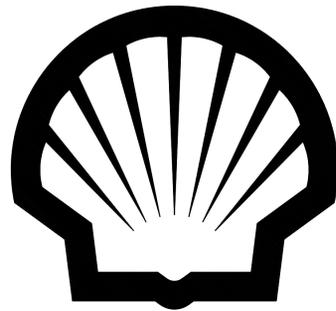
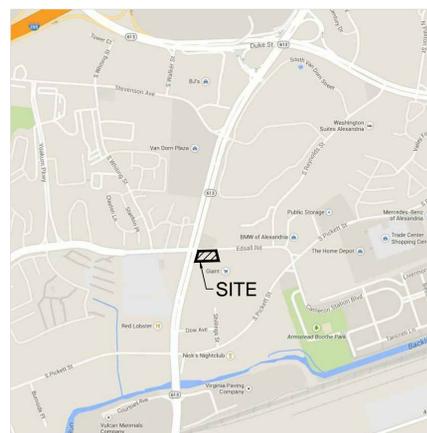


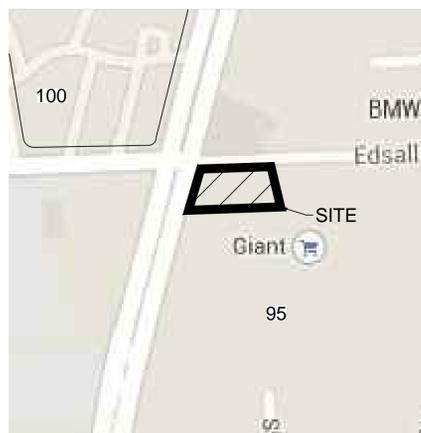
PRELIMINARY SITE PLAN



SHELL SITE PROPOSED CONVENIENCE STORE, CAR WASH, AND FUEL PUMPS 5740 EDSALL ROAD EDSALL RD. AND SOUTH VAN DORN ST. ALEXANDRIA, VA



VICINITY MAP
SCALE: 1"=1000'



SOILS MAP
SCALE: 1"=250'

SOIL INDEX			
SOIL GROUP	DESIGNATION	SOIL NAME	SLOPE
C	100	URBAN LAND-KINGSTOWNE COMPLEX	0 TO 45 PERCENT
N/A	95	URBAN LAND	N/A

SHEET INDEX	
C1	COVER SHEET
C2	GENERAL NOTES
C3	BOUNDARY & TOPOGRAPHIC SURVEY
C4	DEMOLITION PLAN
C5	SITE PLAN
C6	GIS-DIMENSION PLAN
C7	GRADING PLAN
C8	UTILITY PLAN
C9	STORMWATER MANAGEMENT PLAN
C10-C14	CONSTRUCTION DETAILS
C15	LANDSCAPE PLAN
C16	TRUCK/EMERGENCY VEHICLE TURN PLAN
C17	OPEN SPACE EXHIBIT
C18	LIGHTING PLAN
C19	SANITARY SEWER EXHIBIT
C20	C-STORE AND CAR WASH FLOOR PLANS
C21	PRELIMINARY ROOF PLANS
C22-C24	C-STORE AND CAR WASH ELEVATIONS
C25	C-STORE AND CAR WASH AREA PLANS

DESIGN AND DEVELOPMENT CONTACTS:

