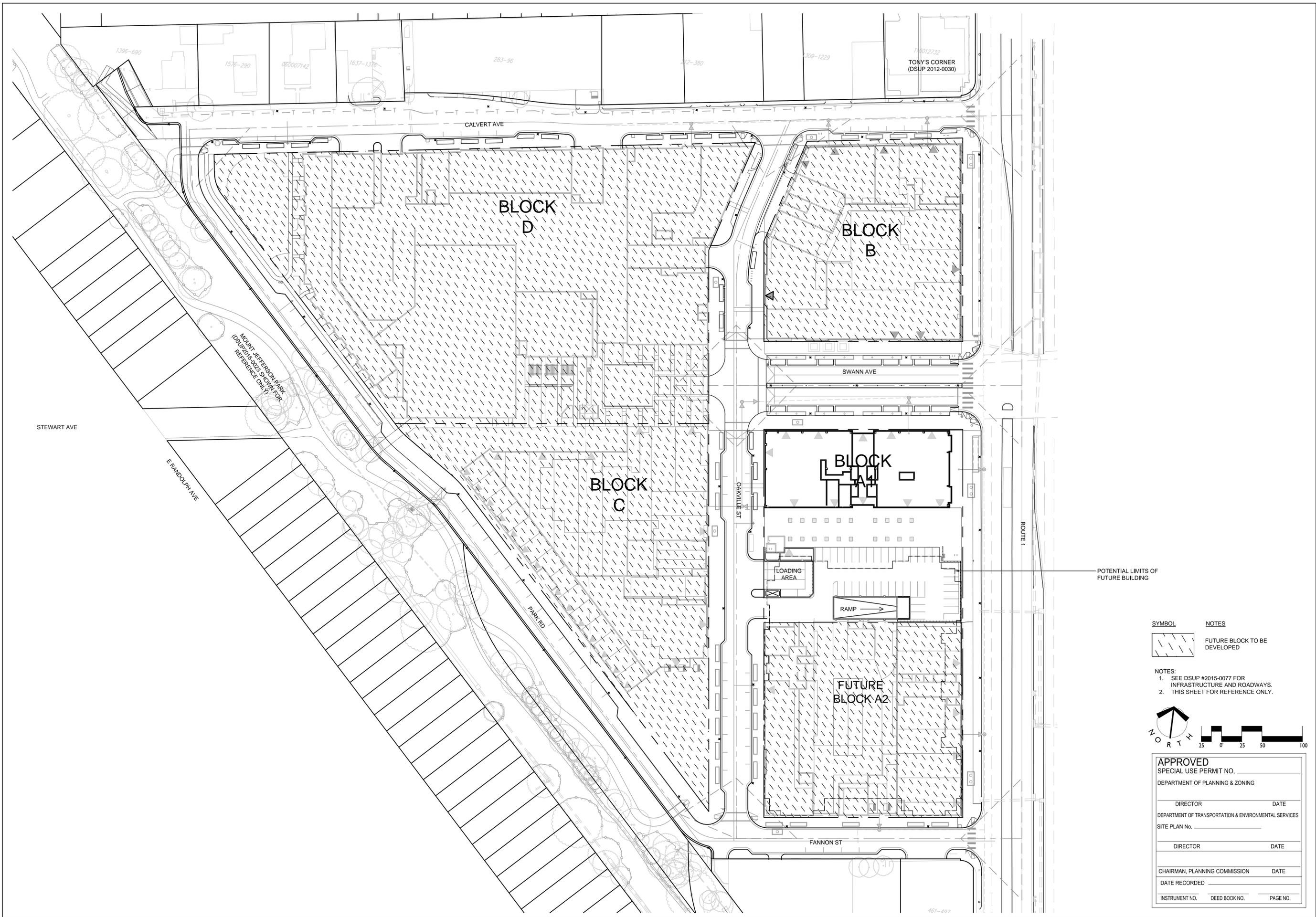


PHASE 2

PHASE 2

1 ENCROACHMENT PLAN
A6.08 SCALE: 1" = 20'-0"

PROJECT NUMBER: 20140051 PROJECT NAME: OAKVILLE
 BLOCK A1 ENCROACHMENT PLAN
 at_1_elevation_all glass 10 degree tower_rvgg.rvt
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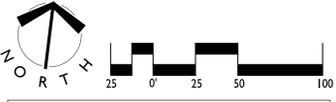
SYMBOL

 **NOTES**

FUTURE BLOCK TO BE DEVELOPED

NOTES:

- SEE DSUP #2015-0077 FOR INFRASTRUCTURE AND ROADWAYS.
- THIS SHEET FOR REFERENCE ONLY.



APPROVED
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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

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SITE PLAN No. _____

DIRECTOR _____ DATE _____

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OAKVILLE
BLOCK AI - DSUP SUBMISSION
StonebridgeCarras, City of Alexandria, VA
REFERENCE PLAN

1.0 GENERAL NOTES:

1.1 THIS PLAN IS FOR LANDSCAPE AND HARDCAPE ONLY.

1.2 UTILITIES: THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, AND NOTIFY MISS UTILITY OR EQUIVALENT UTILITY LOCATION COMPANY OF THE PROPOSED CONSTRUCTION. IN ADDITION, THE CONTRACTOR IS TO BE NOTIFIED WHICH UTILITIES, INCLUDING STORM AND SANITARY SEWERS ARE LOCATED IN THE VICINITY OF THE PROPOSED WORK. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND STAKING THE LOCATION OF ALL EXISTING UTILITIES AND PROTECTING THEM DURING THE WORK AND SHALL BEAR ANY COSTS TO REPAIR UTILITIES DAMAGED AS A CONSEQUENCE OF HIS WORK.

1.3 REQUIREMENTS: ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS.

1.4 PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM HIS FAILURE TO COMPLY.

1.5 APPLICABLE STANDARDS: ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE OWNER SHALL RECEIVE TAGS FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY OR CULTIVAR PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

ALL LANDSCAPING AND TREE PLANTINGS REQUIRED BY THIS PLAN SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS PRODUCED BY THE AMERICAN ASSOCIATION FOR NURSERYMEN; WASHINGTON, DC. ALL LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION AND REPLACED AS NEEDED.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LANDSCAPE SPECIFICATIONS GUIDELINES CURRENT (5TH) EDITION AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION (LCA) OF MARYLAND, THE DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.

1.6 SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT AND THE CITY OF ALEXANDRIA. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE, AND THE CHANGES IN COST.

1.7 QUANTITIES: QUANTITIES OF PLANTS AS SHOWN BY PLANT SYMBOLS ON THE PLAN SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT LIST. THE CONTRACTOR IS TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION.

1.8 PLANTING SEASON: PLANTING SHALL ONLY OCCUR DURING SPECIFIED PLANTING SEASONS. SPRING SEASON SHALL BE FROM MARCH 15 TO JUNE 15. FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 THROUGH NOVEMBER 15. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.

1.9 GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING GRASSING, FOR ONE FULL YEAR. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE DURING THE GUARANTEE PERIOD.

1.10 DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY BY THE CONTRACTOR, REGARDLESS OF THE SEASON. THE CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.

1.11 PLANT MATERIAL REMOVAL: NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER EXCEPT WHERE NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON PLANS.

2.0 PLANTS:

2.1 ALL PLANTS WILL BE NURSERY GROWN. THEY SHALL BE TYPICAL OF THEIR SPECIES, CULTIVAR OR VARIETY. THEY SHALL BE SOUND, HEALTHY, AND VIGOROUS, AND SHALL BE FREE OF DISEASE AND ANY EVIDENCE OF INSECTS. IF IN LEAF, THEY SHALL BE DENSELY FOLIATED, WITHOUT LEAF SPOTS, DISCOLORATION, CURL, WILTING, CHLOROSIS OR DAMAGE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. UNLESS SPECIFIED ON THE PLANT LIST, TREES WITH BROKEN, CROOKED OR MULTIPLE LEADERS WILL NOT BE ACCEPTED. TREES WILL BE REJECTED IF THEY HAVE BARK ABRASIONS, SUN SCALD DAMAGE, DISFIGURING KNOTS OR PRUNING CUTS MORE THAN 1-1/4 INCHES IN DIAMETER WHICH HAVE NOT COMPLETELY GROWN OVER.

2.2 BALLED AND BURLAPPED (B&B) MATERIAL: BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS, AND MEET THE MINIMUM AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, LATEST EDITION. ROOT BALLS OF PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST.

2.3 CONTAINER GROWN MATERIAL: ROOTBALL MASS WHICH IS LOOSE WITHIN CONTAINER, OR WHICH IS SMALLER THAN THE CONTAINER WHEN REMOVED, SHALL BE REJECTED. PEAT OR FIBER POTTED PLANTS SHALL BE ROOTED THROUGH ALL SIDES AND BOTTOM OF THE POTS.

2.4 SHADE TREES: CALIPER SHALL BE MEASURED AT SIX (6") INCHES ABOVE THE ROOTBALL. HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.

2.5 SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.

2.6 MINIMUM SIZES: SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED.

2.7 MULCH: IS TO BE DOUBLE SHREDDED HARDWOOD BARK.

2.8 TOPSOIL: ACCEPTABLE TOPSOIL SHALL BE A FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER EXTRANEIOUS MATTER OVER 1 INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT.

2.9 ORGANIC AMENDMENTS: IF ADDITIONAL ORGANIC MATERIAL IS REQUIRED, COMPOST, LEAF MOLD, ECOLOGY - A LOW PH COMPOSED SEWAGE SLUDGE PRODUCT, OR OTHER APPROVED ORGANIC MATERIAL SHALL BE THOROUGHLY DISCED INTO THE TOPSOIL AREA.

3.0 INSTALLATION

3.1 VERIFY GRADES: PRIOR TO PLANTING, THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLANT PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL GRADING.

3.2 STAKE PLANT LOCATIONS: PRIOR TO PLANTING, THE CONTRACTOR SHALL LAY OUT THE EXTENT OF PLANT BEDS, AND THE PROPOSED LOCATIONS FOR B&B PLANTS FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.

3.3 PLANTING FIELD ADJUSTMENTS: THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.

3.4 TOPSOIL INSTALLATION: TOPSOIL SHALL BE SPREAD TO FINISH GRADE OVER THE ENTIRE ROUGH GRADED AREA TO BE LANDSCAPED. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 6" AND WORKED INTO THE TOP 12" OF SOIL. AFTER TOPSOIL IS APPLIED, THE SOIL SHALL BE SCARIFIED AS NEEDED TO BREAK UP ANY REMAINING COMPACTION.

3.5 PLANTING: BACKFILL THE PLANTING HOLES WITH PLANTING BACKFILL MIX. REMOVE ALL STONES, ROOTS AND OTHER DEBRIS GREATER THAN 1-1/2" IN DIAMETER. FOLLOWING THE BACKFILLING, WATER TO THE POINT OF SOIL SATURATION AND TAMP TO COMPACT THE BACKFILL MIXTURE. ADD EXISTING SOIL TO BRING THE FINAL GRADE IN THE PLANTING HOLE TO THE SURROUNDING SOIL SURFACE. RAKE THE UNUSED EXISTING SOIL OUTSIDE THE PLANTING HOLES, TAKING CARE NOT TO MOUND THE SOIL OR TO SIGNIFICANTLY ALTER THE EXISTING GRADES AND THEN PLACE MULCH ATOP ENTIRE PLANTING HOLE. (SEE APPLICABLE PLANTING DETAILS FOR THICKNESS.)

3.6 WATERING: ALL PLANTS SHALL BE WATERED IMMEDIATELY AFTER PLANTING UNTIL THE SOIL IS SATURATED. PLANTS SHALL BE WATERED A MINIMUM OF EVERY TWO WEEKS, SHOULD THE SOILS DRY, UNTIL ACCEPTANCE BY THE OWNER. DURING DRY CONDITIONS WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT FREE CONDITION.

3.7 EROSION CONTROL: ALL DISTURBED, NON-VEGETATED SLOPES SHALL BE PLANTED WITH AN ANNUAL RYE SOD BEFORE INSTALLATION AT THE RECOMMENDED RATE TO STABILIZE AREA, OR OTHER EQUIVALENT EROSION CONTROL PRACTICE.