PROPERTY OWNER	BURT LOPATIN TR CIRCUMFERENTIAL TERMINALS PARTNERSHIP 6820B COMMERCIAL DRIVE SPRINGFIELD, VA 22151 (703) 750-6810
PROPOSED PROPERTY OWNER	NOVA PETROLEUM REALTY, LLC 6820B COMMERCIAL DRIVE SPRINGFIELD, VA 22151 (703) 750-6810
DEVELOPER	CAPITAL PETROLEUM GROUP 6820B COMMERCIAL DRIVE SPRINGFIELD, VA 22151 CONTACT: THOMAS WRIGHT (703) 750-6810
CIVIL ENGINEER	CORE STATES INC. 5501 MERCHANTS VIEW SQUARE #753 HAYMARKET, VA 20169 CONTACT: TOM CANNARELLA (703) 726-4644
ARCHITECT	CORE STATES INC. 5501 MERCHANTS VIEW SQUARE #753 HAYMARKET, VA 20169 CONTACT: WILLIAM O'LEARY (703) 726-4644
SURVEYOR	GALLAS SURVEYING GROUP 171 CHURCH LANE NORTH BRUNSWICK, NJ 08902 CONTACT: KEVIN STEINHILBER (732) 442-6700
ATTORNEY	WALSH, COLUCCI, LUBELEY, EMRICH & WALSH 2200 CLARENDON BLVD, 13TH FLOOR ARLINGTON, VA 22201 CONTACT: M. CATHARINE PUSKAR (703) 528-4700

AGENCY CONTACTS:

PLANNING AND ZONING	CITY OF ALEXANDRIA 301 KING STREET ALEXANDRIA, VA 22314 (703) 746-4666
BUILDING DEPARTMENT	ALEXANDRIA CODE ADMINISTRATION 301 KING STREET ALEXANDRIA, VA 22314 (703) 746-4200
EROSION CONTROL	ALEXANDRIA ENVIRONMENTAL QUALITY 301 KING STREET ALEXANDRIA, VA 22314 (703) 746-4065
SIGNAGE	ALEXANDRIA PLANNING DEPARTMENT 301 KING STREET ALEXANDRIA, VA 22314 (703) 746-4666
FIRE DEPARTMENT	ALEXANDRIA FIRE DEPARTMENT 900 SECOND STREET ALEXANDRIA, VA 22003 (703) 746-5200
TRANSPORTATION	ALEXANDRIA TRANSPORTATION DIVISION 3200 COLVIN STREET ALEXANDRIA, VA 22314 (703) 746-4747

UTILITY CONTACTS:

WATER	VIRGINIA AMERICAN WATER 2222 DUKE STREET ALEXANDRIA, VA 22314 (800) 452-6863
SANITARY SEWER	ALEXANDRIA SANITATION AUTHORITY 1500 EISENHOWER AVE ALEXANDRIA, VA 22314 (703) 549-3381
STORM SEWER	ALEXANDRIA ENGINEERING 301 KING STREET ALEXANDRIA, VA 22314 (703) 746-4025
NATURAL GAS	WASHINGTON GAS 6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151P (703) 750-1000
ELECTRIC	DOMINION VIRGINIA POWER 907 W GLEBE ROAD ALEXANDRIA, VA 22305 (866) DOM-HELP

STANDARD ABBREVIATIONS

AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCRP	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
RAW	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

SITE DATA TABLE:

LAND USE:	OWNER:	BURT LOPATIN TR CIRCUMFERENTIAL TERMINALS PARTNERSHIP 6820 B COMMERCIAL DR., SPRINGFIELD, VA 22151
APPLICANT:	NOVA PETROLEUM REALTY, LLC 6820 B COMMERCIAL DR., SPRINGFIELD, VA 22151	
PARCEL ID#:	3494-0-0-02	
TAX MAP #:	057.04-05-03	
EXISTING ZONING:	CG (COMMERCIAL-GENERAL)	
PROPOSED ZONING:	CG (COMMERCIAL-GENERAL)	
EXISTING USE:	GASOLINE STATION	
PROPOSED USE:	SERVICE STATION, CONVENIENCE STORE, AND CAR WASH	
TOTAL PARCEL AREA:	EXISTING: 28,927 SF OR 0.6641 ACRES FUTURE: 28,927 SF OR 0.6641 ACRES	
NUMBER OF SWELLING UNITS:	EXISTING: 0 FUTURE: 0	
PROPOSED BUILDING SIZE:	2,840 SF GROSS, 2,600 SF NET	
CONVENIENCE STORE:	1,095 SF GROSS, 655 SF NET	
CAR WASH:		
FINISH FLOOR ELEVATION:	133.05 ±	
CAR WASH:	133.05 ±	
EXISTING IMPERVIOUS:	68.19% (22,581 SF OR 0.5184 ACRES)	
PROPOSED IMPERVIOUS:	90.83% (26,275 SF OR 0.6032 ACRES)	
LIMITS OF DISTURBANCE:	37,197 SF 0.853 AC	
PROPERTY FRONTAGE:	204' (EDSALL RD) 116.87' (S. VAN DORN ST)	
DESCRIPTION	REQUIRED/ALLOWED	PROPOSED
BUILDING HEIGHT:		
CONVENIENCE STORE	50'	15'
CARWASH	12'	15'
GAS CANOPY	50'	17'-11"
BUILDING SETBACK:		
FRONT (EDSALL)	NOT SPECIFIED	51.18'
FRONT (VAN DORN)	NOT SPECIFIED	126.03'
SIDE (EAST)	NOT SPECIFIED	9.93'
SIDE (SOUTH)	NOT SPECIFIED	19.50'
LANDSCAPE BUFFER:		
FRONT (VAN DORN)	NOT SPECIFIED	0' (FROM FUTURE R/W)
FRONT (EDSALL)	NOT SPECIFIED	0' (FROM FUTURE R/W)
SIDE (EAST)	NOT SPECIFIED	6.04'
SIDE (SOUTH)	NOT SPECIFIED	0'
REAR	NOT SPECIFIED	N/A
SIGNAGE:		
FREESTANDING	50 SF (2 SIGNS)	50 SF PER SIDE (2 SIDES)
BUILDING	1 SF/1 LF=108 SF	108 SF
CANOPY	1 SF/1 LF=108 SF	108 SF
PARKING:		
COMPACT STANDARD	N/A	N/A
@ PUMPS	1.2 SPACES PER 210 SF	
H/C	FLOOR AREA NET: 17	13
1	12	12
LOADING SPACE:	1 SPACE	1 SPACE
CARWASH STACKING	NOT SPECIFIED	5
CURB CUTS	NOT SPECIFIED	2
LOT AREA	NOT SPECIFIED	28,927 SF
PROPOSED FLOOR AREA RATIO*	0.5	0.19
GROSS	0.5	0.18
NET	0.5	0.18
OPEN SPACE	0%	4.9% (1,407 SF)
ROAD FRONTAGE:		
EDSALL ROAD	+233'	+203'
VAN DORN STREET	+117'	+117'
TRIP GENERATION:	EXISTING (ITE CODE 944): 1348 ADT PROPOSED (ITE CODE 946): 1834 ADT	

* FLOOR AREA RATIO IS BASED UPON THE EXISTING GROSS SQUARE FOOTAGE OF LAND PER SEC1-400 (3), (a), (b)

NARRATIVE DESCRIPTION:

THE PURPOSE OF THE SUBMITTAL OF THESE PLANS IS TO ALLOW FOR THE DEVELOPMENT OF A COMMERCIAL PROJECT THAT INCLUDES A CONVENIENCE STORE (2,840 SF), GAS PUMPS (6), AND CAR WASH. IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS, THE EXISTING GAS PUMPS WITH KIOSK ARE TO BE REMOVED. THE EXISTING AND PROPOSED ZONING OF THE PROPERTY IS CG (COMMERCIAL GENERAL). THE DESIGN SPECIFICS OF THIS PROJECT CAN BE FOUND WITH IN THIS SET OF DRAWINGS.