3.8 FIELD ADJUSTMENTS: LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN DRAINAGE SWALES.

3.9 TREE STAKING AND GUYING: SHALL BE DONE PER DETAILS IN THIS SET OF LANDSCAPE PLANS. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.

3.10 BURLAP, TAGS AND TWINE: ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL.

3.11 PLANT SPACING: SHRUBS, BULBS AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS AND IN APPLICABLE PLANTING DETAILS.

3.12 SOIL EXCAVATION: ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS IN THIS SET OF LANDSCAPE PLANS.

3.13 INSPECTIONS: THE CONTRACTOR MUST CONTACT THE OWNER AT LEAST 10 WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). THE CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS AND PLANT ANY MISSING PLANTS.

3.14 TREE SPACING MINIMUMS: TREES SHALL BE LOCATED A MINIMUM OF(2) FEET FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.

3.15 MAINTENANCE: MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

4.0 CITY OF ALEXANDRIA REQUIRED NOTES ON DRAWING SUBMISSIONS:

4.1 ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION, INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.

4.2 SPECIFICATION FOR ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION OF ANSI-Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSERYMEN; WASHINGTON, DC. ALL MATERIALS' SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE INDUSTRY STANDARD FOR GRADING PLANT MATERIAL - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).

4.3 THE APPLICANT HAS MADE SUITABLE ARRANGEMENTS FOR PRE-SELECTION TAGGING, PRE-CONTRACT GROWING, OR IS UNDERTAKING SPECIALIZED PLANTING STOCK DEVELOPMENT WITH A NURSERY OR GROWER THAT IS CONVENIENTLY LOCATED TO THE PROJECT SITE. OTHER PROCEDURES THAT WILL ENSURE AVAILABILITY OF SPECIFIED MATERIALS. IN THE EVENT THAT SHORTAGES AND/OR INABILITY TO OBTAIN SPECIFIED PLANTINGS OCCURS, REMEDIAL EFFORTS INCLUDING SPECIES CHANGES, ADDITIONAL PLANTINGS AND MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. ALL REMEDIAL EFFORTS SHALL, WITH PRIOR APPROVAL BY THE CITY, BE PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPORTATION & ENVIRONMENTAL SERVICES.

4.4 IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.

4.5 PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.

4.6 MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED IN PERPETUITY, IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND/OR AS CONDITIONED BY PROJECT APPROVAL.

4.7 A CERTIFICATION LETTER FOR TREE WELLS, TREE TRENCHES AND PLANTINGS ABOVE STRUCTURE SHALL BE PROVIDED BY THE PROJECT'S LANDSCAPE ARCHITECT. THE LETTER SHALL CERTIFY THAT ALL BELOW GRADE CONSTRUCTION IS IN COMPLIANCE WITH APPROVED DRAWINGS AND SPECIFICATIONS. THE LETTER SHALL BE SUBMITTED TO THE CITY ARBORIST AND APPROVED PRIOR TO APPROVAL OF THE LAST AND FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT. THE LETTER SHALL BE SUBMITTED BY THE OWNER/APPLICANT/SUCCESSOR AND SEALED AND DATED AS APPROVED BY THE PROJECT'S LANDSCAPE ARCHITECT.

4.8 AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

5.0 ARCHAEOLOGY

5.1 THE FINAL SITE PLAN, GRADING PLAN, OR ANY OTHER PERMITS INVOLVING GROUND DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL ARCHAEOLOGICAL FIELD WORK HAS BEEN COMPLETED OR THAT AN APPROVED RESOURCE MANAGEMENT PLAN IS IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT 703-746-4399.

5.2 THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

5.3 THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

6.0 STREET TREES

6.1 THE SIZE OF THE STREET TREES SHALL BE 3 - 3 1/4 INCH CALIPER AT THE TIME OF PLANTING.

6.2 TREES SHALL BE LIMBED UP TO 6 FT AS THEY MATURE TO ALLOW NATURAL SURVEILLANCE.

6.3 PROPOSED SHRUBS SHALL BE A MAXIMUM HEIGHT OF 3 FT TO ALLOW NATURAL SURVEILLANCE.

6.4 ALL PRIVATE LOT GRASS AREAS TO BE SOD. OPEN SPACE GRASS AREAS TO BE GRASS.

6.5 REGARDLESS OF QUANTITIES INDICATED ON DRAWINGS, ALL DESIGNATED AREAS SHALL BE FILLED WITH PLANTS AT THE APPROVED SPACING.

7.0 PROTECTION AND PRESERVATION OF EXISTING VEGETATION:

7.1 PROTECTION AND PRESERVATION METHODS

VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL BE ENCLOSED IN A PROTECTION ZONE WHICH ESTABLISHES LIMITS OF CONSTRUCTION DISTURBANCE TO THE ROOT AREA OF DESIGNATED PLANT MATERIAL. ALL PROTECTION ZONES AND MEASURES SHALL BE ESTABLISHED TO THE SATISFACTION OF THE DIRECTOR OF RECREATION, PARKS AND CULTURAL AFFAIRS. FENCING SHALL BE INSTALLED AT THE PERIMETER OF ALL PROTECTION ZONES. FENCING SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT PUBLICATION OF THE 'CITY OF ALEXANDRIA VEGETATION PROTECTION/PRESERVATION DETAIL' APPROVED MATERIALS FOR FENCING SHALL BE IN ACCORDANCE WITH THE FOLLOWING MINIMUM REQUIREMENTS:

- 1) WITHIN 15 FEET OF VEGETATION TO BE PROTECTED/PRESERVED: PROVIDE CHAIN LINK OR WOOD FENCE.
 - 2) EXCEEDING 15 FEET OF VEGETATION TO BE PROTECTED/PRESERVED: PROVIDE PLASTIC OR MOON 'SNOW-FENCE.'
 - 3) VEGETATION OF SPECIMEN QUALITY, HISTORIC DESIGNATION OR CULTURAL VALUE. PROVIDE EXTRAORDINARY MEASURES TO ENSURE COMPLETE PROTECTION/PRESERVATION.
 - * TYPE OF MATERIAL SPECIFIED MAY VARY DUE TO SITE DISTURBANCE LIMITS AND PROXIMITY TO DESIGNATED VEGETATION. SPECIAL OR PAVED AREAS, SILT, EROSION CONTROL OR GEOTECHNICAL FABRIC MATERIALS ARE NOT ACCEPTABLE FOR USE AS VEGETATION PROTECTION FENCE MATERIALS. AREAS WHICH ENCOMPASS GROUPINGS, OR INDIVIDUAL SPECIMEN VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL NOT BE VIOLATED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY ACTIONS INCLUDING, BUT NOT LIMITED TO:
 - 1) PLACING, STORING OR STOCKPILING BACKFILL OR CONSTRUCTION RELATED SUPPLIES.
 - 2) FELLING TREES INTO THE DESIGNATED AREA.
 - 3) BURNING WITHIN OR IN CLOSE PROXIMITY.
 - 4) MODIFYING SITE TOPOGRAPHY IN A MANNER WHICH CAUSES DAMAGE BY COLLECTION/PONDING OR FLOW CHARACTERISTICS OF SITE DRAINAGE.
 - 5) TRENCHING OR GRADING OPERATIONS.
 - 6) OPERATING EQUIPMENT OR MACHINERY.
 - 7) PARKING OF CONSTRUCTION VEHICLES.
 - 8) TEMPORARY OR PERMANENT PAVING OR IMPERVIOUS SURFACE INSTALLATION.
 - 9) TEMPORARY OR PERMANENT UTILITY CONSTRUCTION INSTALLATION.
 - 10) DISPOSAL OF CONSTRUCTION DEBRIS OR CHEMICAL POLLUTANTS.
- WORK OR CONSTRUCTION RELATED ACTIVITIES WITHIN AREAS DESIGNATED FOR PROTECTION AND/OR PRESERVATION OF EXISTING VEGETATION SHALL BE ACCOMPLISHED ONLY WITH PRIOR APPROVAL OF THE DIRECTOR OF RECREATION, PARKS AND CULTURAL AFFAIRS.

7.2 MAINTENANCE

VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL RECEIVE AN ENHANCED LEVEL OF MAINTENANCE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, ITEMS SUCH AS: MONITORING HEALTH, GROWTH AND VIGOR OF VEGETATION, SELECTIVE PRUNING, WATERING, FERTILIZATION, INSTALLATION OF MULCH AND IN-LIKE REPLACEMENT OF SEVERELY OR TERMINALLY DAMAGED VEGETATION. MAINTENANCE SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF RECREATION, PARKS AND CULTURAL AFFAIRS. MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

7.3 REPLACEMENT OF DAMAGED VEGETATION

IN-KIND REPLACEMENT OF DAMAGED EXISTING VEGETATION SHALL BE LOCATED ON PRIVATE OR PUBLIC LANDS TO THE SATISFACTION OF THE DIRECTOR OF RECREATION, PARKS AND CULTURAL AFFAIRS. * IN-KIND REPLACEMENT OF DAMAGED VEGETATION SHALL AT A MINIMUM BE PERFORMED AT A RATIO OF ONE TREE (IN ACCORDANCE WITH SECTION IV. SPECIFICATION OF PLANT MATERIAL BELOW) PER INCH OF THE SUM TOTAL CALIPER INCH MEASUREMENT OF TREE(S) OR GROUPING OF VEGETATION WHICH ARE DEEMED SEVERELY OR TERMINALLY DAMAGED. * APPLICANT, OWNER OR SUCCESSOR LIABILITY FOR IN-KIND REPLACEMENT OF DAMAGED VEGETATION SHALL EXTEND FOR A PERIOD OF TWO CALENDAR YEARS FROM DATE OF CERTIFICATE OF OCCUPANCY. * FOR THE PURPOSES OF THIS INFORMATION, 'IN-KIND' REFERENCES THE SPECIES, CHARACTER AND PROJECTED MATURE SIZE OF SUBJECT VEGETATION. REMEDY REQUIREMENTS SHALL BE DETERMINED BY THE DIRECTOR OF RECREATION, PARKS AND CULTURAL AFFAIRS AND BASED UPON SEVERITY OF DAMAGE

7.4 TREE PROTECTION NOTE:

THE CONTRACTOR AND/OR THE APPLICANT SHALL FOLLOW RECOMMENDED HORTICULTURAL PRACTICES TO INSURE THE HEALTH AND VITALITY OF THE TREES DESIGNATED FOR PROTECTION PRIOR TO, DURING AND AFTER CONSTRUCTION OF THE PROPOSED HOUSES. IN THE EVENT TREES WHICH ARE PROTECTED, ARE DAMAGED OR DIE, OTHER THAN AS THE RESULT OF DISEASE OR ACTS OF GOD, REPLACEMENT TREES MEASURING 2 1/2" IN CALIPER SHALL BE PLANTED FOR EACH INCH OF CALIPER THAT IS LOST. NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE STORED OR STAGED WITHIN THE DRIP LINES OF TREES DESIGNATED FOR PROTECTION. ANY REQUIRED CONSTRUCTION OCCURRING WITHIN THE DRIP LINE OF TREES DESIGNATED FOR SAVING SHALL FOLLOW THE CITY LANDSCAPE GUIDELINES AS ESTABLISHED BY THE CITY ARBORIST. A COPY OF THE CITY ARBORIST REPORT SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.

7.5 EXISTING STREET NOTE:

EXTRA CARE MUST BE TAKEN WHILE OPERATING CONSTRUCTION EQUIPMENT IN CLOSE PROXIMITY TO THE EXISTING STREET TREES TO BE SAVED.

8.0 SITE SPECIFIC NOTES

8.1 ALL SIDEWALKS ARE CONCRETE UNLESS OTHERWISE NOTED.

8.2 REFER TO STAINS BY CHRISTOPHER CONSULTANTS AND/OR COOPER CARRY FOR ANY ADDITIONAL INFORMATION.

8.3 WHERE STREET TREES CONFLICT WITH UTILITY LINES, UTILITY LINES WILL BE A MINIMUM OF 4' DEEP.

8.4 STREETLIGHT LOCATIONS AND SPECIFICATIONS TO BE FINALIZED BASED ON A PHOTOMETRIC ANALYSIS PERFORMED BY OTHERS FOR FINAL SITE PLAN SUBMISSION.