THE INTENT OF THE PROJECT IS TO USE AN ENVIRONMENTAL FRIENDLY DESIGN WHERE PRACTICAL. WATER QUALITY AND WATER DETENTION METHODS ARE TO BE USED TO ENCOURAGE THE PROTECTION OF STORMWATER RUNOFF. REMOVAL OF EXISTING TREES WILL BE COMPENSATED BY USING NATIVE SPECIES TO SATISFY THE REQUIREMENTS OF THE ORDINANCE WITHOUT IRRIGATION. TRASH COLLECTION AREA WILL BE EQUIPPED WITH RECYCLING BINS. ADDITIONALLY THE USE OF LOW-EMISSION RESERVED PARKING IS PROPOSED. THE SITE WILL BE ILLUMINATED BY PARKING LOT AND DRIVEWAY LIGHTING.

SPECIAL USE PERMITS:

SPECIAL USE PERMITS ARE APPROVED FOR THE PROJECT TO ALLOW FOR DEVELOPMENT OF AN AUTOMOBILE SERVICE STATION, A CONVENIENCE STORE, AND A DRIVE THRU CARWASH FACILITY IN ADDITION TO A SPECIAL USE PERMIT TO REDUCE THE AMOUNT OF PARKING REQUIRED AND IS DSP-2011-00032. IN ADDITION SUP #1172 WAS NOT ISSUED BY COUNCIL AND SUP #2560 HAS EXPIRED.

ALERT TO CONTRACTOR:

- THE SITEWORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND STATE STANDARDS FOR SITEWORK.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED DRIVE THRU PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.

GENERAL NOTES:

- THE PLANS APPROVED BY CITY COUNCIL SHALL BE THE SAME AS THE FINAL SITE PLAN AND BUILDING PERMIT SUBMISSIONS. STAFF CAN ONLY APPROVE SOME VERY MINOR DEVIATIONS FROM THE COUNCIL APPROVED PLANS.
- THESE PLANS ARE BASED ON A SURVEY PREPARED BY GALLAS SURVEYING GROUP. LAST REVISED DATE 06/18/12. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT THE IMPROVEMENTS EXIST AS SHOWN ON THE SURVEY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING CORE STATES GROUP OF ANY DEVIATIONS OR OMISSIONS THAT MAY AFFECT THE CONSTRUCTION OF THE PROPOSED PROJECT.
- THE GENERAL CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION REGULATIONS REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. OWNER AND ENGINEER ACCEPT NO RESPONSIBILITY FOR THE DESIGN OF THE SAID ITEMS.
- CONSTRUCTION OF BUILDING, UTILITY ENTRANCES, AND BUILDING CANOPY SHALL BE IN ACCORDANCE WITH ASSOCIATED BUILDING PLANS PREPARED BY ARCHITECT.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR THE COMPLETION OF ALL PHASES OF CONSTRUCTION AND FOR TURNOVER OF THE FACILITY TO THE OWNER IN OPERATING CONDITION.
- ALL TESTING SHALL BE SUPPLIED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED, AND BE PERFORMED BY QUALIFIED PERSONNEL. THIRD PARTY TESTING SHALL BE PERFORMED BY LICENSED ENTITIES AND THE RESULTS PROVIDED TO THE CONSTRUCTION MANAGER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN AT THE JOB SITE A COMPLETE SET OF DRAWINGS AND SPECIFICATIONS INCLUDING A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN, AND MAKE THEM AVAILABLE TO THE CONSTRUCTION MANAGER AS LONG AS CONSTRUCTION IS IN PROGRESS.
- THESE PLANS ARE FOR THE PURPOSE OF FINAL PLAN SUBMITTAL ONLY.
- ALL CITY OF ALEXANDRIA NOISE ORDINANCES SHALL BE MET.
- REFER TO ATTACHED EROSION AND SEDIMENT CONTROL SHEETS FOR METHODS TO ACHIEVE CITY OF ALEXANDRIA GOALS AND STANDARDS.
- NO WELLS EXIST ON THE SITE AND NO WELLS ARE PROPOSED IN THIS SITE PLAN.
- FLOOD CERTIFICATION:
THE SUBJECT PROPERTY LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OUTSIDE 0.2% CHANCE FLOODPLAIN) AS PER F.I.R.M. PANEL 515519 0017E, EFFECTIVE DATE JUNE 16, 2011.
- WETLANDS NOTE:
ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLANDS SUBJECT TO LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- WARRANTY/DISCLAIMER:
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR HIS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- SAFETY NOTICE TO CONTRACTOR:
IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

ENVIRONMENTAL SITE ASSESSMENT:

THERE ARE NO TIDAL WETLANDS, RPA'S, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT.

VDEO #PC1921075 HAS BEEN IDENTIFIED AND THE SOIL BORINGS SUGGEST EVIDENCE OF THE PRESENCE OF OIL/GASOLINE CONTAMINATION.

BASED UPON USDA SOIL SURVEY, THERE ARE POSSIBLE MARINE CLAY DEPOSITS PRESENT ON SITE.

THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.

ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-745-4865.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND SATURDAYS FROM 9 AM TO 6 PM.
NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.

APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

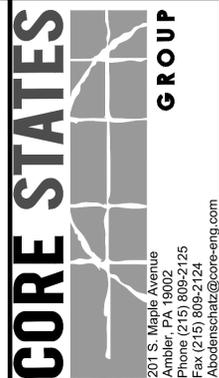
SITE PLAN NO. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED: _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



201 S. Maple Avenue
Amble, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdoenschatz@core-eng.com



Know what's below. Call before you dig.
THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE USE OF ANY INFORMATION FROM THE 811 SYSTEM IS AT THE USER'S SOLE RISK. CORE STATES GROUP AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

REVISIONS

REV	DATE	COMMENT	BY
1	01/20/16	PER CITY COMMENTS	DRP

DOCUMENT PRELIMINARY SITE PLAN

PROJECT SHELL AT ALEXANDRIA, VA

CLIENT



SITE LOCATION

5740 EDSALL RD,
ALEXANDRIA, VA
22304

ENGINEER SEAL
AARON BODENSCHATZ
Lic. No. 041462
12-31-15



SHEET TITLE

COVER SHEET

JOB #: CPG-12737

DATE: 12-29-15

SCALE: N/A

DRAWN BY: MV

CHECKED BY: AB

SHEET NO.

C1

OF 25

- NOTES:**
1. PROPERTY KNOWN AS LANDS OF BURT LOPATIN, TRUSTEE AS RECORDED IN DEED BOOK 748, PAGE 148 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, COMMONWEALTH OF VIRGINIA, TAX ASSESSMENT MAP NUMBER 57.04-05-03.
 2. THE BOUNDARY INFORMATION FOR THE SUBJECT SITE IS BASED ON A CURRENT FIELD SURVEY PREPARED BY GALLAS SURVEYING GROUP, LLC, DATED 7/08/2011 AND 2/10/2012 IN ACCORDANCE WITH THE REQUIREMENTS OF VIRGINIA ASSOCIATION OF LAND SURVEYORS.
AREA = 33,117 S.F. OR 0.7603 AC.
 3. ON-SITE UTILITIES ALONG SOUTH VAN DORN STREET FOR PARCEL 3494-0-0-02 WERE BASED UPON A MARKOUT PERFORMED BY MASTER LOCATORS, 2428 E. HELMS MANOR, BOOTHWYN, PA 19061. FURTHER LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED BY GALLAS SURVEYING GROUP, LLC, DATED 7/08/2011 AND 2/10/2012 AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-257-7777 AND 811, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. THE CONSTRUCTION WORKERS AND CONTRACTORS ARE ENCOURAGED TO VISIT DOMINION VIRGINIA POWER WEB SITE AT www.dvm.com (KEYWORD SAFETY) FOR ADDITIONAL SAFETY INSTRUCTIONS.