9.0 BMP TREE WELL NOTES

9.1 ALL BMP TREE WELL DETAILS DEPICTED IN THIS SUBMISSION, INCLUDING DESIGN, MATERIALS AND SPECIFICATIONS SHALL BE PER THE CITY OF ALEXANDRIA 'GREEN SIDEWALKS BMP DESIGN GUIDELINES'.

9.2 SOIL SPECIFICATIONS FOR BMP TREE WELLS TO MEET SPECIFICATIONS OUTLINED IN THE CITY OF ALEXANDRIA GREEN SIDEWALKS BMP DESIGN GUIDELINES, AS FOLLOWS:

- A. THE CONTRACTOR SHALL EITHER:
 - I. PROVIDE SOIL FROM THE MIX SPECIFIED IN THE PREFERRED SUPPLIERS LIST (AVAILABLE FROM THE DEPARTMENTS OF PLANNING AND ZONING OR TRANSPORTATION AND ENVIRONMENTAL SERVICES). CERTIFICATION FROM THE SUPPLIER SHALL BE PROVIDED TO THE CITY VERIFYING THE MIX, OR
 - II. PROVIDE SOIL WHICH MEETS THE SPECIFICATIONS BELOW. SOIL TESTING REPORTS SHALL BE PROVIDED TO THE CITY WHICH DEMONSTRATES THAT THE MIX SPECIFICALLY MEETS THE APPROVED SPECIFICATION.
- B. SPECIFICATIONS WHICH SHALL BE MET ARE:
 - I. PH BETWEEN 5.5-6.5
 - II. PARTICLE SIZE ANALYSIS SHOWING BETWEEN 2-4% FINES IN THE SAND MIXTURE
 - III. P INDEX BETWEEN 10%-30%
 - IV. SOIL DRAINAGE RATE BETWEEN 2-3.5 INCHES PER HOUR
 - V. ORGANIC CONTENT OF THE ENTIRE MIX BETWEEN 3-5%. A HIGHER ORGANIC CONTENT MAY BE APPROVED BY THE SATISFACTION OF THE DIRECTORS OF PLANNING AND ZONING AND TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- C. SOIL MEDIA SHALL BE PLACED TO MINIMIZE THE COMPACTION IN LIFTS OF 8 TO 12 INCHES. THE SOIL MEDIA SHOULD BE OVERFILLED BY UP TO 20% TO ALLOW FOR NATURAL SETTLEMENT.
- D. SOIL COMPACTION SHALL BE 75-80% BY PROCTOR.

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____	_____	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
_____	_____	DATE
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED _____		
_____	_____	PAGE NO.
INSTRUMENT NO.	DEED BOOK NO.	



200 S. Peyton St., Alexandria, VA 22314
V: 703.549.7784 F: 703.549.4984
www.LandDesign.com

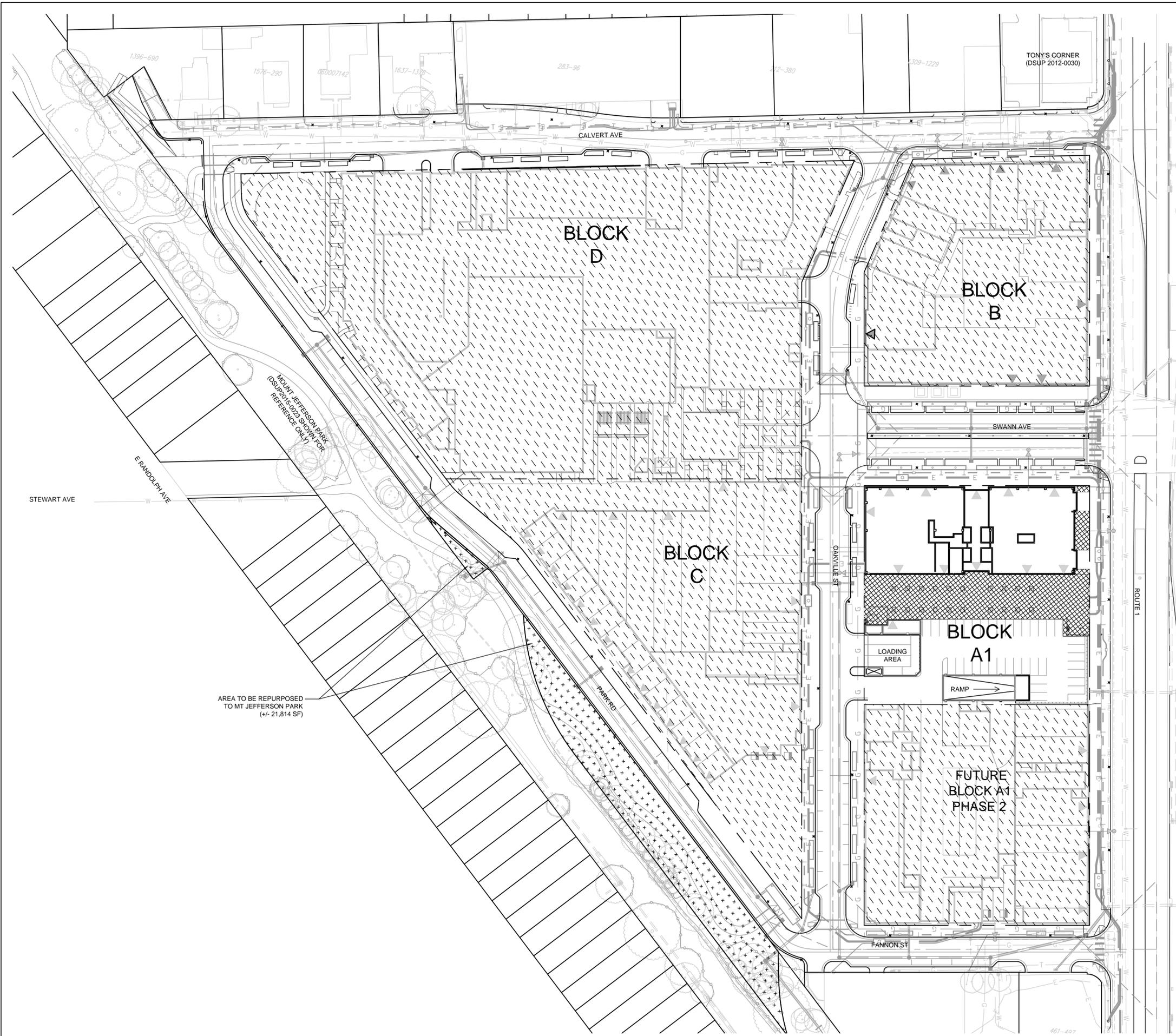


COMM. HEALTH OF VIRGINIA
Matthew V. Clark
MATTHEW V. CLARK
Lic. No. 952
07/12/16
LANDSCAPE ARCHITECT

OAKVILLE
BLOCK AI - DSUP SUBMISSION
StonebridgeCarras, City of Alexandria, VA
GENERAL NOTES

REVISIONS:

DATE: 07/31/16
DESIGNED BY: GC
DRAWN BY: MB/LB
CHECKED BY: MC
C.C. BY: MC
PROJECT #: 2016023
SHEET NUMBER:
L.I.I



OPEN SPACE CALCULATION

A. OAKVILLE SITE OPEN SPACE CALCULATION

TOTAL SITE AREA (Excluding Public ROW):	469,809 SF (10.785 Ac.)
TOTAL REQUESTED OPEN SPACE (At Grade + Above Grade):	187,924 SF (40%)
TOTAL REQUESTED OPEN SPACE (At Grade):	70,471 SF (15%)

B. OAKVILLE BLOCK A1 OPEN SPACE TABULATION

TOTAL SITE AREA (Block A Phase 1/Excluding Public ROW):	22,956 SF (4.9% of total site)
OPEN SPACE PROVIDED (Above Grade):	0 SF
OPEN SPACE PROVIDED (At Grade):	13,602 SF
TOTAL OPEN SPACE PROVIDED (At Grade + Above Grade):	13,602 SF

C. OAKVILLE SITE OPEN SPACE SUMMARY

(NOTE: To be included/updated on each individual block DSUP submission)

TOTAL REQUESTED OPEN SPACE (40%)	AT GRADE(15% Min.)	ABOVE GRADE
ALL BLOCKS (A-D)	70,471 SF	117,453 SF
PROVIDED OPEN SPACE	AT GRADE	ABOVE GRADE
BLOCK A - Phase 1	13,602 SF	0 SF
BLOCK A - Phase 2	TBD	TBD
BLOCK B	TBD	TBD
BLOCK C	TBD	TBD
BLOCK D	TBD	TBD
TOTAL PROVIDED OPEN SPACE	13,602 SF	0 SF

NOTES:

1. A TOTAL OF 21,814 SF OF GROUND LEVEL OPEN SPACE THAT IS TO BE RE-PURPOSED TO MT. JEFFERSON PARK IS NOT INCLUDED IN TOTAL OPEN SPACE CALCULATIONS.
2. OPEN SPACE CALCULATIONS FOR ALL OTHER BLOCKS ARE TO BE PROVIDED IN FUTURE BLOCK-SPECIFIC DSUP SUBMISSIONS.
3. THIS PLAN IS FOR BLOCK A1 DSUP SUBMISSION ONLY. ALL OTHER INFORMATION IS SHOWN FOR REFERENCE ONLY.

SYMBOL	NOTES	QTY
	GROUND LEVEL OPEN SPACE PROVIDED IN THIS SUBMISSION	13,602 SF
	ROOF TOP OPEN SPACE PROVIDED IN THIS SUBMISSION	0 SF

SYMBOL	NOTES
	FUTURE BLOCK TO BE DEVELOPED



APPROVED
SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

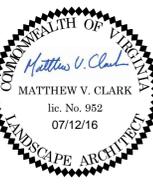
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

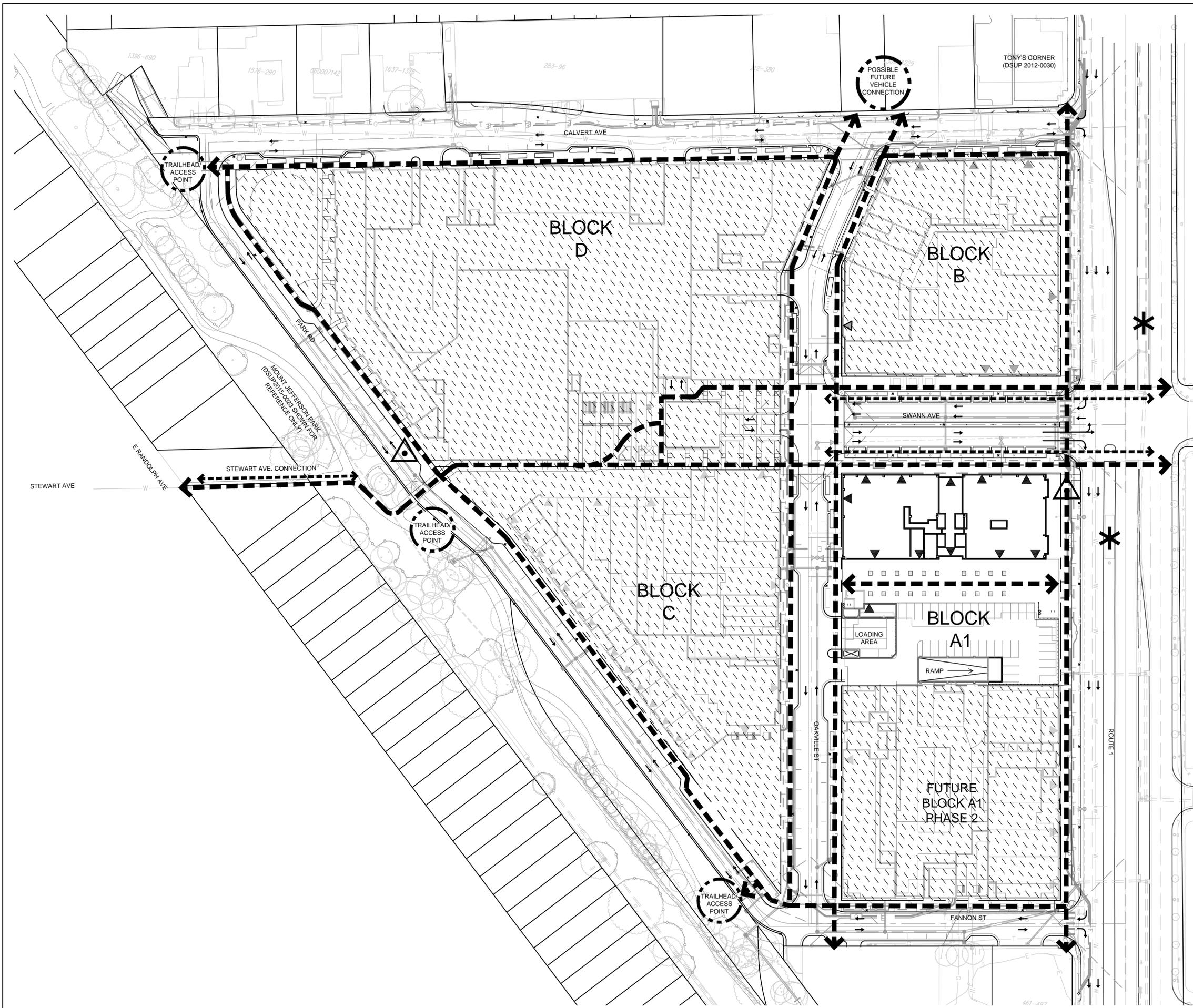
LandDesign
200 S. Peyton St., Alexandria, VA 22314
V: 703.549.7784 F: 703.549.4984
www.LandDesign.com



OAKVILLE
BLOCK A1 - DSUP SUBMISSION
StonebridgeCarras, City of Alexandria, VA
OPEN SPACE EXHIBIT

REVISIONS:

DATE: 07/13/16
DESIGNED BY: GC
DRAWN BY: MB/LB
CHECKED BY: MC
SCALE: 1/8" = 1'-0"
PROJECT #: 2016023
SHEET NUMBER:
LI.2

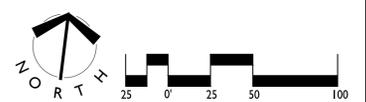


LEGEND

SYMBOL	NOTES
	DIRECTION OF EXISTING & PROPOSED TRAFFIC FLOW
	PEDESTRIAN CIRCULATION
	BIKE CIRCULATION
	BUILDING ENTRY
	BUS STOP ON TRANSIT LINE
	CAPITAL BIKESHARE LOCATION

- NOTES:
- BIKE ROUTE SIGNAGE LOCATIONS WILL BE COORDINATED IN FUTURE SUBMISSIONS. BIKE ROUTE SIGNAGE WILL BE CONSISTENT WITH CITY OF ALEXANDRIA WAYFINDING PLAN.
 - THIS PLAN IS FOR BLOCK A1 DSUP SUBMISSION ONLY. ALL OTHER INFORMATION IS SHOWN FOR REFERENCE ONLY.

SYMBOL	NOTES
	FUTURE BLOCK TO BE DEVELOPED



APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

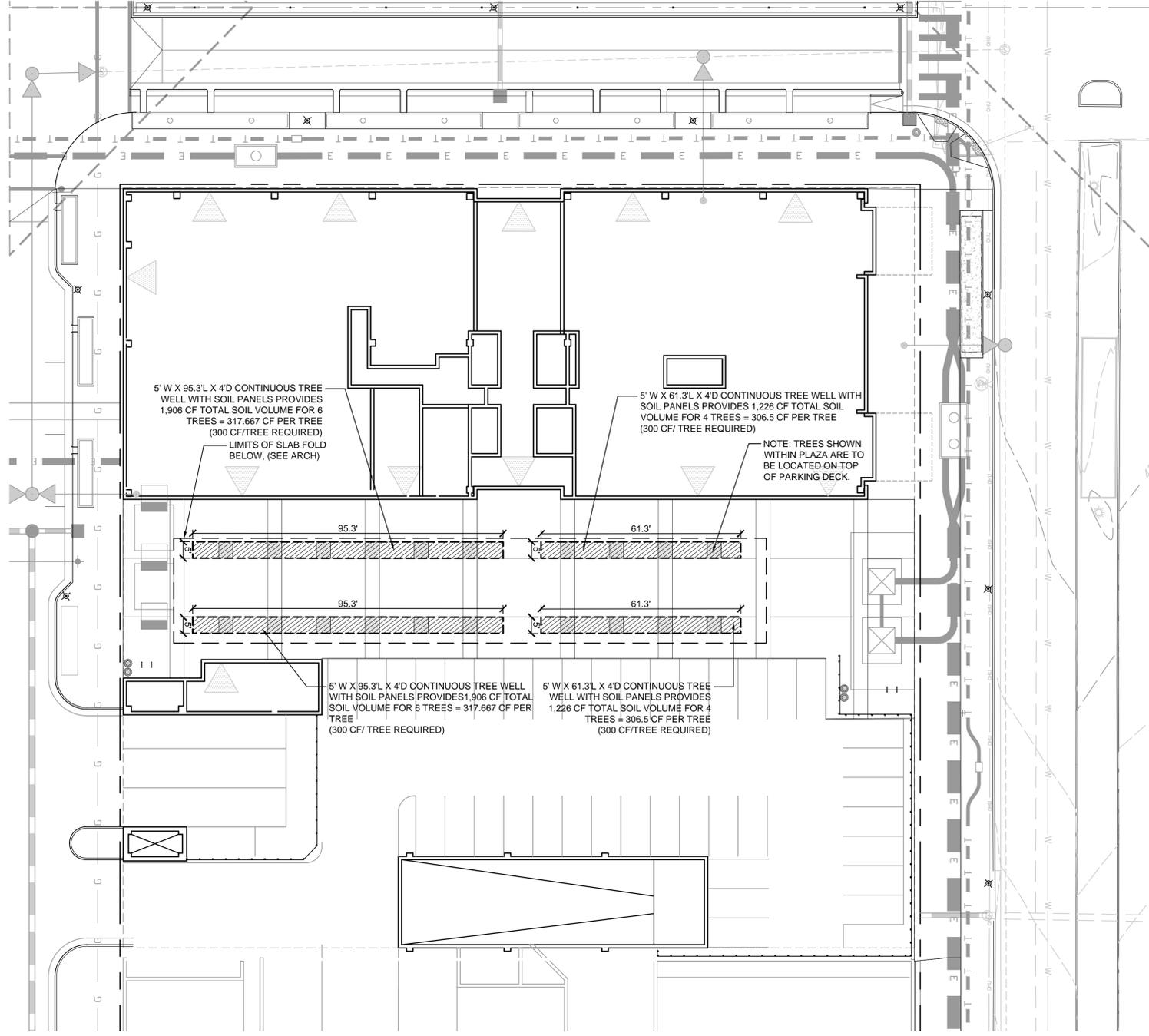
LandDesign.
200 S. Peyton St., Alexandria, VA 22314
V: 703.549.7784 F: 703.549.4984
www.LandDesign.com



OAKVILLE
BLOCK A1 - DSUP SUBMISSION
StonebridgeCarras, City of Alexandria, VA
CIRCULATION EXHIBIT

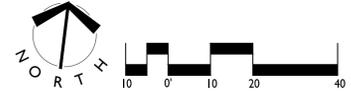
REVISIONS:

DATE: 07/13/16
DESIGNED BY: GC
DRAWN BY: MB/LB
CHECKED BY: MC
SCALE: 1"=100'
PROJECT #: 2016023
SHEET NUMBER:
L1.3



LEGEND
 LIMITS OF UNCOMPACTED SOIL VOLUME IN TREE WELLS

- NOTES:**
- SEE SHEET L4.4 FOR ADDITIONAL TREE PIT DETAILS.
 - THIS PLAN IS FOR BLOCK A DSUP SUBMISSION ONLY. ALL OTHER INFORMATION IS SHOWN FOR REFERENCE ONLY.



APPROVED
 SPECIAL USE PERMIT NO. _____
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

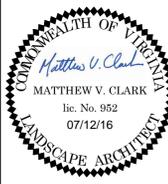
DATE RECORDED _____

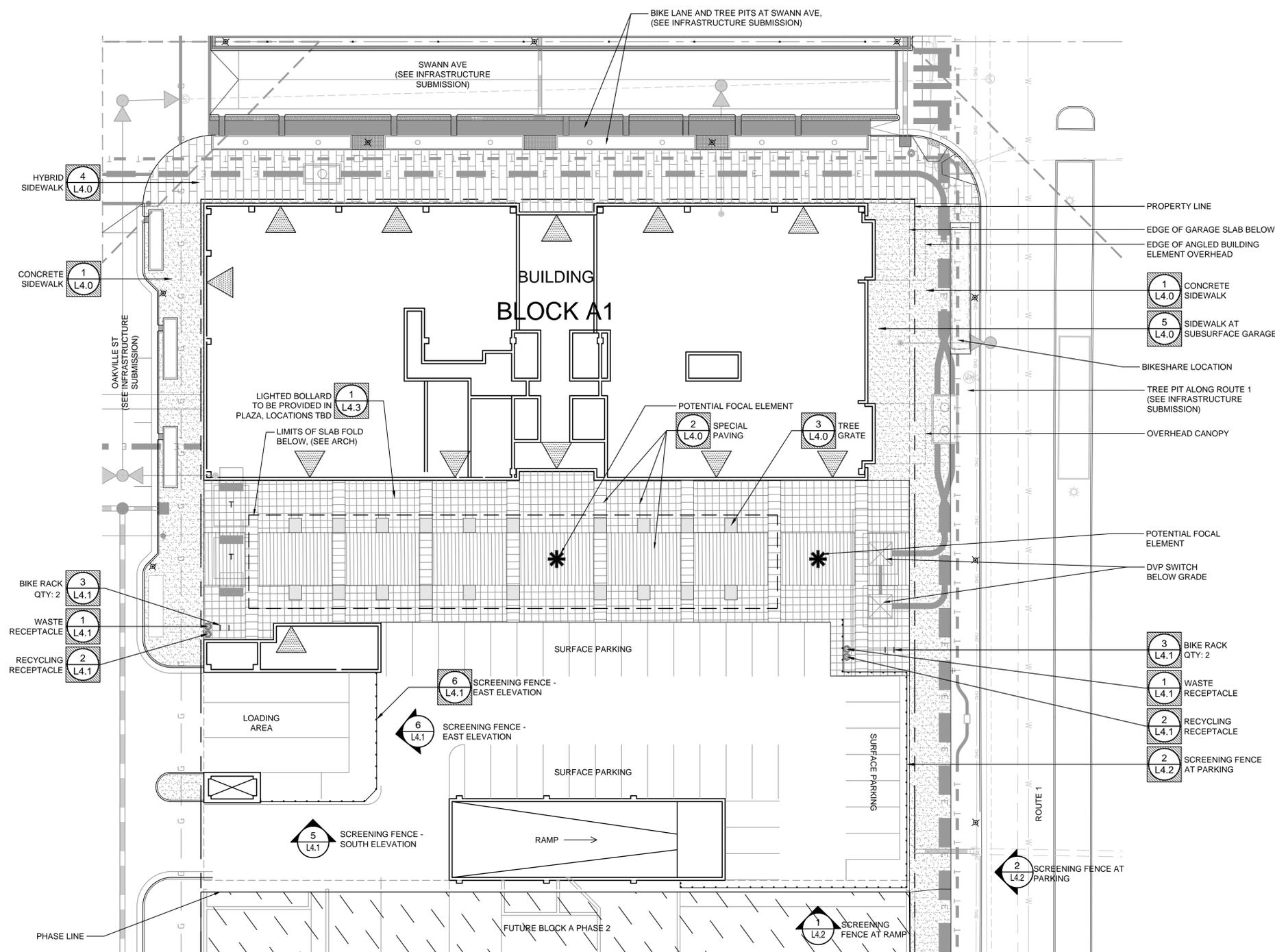
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OAKVILLE
BLOCK A1 - DSUP SUBMISSION
 StonebridgeCarras, City of Alexandria, VA
SOIL VOLUME EXHIBIT

REVISIONS:

DATE: 07/13/16
 DESIGNED BY: GC
 DRAWN BY: MB/LB
 CHECKED BY: MC
 C.D. BY: JLD
 PROJECT #: 2016023
 SHEET NUMBER:
L1.4

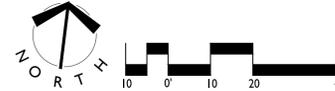




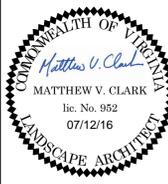
- BUILDING ENTRANCE
- TRANSFORMER
- WASTE / RECYCLING RECEPTACLES
- POTENTIAL FOCAL ELEMENT
- STREETLIGHT
- BIKE RACK

SYMBOL	NOTES
	FUTURE BLOCK TO BE DEVELOPED

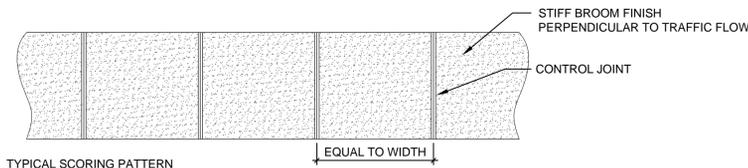
- NOTES:
- SPECIAL PAVING SELECTIONS TBD AT FINAL DESIGN.
 - SWANN AVE AND OAKVILLE INTERSECTION TO BE FLUSH CONDITION WITH ADJOINING SIDEWALK.
 - THIS PLAN IS FOR BLOCK A1 DSUP SUBMISSION ONLY. ALL OTHER INFORMATION IS SHOWN FOR REFERENCE ONLY.