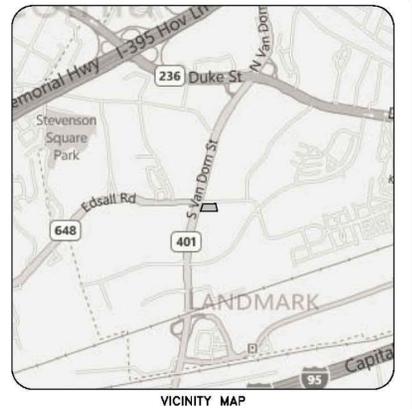
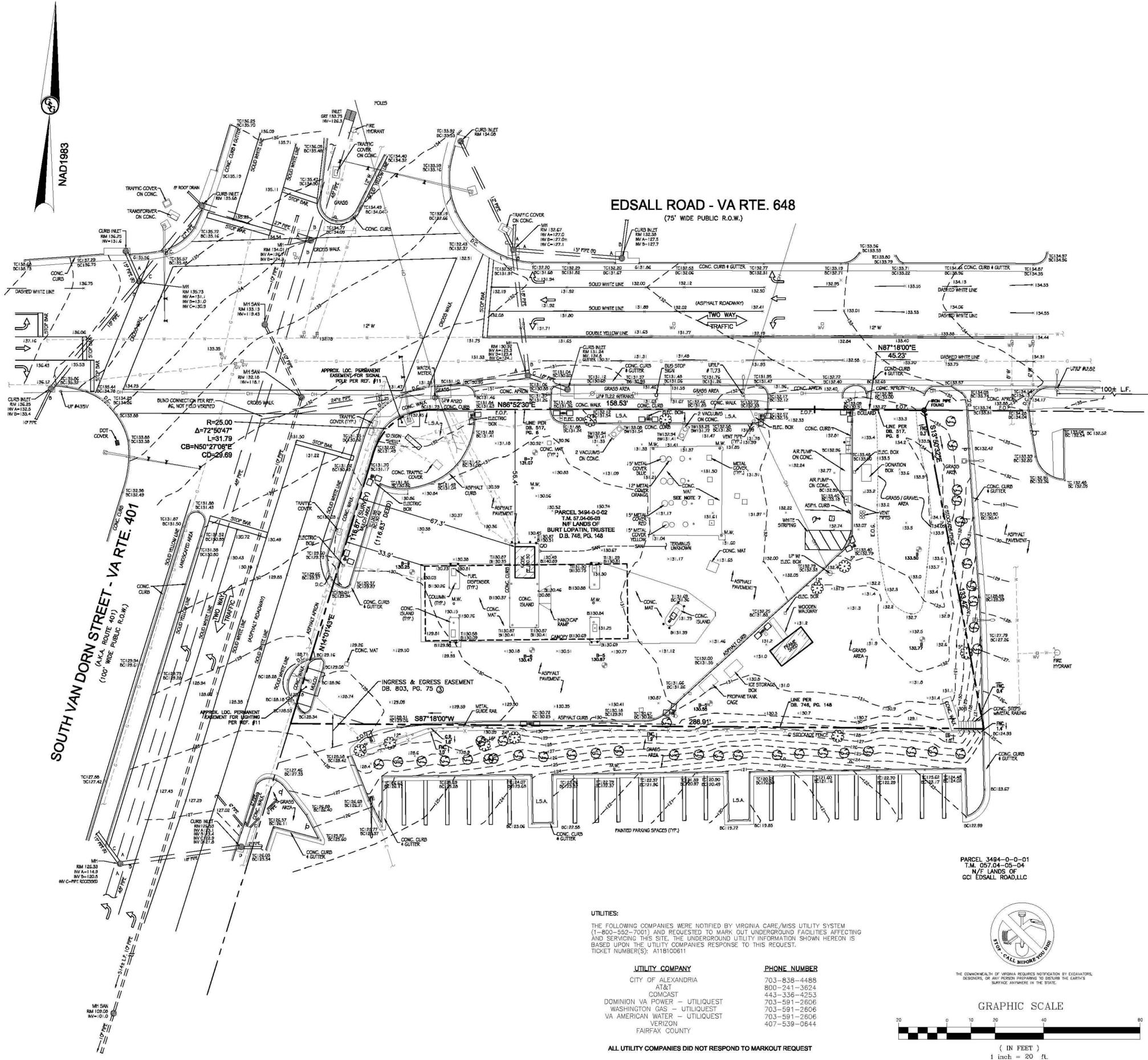
LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR/ENGINEER SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION.

THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE COMMITMENT REPORT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, POLICY NO. 27301183, DATED APRIL 3, 2008 WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS WERE CONTAINED IN SCHEDULE B.

2. EASEMENT GRANTED TO THE CHESAPEAKE AND POTOMAC TELEPHONE COMPANY OF VIRGINIA, DATED JUNE 5, 1917, RECORDED OCTOBER 27, 1917, IN DEED BOOK 6, PAGE 348 - UNABLE TO PLAT.
3. EASEMENTS AND CONDITIONS AS SET FORTH IN DEED OF EASEMENT BY AND BETWEEN BURT LOPATIN, TRUSTEE, AND GFS REALTY, INC., DATED JUNE 6, 1975, RECORDED JULY 21, 1975, IN DEED BOOK 803, PAGE 75 - SHOWN.
4. TERMS, DUTIES, CONDITIONS, EASEMENTS, OBLIGATIONS AND PROVISIONS OF ACCESS AGREEMENT FROM MOTIVA ENTERPRISES, LLC TO NOVA PETROLEUM REALTY, LLC, DATED APRIL 2, 2009 AND RECORDED APRIL 2, 2009, AS INSTRUMENT NO. 090008020 - DOCUMENT NOT PROVIDED.
5. ELEVATIONS ARE BASED UPON REF. # 7 NGVD 1929, REPORTED TO BE NGVD 1929 (APPROX. 0.41' HIGHER THAN NAVD 83).
6. BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOOD PLAIN) AS SHOWN ON FIRM, FLOOD INSURANCE RATE MAP, CITY OF ALEXANDRIA, VIRGINIA, INDEPENDENT CITY, COMMUNITY PANEL NUMBER 5155-19 0017 E, MAP REVISED JUNE 16, 2011.
7. SIZE AND LOCATION OF UNDERGROUND STORAGE TANKS WERE UNKNOWN AT THE TIME OF FIELD SURVEY.

- REFERENCES:**
1. THE OFFICIAL TAX MAPS OF THE CITY OF ALEXANDRIA, VIRGINIA, SHEET 57.04
 2. PLAT SHOWING DIVISION OF PROPERTY OF BURT LOPATIN & CHAS. E. TOMLIN, TRUSTEES, PREPARED BY CROSS & GHENT, DATED JULY 11, 1960, FILED IN THE LAND RECORDS OF ALEXANDRIA VIRGINIA IN DEED BOOK 517, PG. 6
 3. ALTAIACSM LAND TITLE SURVEY, SHELL OIL PRODUCTS, #102628, 5740 EDSALL ROAD, CITY OF ALEXANDRIA, VIRGINIA, PREPARED BY CHRISTOPHER CONSULTANTS, LTD., DATED JUNE 13, 2008.
 4. PLAT SUBDIVISION OF PROPERTY OF THE PROPERTY, PREPARED BY CROSS & GHENT, DATED JANUARY 25, 1965, FILED IN THE LAND RECORDS OF ALEXANDRIA VIRGINIA IN DEED BOOK 578, PG. 358.
 5. PLAT SHOWING RESUBDIVISION OF THE LAND OF SMITHS STORAGE OF VIRGINIA INC., DATED MARCH 24, 1966.
 6. SEWER MAP RECEIVED FROM THE CITY OF ALEXANDRIA.
 7. ALTAIACSM LAND TITLE SURVEY, COMMERCIAL BANK, 567 SOUTH VAN DORN STREET, PARCEL 3541-03-02-03, D.B. 859 PG. 401 CITY OF ALEXANDRIA, VIRGINIA, DATED 8-02-2004, REVISED 5-11-2004.
 8. UNDERGROUND WATER LINE MAP PROVIDED BY VA AMERICAN WATER.
 9. UNDERGROUND GAS LINE MAP PROVIDED BY WASHINGTON GAS, PRINTED 8/30/2011.
 10. MAP OF ELECTRIC LINES PROVIDED BY DOMINION VA ELECTRIC, CREATED BY GIS SERVICES 7/19/2011.
 11. COMMONWEALTH OF VIRGINIA, DEPARTMENT OF TRANSPORTATION, PLAN AND PROFILE, STATE HIGHWAY, CITY OF ALEXANDRIA, SOUTH VAN DORN STREET (ROUTE 401) FROM PICKETT STREET TO EDSALL ROAD, PROJECT 0401-100-101.
 12. SITE PLAN, PARCEL 3494-0-0-01, ADDITION TO GIANT FOODS SITE, ALEXANDRIA VIRGINIA, PREPARED BY TOUPS AND LOEDERMAN, REVISED 1/30/1976, FILED AS MAP 75-005-B