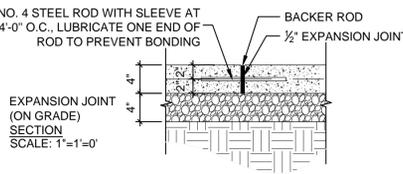
APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR	_____ DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
_____ DIRECTOR	_____ DATE	
CHAIRMAN, PLANNING COMMISSION		
_____ DATE RECORDED	_____ DEED BOOK NO.	_____ PAGE NO.



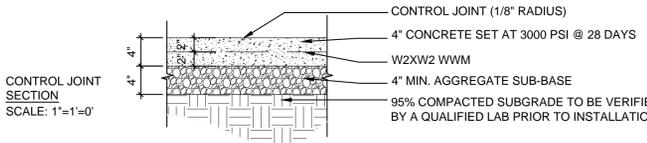
**OAKVILLE
 BLOCK A1 - DSUP SUBMISSION**
 StonebridgeCarras, City of Alexandria, VA
MATERIALS PLAN



TYPICAL SCORING PATTERN
SCALE: 1/4"=1'-0"



EXPANSION JOINT (ON GRADE) SECTION
SCALE: 1"=1'-0"

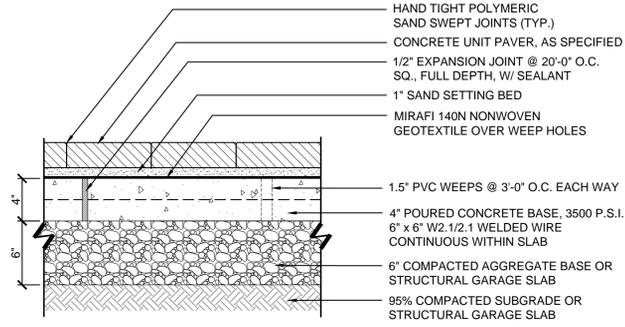


CONTROL JOINT SECTION
SCALE: 1"=1'-0"

- NOTES:
1. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE, AND LOCAL BUILDING CODES.
 2. PRIOR TO CONSTRUCTION, ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL AND/OR GEOTECHNICAL ENGINEER, AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. PROVIDE 1/2" BIT. EXPANSION JOINTS @ 15' O.C. AND WHEN CONCRETE ABUTS A RIGID SURFACE (I.E. WALLS, CURBS, OR A CHANGE OF MATERIALS).
 4. CONTROL JOINTS SHALL BE NO WIDER THAN 5' APART.

1 CONCRETE SIDEWALK

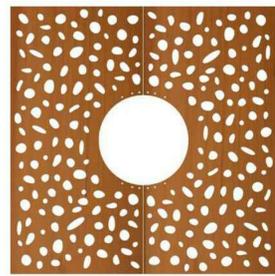
L4.0 SCHEMATIC PLAN / SECTION AS NOTED



CONCRETE UNIT PAVER
FINAL SIZE, COLOR, AND LAYING
PATTERN TBD

2 SPECIAL PAVING - PEDESTRIAN RATED

L4.0 SECTION/PICTORIAL 1-1/2"=1'-0"



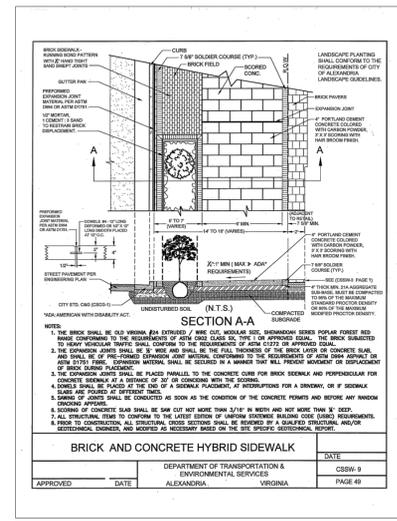
CORTEN TREE GRID PEBBLES SQUARE
MODEL: PEBBLES
DIMENSIONS: 59" X 59"

MANUFACTURER:
STREETLIFE
OUDE SINGEL 144
2312 RG LEIDEN, THE NETHERLANDS
PH: 31(0)71 524 68 46
www.streetlife.nl

- NOTES:
1. OR APPROVED EQUAL
 2. INSTALL PER MANUFACTURER'S INSTRUCTIONS

3 TREE GRATE

L4.0 PICTORIAL NTS

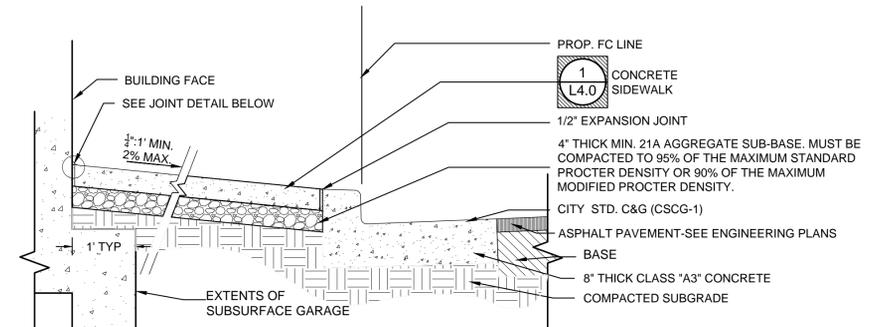


BRICK AND CONCRETE HYBRID SIDEWALK

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
ALEXANDRIA, VIRGINIA
PAGE 49

4 HYBRID SIDEWALK

L4.0 DETAIL NTS



SIDWALK AT SUBSURFACE GARAGE

5 SIDEWALK AT SUBSURFACE GARAGE

L4.0 TYP. SECTION 3/4"=1'-0"

- NOTES:
1. ALL STRUCTURAL ITEMS TO CONFORM TO 2009 IBC REQUIREMENTS.
 2. PRIOR TO CONSTRUCTION ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL AND/OR GEOTECHNICAL ENGINEER, AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. SEALANT SHALL BE ASTM C920 (CURRENT STANDARD), TYPE M, GRADE NS, CLASS USE T1.
 4. CONTRACTOR SHALL CLEAN THE SUBSTRATES FREE OF OIL AND WATER WITH COMPRESSED AIR, OR BRUSHING, SAND BLASTING, GRINDING, OR SAWING AND APPLY PRIMER PER THE RECOMMENDATIONS OF THE SEALANTS MANUFACTURER.
 5. SEALANT MUST BE INSTALLED PER ASTM C1193, AS MODIFIED.

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED _____		DATE _____
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____



WASTE RECEPTACLE MODEL:
IRONSITES MODEL NUMBER SD-42
 (36 GAL.)
 LID: DOME LID
 FRAME COLOR: BLACK

SUPPLIER:
 VICTOR STANLEY INC.
 P.O. BOX DRAWER 330
 DUNKIRK, MARYLAND 20754
 PH: (301) 855-8300
 PH: (800) 368-2573

- NOTES:**
1. RECEPTACLE TO BE MOUNTED IN GROUND PER MANUFACTURERS INSTRUCTIONS.
 2. SEE PLAN FOR QUANTITY AND LOCATIONS.
 3. USE TAMPER RESISTANT HARDWARE.

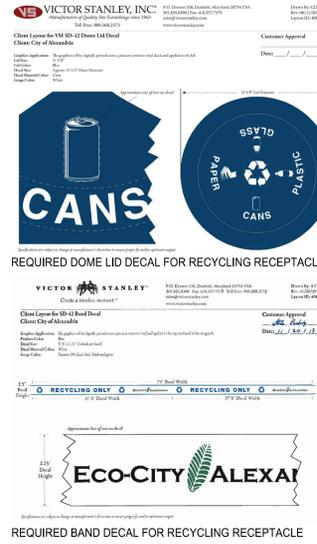


RECYCLING RECEPTACLE MODEL:
IRONSITES MODEL NUMBER SD-42
 (36 GAL.)
 LID: DOME LID
 FRAME COLOR: BLACK
 FRAME COLOR: BLUE
 CITY OF ALEXANDRIA STANDARD DECALS:

- DOME LID: SEE VICTOR STANLEY, LAYOUT ID 4088-02A
- BAND: SEE VICTOR STANLEY, LAYOUT ID 4088-01E

SUPPLIER:
 VICTOR STANLEY INC.
 P.O. BOX DRAWER 330
 DUNKIRK, MARYLAND 20754
 PH: (301) 855-8300
 PH: (800) 368-2573

- NOTES:**
1. RECEPTACLE TO BE MOUNTED IN GROUND PER MANUFACTURERS INSTRUCTIONS.
 2. SEE PLAN FOR QUANTITY AND LOCATIONS.
 3. USE TAMPER RESISTANT HARDWARE.
 4. RECYCLING RECEPTACLES TO INCLUDE CITY OF ALEXANDRIA STANDARD DECALS AS NOTED.



REQUIRED DOME LID DECAL FOR RECYCLING RECEPTACLE

REQUIRED BAND DECAL FOR RECYCLING RECEPTACLE



35: LOOP BIKE RACK
 COLOR: POWDERCOATED METAL STORMCLOUD
 SURFACE MOUNT

MANUFACTURER:
 LANDSCAPE FORMS
 431 LAWDALE AVE
 KALAMAZOO, MI 49048
 PH: 800-430-6209
 www.landscapeforms.com

- NOTES:**
1. OR APPROVED EQUAL
 2. SEE MATERIALS PLAN FOR LOCATION AND QUANTITY
 3. INSTALL PER MANUFACTURERS INSTRUCTIONS
 4. SEE C101 FOR BIKE PARKING TABULATION REQUIREMENTS

1 WASTE RECEPTACLE

L4.1 PICTORIAL

05F-422

NTS

2 RECYCLING RECEPTACLE

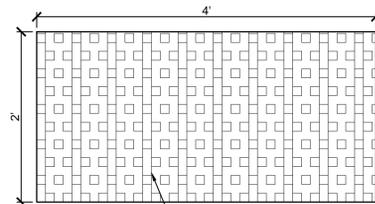
L4.1 PICTORIAL

NTS

3 BIKE RACK

L4.1 PICTORIAL

NTS



MODULAR DECORATIVE SCREEN PANEL
 PANEL PATTERN DESIGN: TBD
 SIZE: 4' L X 2' W X 5/16" D
 COLOR: TBD
 PRIVACY OPACITY: 90%

PANELS BY:
 OUTDECO
 6300 YARROW DRIVE
 SUITE 101
 CARLSBAD, CA 92011
 PHONE: (760) 444-4193
 EMAIL: INFO@OUTDECOUSA.COM

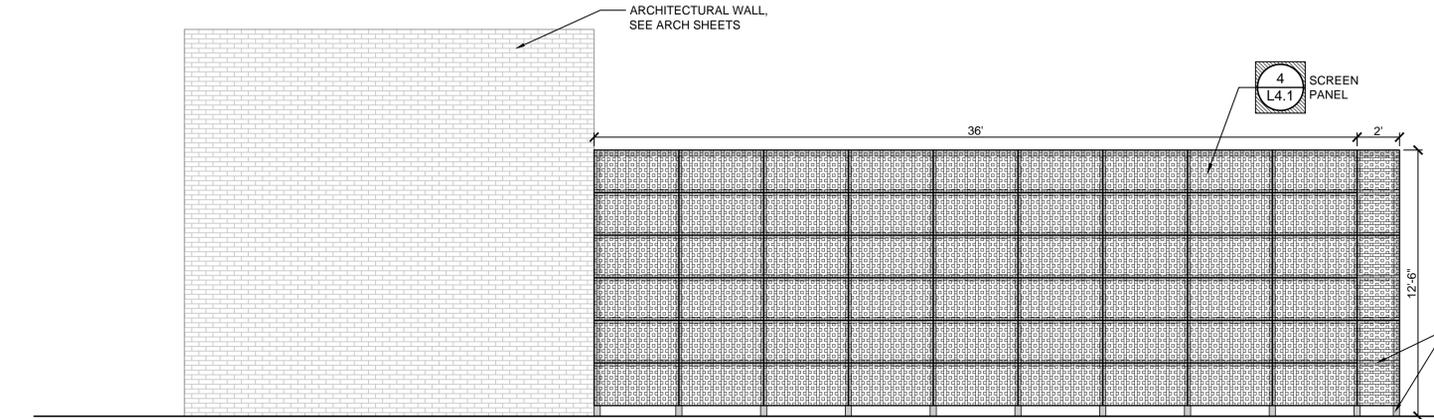
- NOTES:**
1. OR APPROVED EQUAL
 2. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

PATTERN FOR REPRESENTATION ONLY. FINAL PATTERN DESIGN TBD.

5 SCREENING FENCE - SOUTH ELEVATION

L4.1 ELEVATION

1/4" = 1'-0"

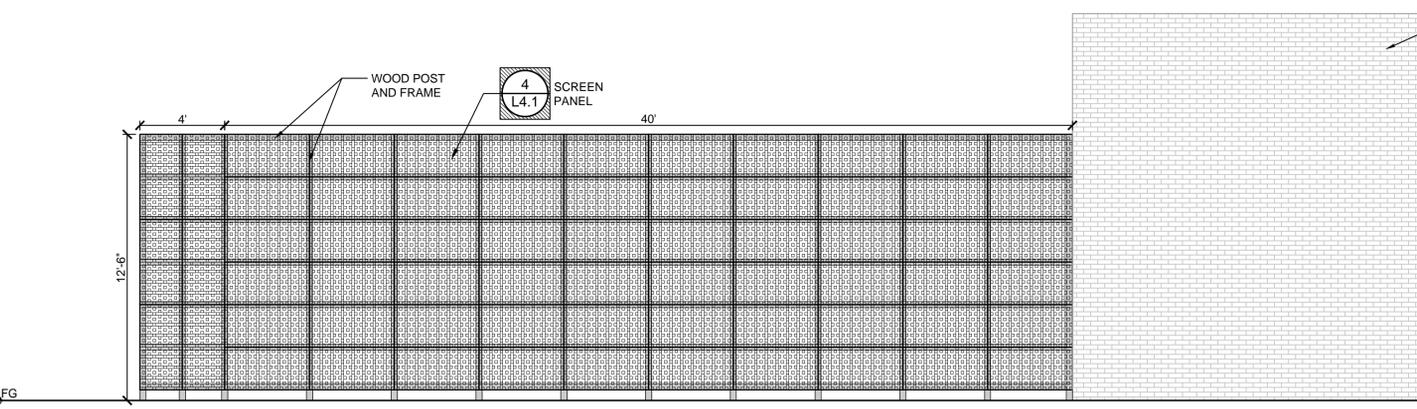


- NOTES:**
1. OR APPROVED EQUAL
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
 4. THIS DETAIL IS SCHEMATIC ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

4 SCREEN PANEL

L4.1 DETAIL

1" = 1'-0"



- NOTES:**
1. OR APPROVED EQUAL
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
 4. THIS DETAIL IS SCHEMATIC ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

6 SCREENING FENCE - EAST ELEVATION

L4.1 ELEVATION

1/4" = 1'-0"

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

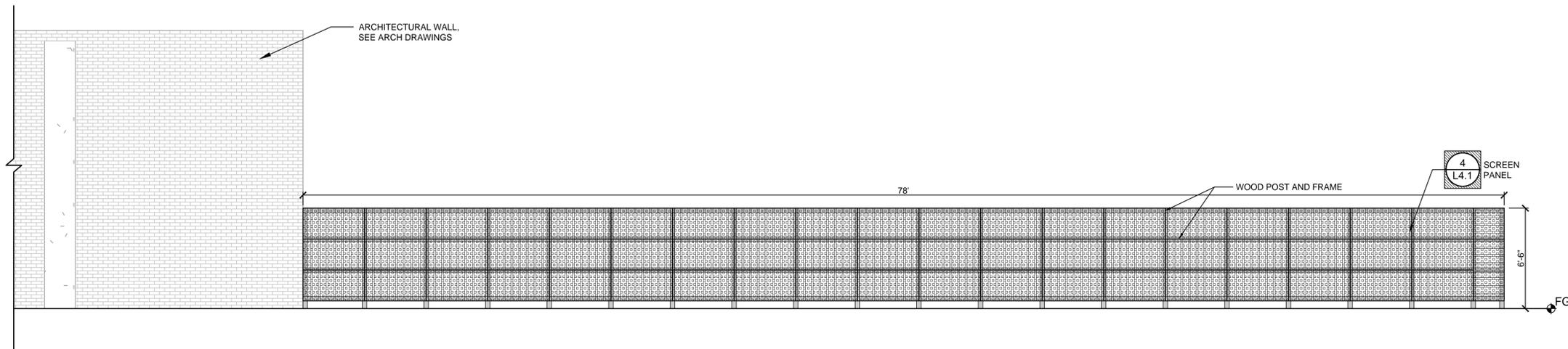
OAKVILLE
BLOCK A1 - DSUP SUBMISSION
 StonebridgeCarras, City of Alexandria, VA
HARDSCAPE DETAILS - SITE FURNISHINGS

REVISIONS:

DATE: 07/13/16
 DESIGNED BY: GC
 DRAWN BY: MBLB
 CHECKED BY: MC
 C.C. BY: EC
 PROJECT #: 2016023
 SHEET NUMBER:
L4.1

LandDesign
 200 S. Peyton St., Alexandria, VA 22314
 V: 703.549.7784 F: 703.549.4984
 www.LandDesign.com

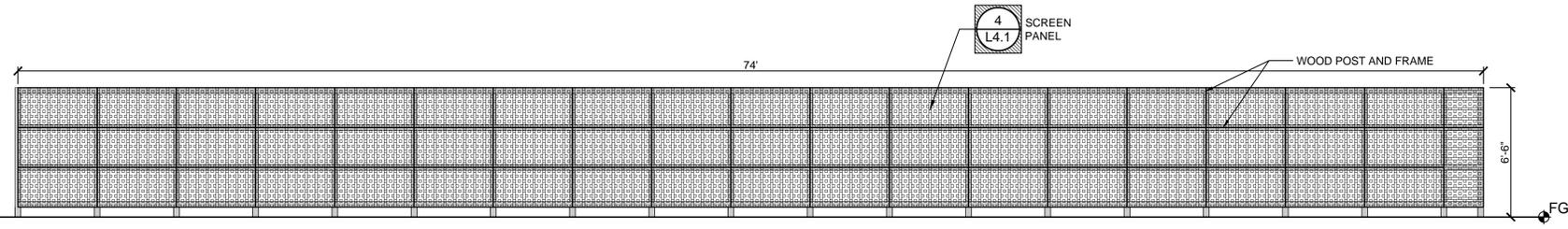




1 SCREENING FENCE AT RAMP
L4.2 ELEVATION

- NOTES:
1. OR APPROVED EQUAL.
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
 4. THIS DETAIL IS SCHEMATIC ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

1/4" = 1'-0"



2 SCREENING FENCE AT PARKING
L4.2 ELEVATION

- NOTES:
1. OR APPROVED EQUAL.
 2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
 3. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
 4. THIS DETAIL IS SCHEMATIC ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

1/4" = 1'-0"

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION _____		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____



35: GUIDE ILLUMINATED BOLLARD
 COLOR: POWDERCOATED METAL STORMCLOUD
 SURFACE MOUNT WITH LED LIGHTING
 POWER SUPPLY: 100V-277V

MANUFACTURER:
 LANDSCAPE FORMS
 431 LAWDALE AVE
 KALAMAZOO, MI 49048
 PH: 800-430-6209
 www.landscapeforms.com

- NOTES:
1. OR APPROVED EQUAL
 2. SEE MATERIALS PLAN FOR LOCATION AND QUANTITY
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT
 4. INSTALL PER MANUFACTURERS INSTRUCTIONS

1 LIGHTED BOLLARD
 L4.3 PICTORAL

NTS

APPROVED		
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DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR	_____ DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
_____ DIRECTOR	_____ DATE	
CHAIRMAN, PLANNING COMMISSION		
_____ DATE RECORDED	_____ DATE	
_____ INSTRUMENT NO.	_____ DEED BOOK NO.	_____ PAGE NO.

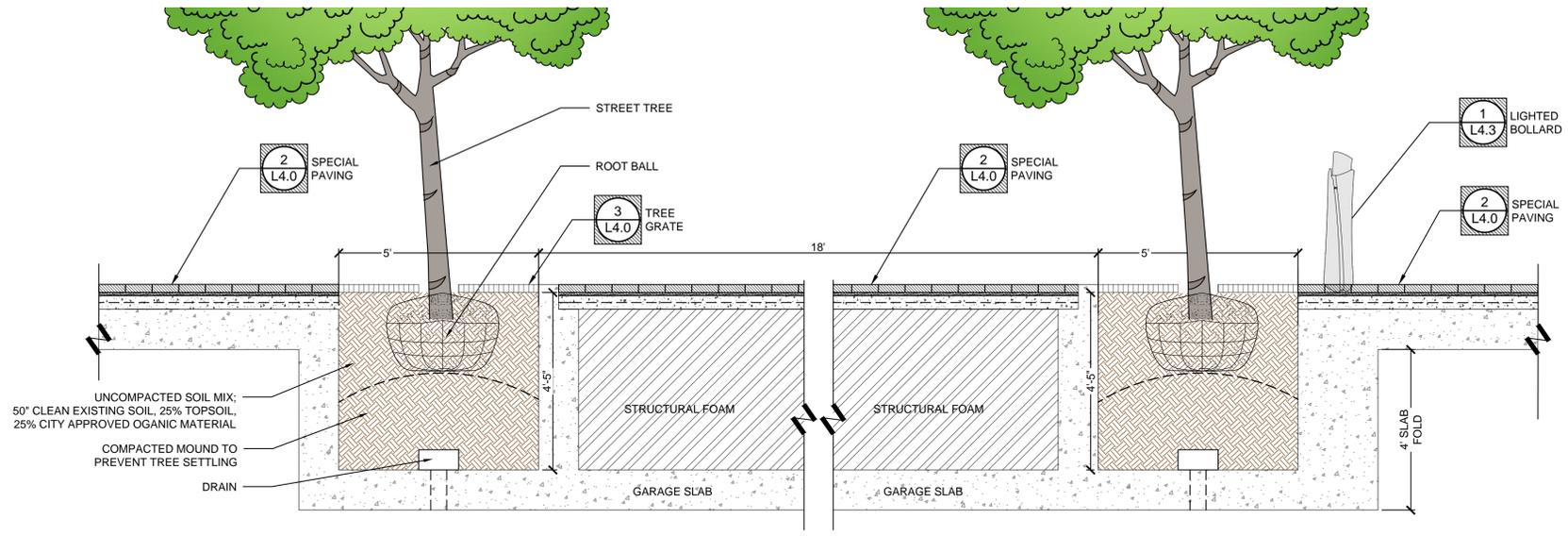
OAKVILLE
BLOCK A1 - DSUP SUBMISSION
 StonebridgeCarras, City of Alexandria, VA
HARDSCAPE DETAILS - LIGHTING

REVISIONS:

DATE: 07/13/16
 DESIGNED BY: GC
 DRAWN BY: MB/LB
 CHECKED BY: MC
 CAL BY: GC
 PROJECT # 2016023
 SHEET NUMBER:
L4.3



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1 BLOCK A1 PLAZA
L4.5 SECTION

NOTE: PRELIMINARY SECTION SUBJECT TO CHANGE

1/2" = 1'-0"

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REVISIONS:

DATE: 07/13/16
DESIGNED BY: GC
DRAWN BY: MB/LB
CHECKED BY: MC
SCALE: AS SHOWN
PROJECT #: 2016023
SHEET NUMBER:
L4.4

PLANT SCHEDULE

TREES	CCA	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT.	REMARKS
	7,500	GBAG	20	GINKGO BILOBA 'AUTUMN GOLD' TM / MAIDENHAIR TREE	B & B	2'-2 1/2'	12'-14'	MALE ONLY. ON STRUCTURE: 375 SF. CCA/TREE (ON STRUCTURE = 1/2 CREDIT)
TOTAL CCA:				7,500 SF				

CROWN COVERAGE ALLOWANCE (CCA) CALCULATIONS

A. OAKVILLE SITE CROWN COVERAGE CALCULATION

TOTAL SITE AREA (Excluding Public ROW): 469,809 SF. (10.785 AC.)
CCA REQUIRED (25%): 117,453 SF.

B. OAKVILLE BLOCK A PHASE 1 CCA TABULATION

BLOCK A PHASE 1 - ON GRADE:
 0 LARGE SHADE TREES (1,250 SF) = 0 SF
 0 MEDIUM SHADE TREES (750 SF) = 0 SF
 0 MEDIUM ORNAMENTAL AND EVERGREEN TREES (500 SF) = 0 SF
 0 SMALL ORNAMENTAL AND EVERGREEN TREES (250 SF) = 0 SF
 0 SHRUBS (2 SF) = 0 SF
TOTAL: 0 SF

BLOCK PHASE 1 - ON STRUCTURE (PLANTING ON STRUCTURE COUNTS FOR 1/2 CCA):
 0 LARGE SHADE TREES (625 SF) = 0 SF
 20 MEDIUM SHADE TREES (375 SF) = 7,500 SF
 0 MEDIUM ORNAMENTAL AND EVERGREEN TREES (250 SF) = 0 SF
 0 SMALL ORNAMENTAL AND EVERGREEN TREES (125 SF) = 0 SF
 0 SHRUBS (1 SF) = 0 SF
TOTAL: 7,500 SF

C. OAKVILLE SITE CROWN COVERAGE ALLOWANCE (CCA) SUMMARY

(NOTE: To be included/updated on each individual block DSUP submission)

TOTAL REQUIRED CCA (BLOCKS A-D): 117,453 SF. (25%)

BLOCK	CCA PROVIDED
BLOCK A - Phase 1	7,500 SF (1.9%)
BLOCK A - Phase 2	TBD
BLOCK B	TBD
BLOCK C	TBD
BLOCK D	TBD
TOTAL PROVIDED OPEN SPACE	7,500 SF.

NOTES:

- CCA DOES NOT INCLUDE ANY PLANTING WITHIN RAISED TERRACES.

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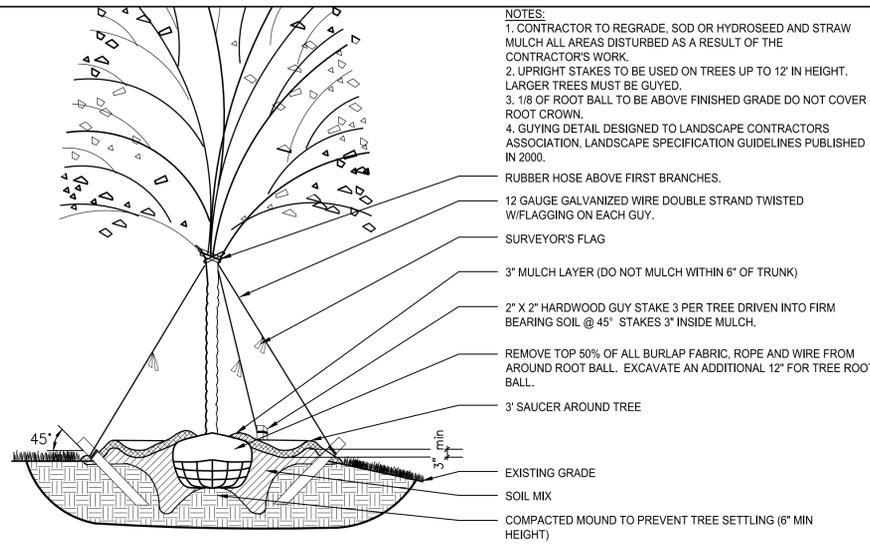
OAKVILLE
BLOCK A1 - DSUP SUBMISSION
 StonebridgeCarras, City of Alexandria, VA
PLANT SCHEDULE

REVISIONS:

DATE: 07/13/16
 DESIGNED BY: GC
 DRAWN BY: MB/LB
 CHECKED BY: MC
 C.C. BY: MB
 PROJECT #: 2016023
 SHEET NUMBER:
L6.0

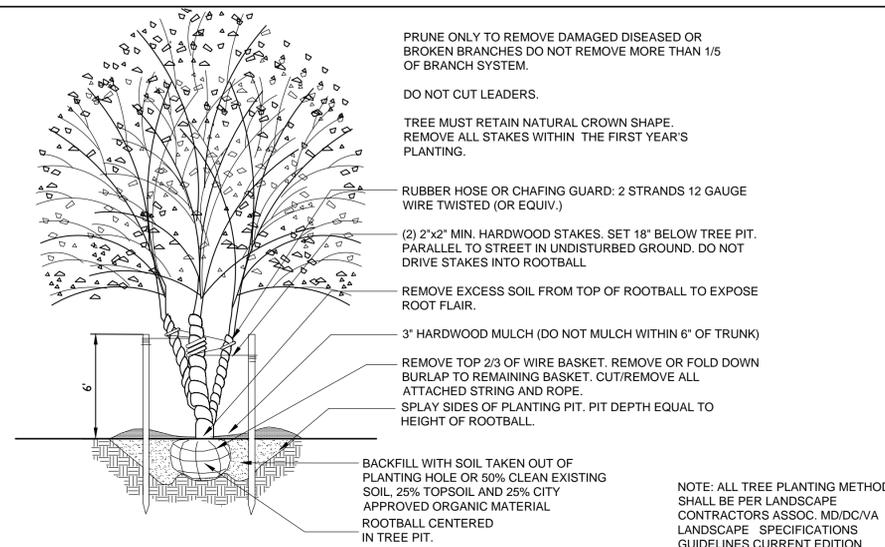


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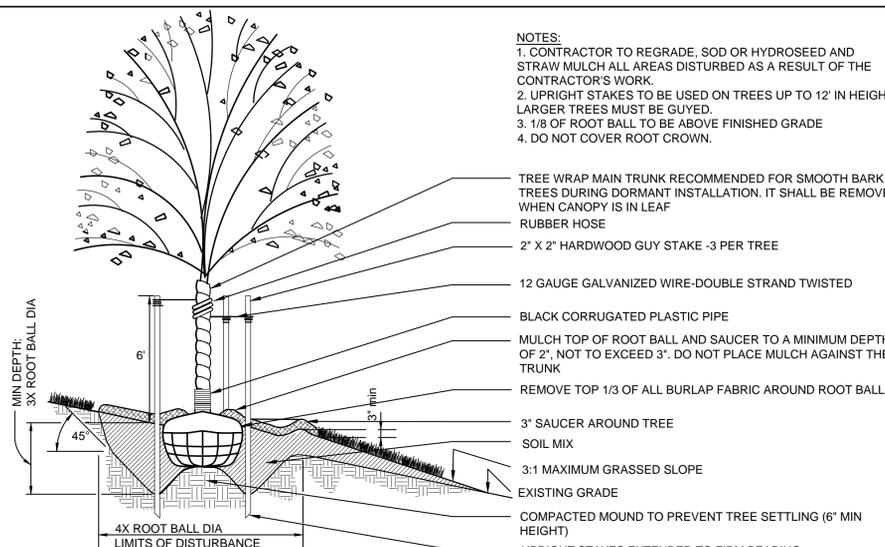
- NOTES:**
 1. CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THE CONTRACTOR'S WORK.
 2. UPRIGHT STAKES TO BE USED ON TREES UP TO 12' IN HEIGHT. LARGER TREES MUST BE GUYED.
 3. 1/8 OF ROOT BALL TO BE ABOVE FINISHED GRADE DO NOT COVER ROOT CROWN.
 4. GUYING DETAIL DESIGNED TO LANDSCAPE CONTRACTORS ASSOCIATION, LANDSCAPE SPECIFICATION GUIDELINES PUBLISHED IN 2000.
- RUBBER HOSE ABOVE FIRST BRANCHES.
 - 12 GAUGE GALVANIZED WIRE DOUBLE STRAND TWISTED W/FLAGGING ON EACH GUY.
 - SURVEYOR'S FLAG
 - 3" MULCH LAYER (DO NOT MULCH WITHIN 6" OF TRUNK)
 - 2" X 2" HARDWOOD GUY STAKE 3 PER TREE DRIVEN INTO FIRM BEARING SOIL @ 45° STAKES 3" INSIDE MULCH.
 - REMOVE TOP 50% OF ALL BURLAP FABRIC, ROPE AND WIRE FROM AROUND ROOT BALL. EXCAVATE AN ADDITIONAL 12" FOR TREE ROOT BALL.
 - 3" SAUCER AROUND TREE
 - EXISTING GRADE
 - SOIL MIX
 - COMPACTED MOUND TO PREVENT TREE SETTLING (6" MIN HEIGHT)

1 STANDARD DECIDUOUS TREE PLANTING 08A-003
 L7.0 SECTION NTS



- NOTES:**
 PRUNE ONLY TO REMOVE DAMAGED DISEASED OR BROKEN BRANCHES DO NOT REMOVE MORE THAN 1/5 OF BRANCH SYSTEM.
 DO NOT CUT LEADERS.
 TREE MUST RETAIN NATURAL CROWN SHAPE. REMOVE ALL STAKES WITHIN THE FIRST YEAR'S PLANTING.
- RUBBER HOSE OR CHAFING GUARD: 2 STRANDS 12 GAUGE WIRE TWISTED (OR EQUIV.)
 - (2) 2" X 2" MIN. HARDWOOD STAKES SET 18" BELOW TREE PIT. PARALLEL TO STREET IN UNDISTURBED GROUND. DO NOT DRIVE STAKES INTO ROOTBALL.
 - REMOVE EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLAIR.
 - 3" HARDWOOD MULCH (DO NOT MULCH WITHIN 6" OF TRUNK)
 - REMOVE TOP 2/3 OF WIRE BASKET. REMOVE OR FOLD DOWN BURLAP TO REMAINING BASKET. CUT/REMOVE ALL ATTACHED STRING AND ROPE.
 - SPLAY SIDES OF PLANTING PIT. PIT DEPTH EQUAL TO HEIGHT OF ROOTBALL.
 - BACKFILL WITH SOIL TAKEN OUT OF PLANTING HOLE OR 50% CLEAN EXISTING SOIL, 25% TOPSOIL AND 25% CITY APPROVED ORGANIC MATERIAL
 - ROOTBALL CENTERED IN TREE PIT.
- NOTE:** ALL TREE PLANTING METHODS SHALL BE PER LANDSCAPE CONTRACTORS ASSOC. M/D/DC/VA LANDSCAPE SPECIFICATIONS GUIDELINES CURRENT EDITION

2 MULTI TRUNK TREE PLANTING 08A-144
 L7.0 SECTION NTS



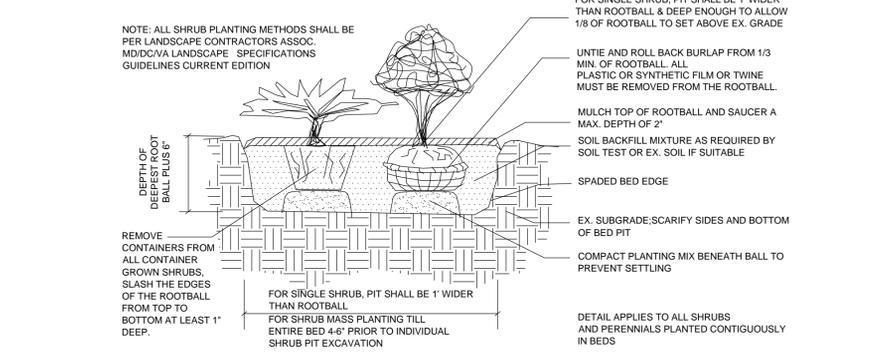
- NOTES:**
 1. CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THE CONTRACTOR'S WORK.
 2. UPRIGHT STAKES TO BE USED ON TREES UP TO 12' IN HEIGHT. LARGER TREES MUST BE GUYED.
 3. 1/8 OF ROOT BALL TO BE ABOVE FINISHED GRADE
 4. DO NOT COVER ROOT CROWN.
- TREE WRAP MAIN TRUNK RECOMMENDED FOR SMOOTH BARK TREES DURING DORMANT INSTALLATION. IT SHALL BE REMOVED WHEN CANOPY IS IN LEAF
 - RUBBER HOSE
 - 2" X 2" HARDWOOD GUY STAKE -3 PER TREE
 - 12 GAUGE GALVANIZED WIRE-DOUBLE STRAND TWISTED
 - BLACK CORRUGATED PLASTIC PIPE
 - MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2". NOT TO EXCEED 3". DO NOT PLACE MULCH AGAINST THE TRUNK
 - REMOVE TOP 1/3 OF ALL BURLAP FABRIC AROUND ROOT BALL
 - 3" SAUCER AROUND TREE
 - SOIL MIX
 - 3:1 MAXIMUM GRASSED SLOPE
 - EXISTING GRADE
 - COMPACTED MOUND TO PREVENT TREE SETTLING (6" MIN HEIGHT)
 - UPRIGHT STAKES EXTENDED TO FIRM BEARING

3 TREE PLANTING ON A SLOPE 08A-144
 L7.0 SECTION NTS

PLANT SPACING CHART

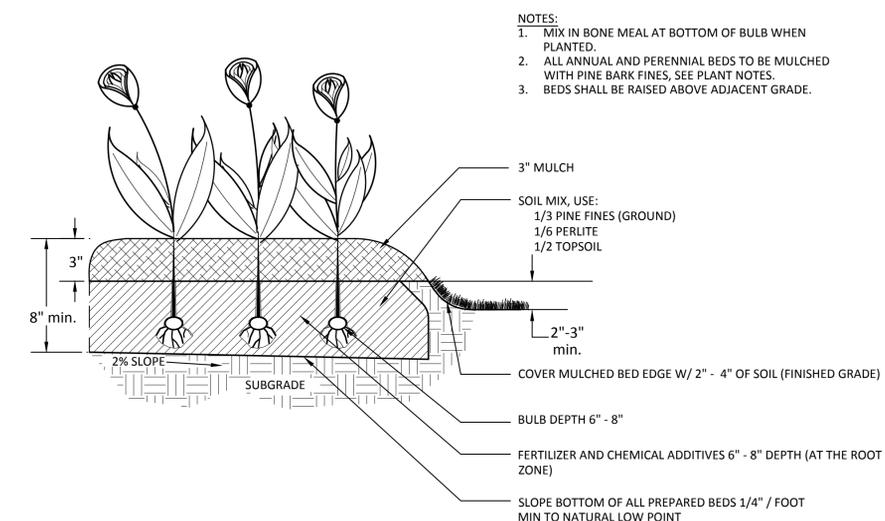
ROWS "A"	SPACING "D"	ROW "A"	PLANTS / S.F.
+	6" O.C.	5.20' O.C.	4.61
+	8" O.C.	6.95' O.C.	2.60
+	10" O.C.	8.66' O.C.	1.66
+	12" O.C.	10.40' O.C.	1.15
+	15" O.C.	13.00' O.C.	0.73
+	18" O.C.	15.60' O.C.	0.51
+	24" O.C.	20.80' O.C.	0.29

4 TRIANGULAR SPACING FOR SHRUBS AND GROUNDCOVERS 08A-233
 L7.0 PLAN N.T.S.



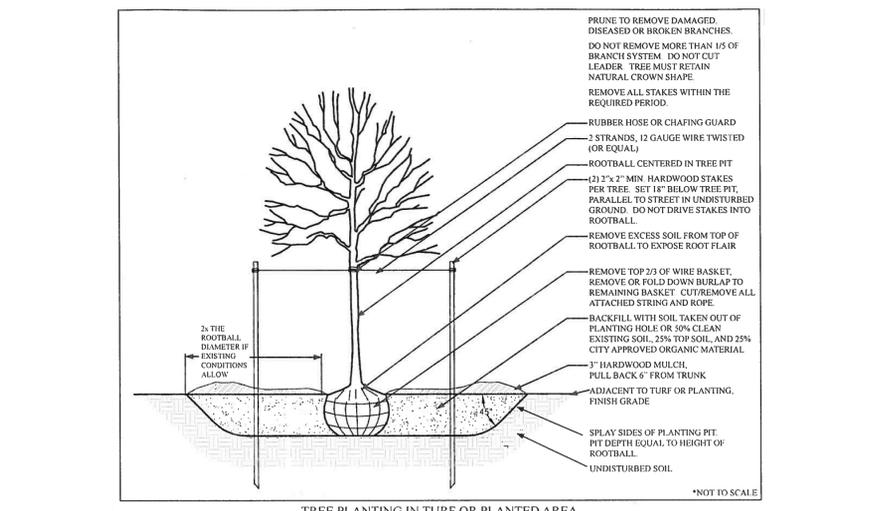
- NOTE:** ALL SHRUB PLANTING METHODS SHALL BE PER LANDSCAPE CONTRACTORS ASSOC. M/D/DC/VA LANDSCAPE SPECIFICATIONS GUIDELINES CURRENT EDITION
- FOR SINGLE SHRUB, PIT SHALL BE 1" WIDER THAN ROOTBALL & DEEP ENOUGH TO ALLOW 1/8 OF ROOTBALL TO SET ABOVE EX. GRADE
 - UNTIE AND ROLL BACK BURLAP FROM 1/3 MIN. OF ROOTBALL. ALL PLASTIC OR SYNTHETIC FILM OR TWINE MUST BE REMOVED FROM THE ROOTBALL
 - MULCH TOP OF ROOTBALL AND SAUCER A MAX. DEPTH OF 2"
 - SOIL BACKFILL MIXTURE AS REQUIRED BY SOIL TEST OR EX. SOIL IF SUITABLE
 - SPADED BED EDGE
 - EX. SUBGRADE-SCARIFY SIDES AND BOTTOM OF BED PIT
 - COMPACT PLANTING MIX BENEATH BALL TO PREVENT SETTLING
 - REMOVE CONTAINERS FROM ALL CONTAINER GROWN SHRUBS. SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM AT LEAST 1" DEEP.
 - FOR SINGLE SHRUB, PIT SHALL BE 1" WIDER THAN ROOTBALL
 - FOR SHRUB MASS PLANTING TILL ENTIRE BED 4-6" PRIOR TO INDIVIDUAL SHRUB PIT EXCAVATION
 - DETAIL APPLIES TO ALL SHRUBS AND PERENNIALS PLANTED CONTIGUOUSLY IN BEDS

5 SHRUB PLANTING BED 08A-145
 L7.0 SECTION NTS



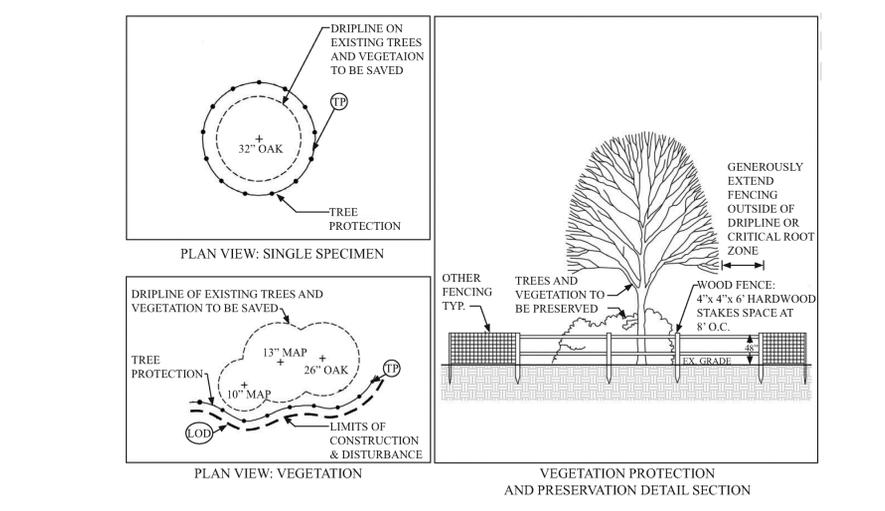
- NOTES:**
 1. MIX IN BONE MEAL AT BOTTOM OF BULB WHEN PLANTED.
 2. ALL ANNUAL AND PERENNIAL BEDS TO BE MULCHED WITH PINE BARK FINES, SEE PLANT NOTES.
 3. BEDS SHALL BE RAISED ABOVE ADJACENT GRADE.
- 3" MULCH
 - SOIL MIX, USE:
 1/3 PINE FINES (GROUND)
 1/6 PERLITE
 1/2 TOPSOIL
 - COVER MULCHED BED EDGE W/ 2" - 4" OF SOIL (FINISHED GRADE)
 - BULB DEPTH 6" - 8"
 - FERTILIZER AND CHEMICAL ADDITIVES 6" - 8" DEPTH (AT THE ROOT ZONE)
 - SLOPE BOTTOM OF ALL PREPARED BEDS 1/4" / FOOT MIN TO NATURAL LOW POINT

6 PLANTING BED FOR ANNUALS AND PERENNIALS 08A-089
 L7.0 SECTION NTS



- NOTE:** PRUNE TO REMOVE DAMAGED, DISEASED OR BROKEN BRANCHES. DO NOT REMOVE MORE THAN 1/5 OF BRANCH SYSTEM. DO NOT CUT LEADER. TREE MUST RETAIN NATURAL CROWN SHAPE. REMOVE ALL STAKES WITHIN THE REQUIRED PERIOD.
- RUBBER HOSE OR CHAFING GUARD
 - 2 STRANDS, 12 GAUGE WIRE TWISTED (OR EQUAL)
 - ROOTBALL CENTERED IN TREE PIT
 - (2) 2" X 2" MIN. HARDWOOD STAKES PER TREE. SET 18" BELOW TREE PIT. PARALLEL TO STREET IN UNDISTURBED GROUND. DO NOT DRIVE STAKES INTO ROOTBALL.
 - REMOVE EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLAIR
 - REMOVE TOP 2/3 OF WIRE BASKET. REMOVE OR FOLD DOWN BURLAP TO REMAINING BASKET. CUT/REMOVE ALL ATTACHED STRING AND ROPE.
 - BACKFILL WITH SOIL TAKEN OUT OF PLANTING HOLE OR 50% CLEAN EXISTING SOIL, 25% TOP SOIL, AND 25% CITY APPROVED ORGANIC MATERIAL
 - 3" HARDWOOD MULCH. PULL BACK 6" FROM TRUNK
 - ADJACENT TO TURF OR PLANTING. FINISH GRADE
 - SPLAY SIDES OF PLANTING PIT. PIT DEPTH EQUAL TO HEIGHT OF ROOTBALL.
 - UNDISTURBED SOIL
- *NOT TO SCALE**

7 TREE PLANTING IN TURF OR PLANTED AREA 08A-152
 L7.0 SECTION NTS



- DRIPLINE ON EXISTING TREES AND VEGETATION TO BE SAVED
- TREE PROTECTION
- 32" OAK
- 13" MAP
- 26" OAK
- 10" MAP
- LIMITS OF CONSTRUCTION & DISTURBANCE
- GENEROUSLY EXTEND FENCING OUTSIDE OF DRIPLINE OR CRITICAL ROOT ZONE
- OTHER FENCING TYP.
- TREES AND VEGETATION TO BE PRESERVED
- WOOD FENCE: 4" X 4" X 6" HARDWOOD STAKES SPACE AT 8' O.C.
- EX. GRADE
- VEGETATION PROTECTION AND PRESERVATION DETAIL SECTION

8 VEGETATION PROTECTION 08B-010
 L7.0 ELEVATION NTS

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