- MAP LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR
 - UNDERGROUND TELEPHONE LINE LINE PER UTILITY MARKOUT
 - UNDERGROUND WATER LINE LINE PER UTILITY MARKOUT
 - UNDERGROUND GAS LINE LINE PER UTILITY MARKOUT
 - UNDERGROUND ELECTRIC LINE LINE PER UTILITY MARKOUT
 - EXISTING SPOT ELEVATION
 - EXIST. TOP OF CURB ELEVATION
 - EXIST. GUTTER ELEVATION
 - EXIST. TOP OF WALL ELEVATION
 - EXIST. BOTTOM OF WALL ELEVATION
 - FINISHED FLOOR ELEVATION
 - DOOR WAY
 - DENOTES BUSH
 - DENOTES TREE WITH SIZE
 - MONITORING WELL
 - TELEPHONE
 - TRAFFIC SIGNAL
 - AIR PUMP
 - OVERHEAD WIRES
 - AREA LIGHT
 - MAN-HOLE
 - UTILITY POLE
 - UTILITY POLE/LIGHT POLE
 - GUY ANCHOR
 - BOLLARD
 - SIGN
 - DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
 - E.D.P.
 - LANDSCAPED AREA
 - FENCE
 - EDGE OF CONCRETE
 - GUIDE RAIL
 - SOIL BORING W/IGROUND ELEVATION
 - TITLE REPORT EXCEPTION

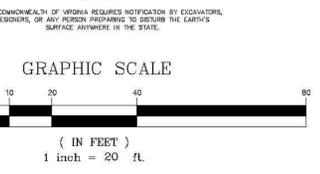


EDSALL ROAD - VA RTE. 648
(75' WIDE PUBLIC R.O.W.)

SOUTH VAN DORN STREET - VA RTE. 401
(100' WIDE PUBLIC R.O.W.)

- UTILITIES:**
- THE FOLLOWING COMPANIES WERE NOTIFIED BY VIRGINIA CARE/MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. TICKET NUMBER(S): A118100611
- | UTILITY COMPANY | PHONE NUMBER |
|--------------------------------|--------------|
| CITY OF ALEXANDRIA | 703-838-4488 |
| AT&T | 800-241-3624 |
| COMCAST | 443-336-4253 |
| DOMINION VA POWER - UTILIQUEST | 703-591-2606 |
| WASHINGTON GAS - UTILIQUEST | 703-591-2606 |
| VA AMERICAN WATER - UTILIQUEST | 703-591-2606 |
| VERIZON | 407-539-0644 |
| FAIRFAX COUNTY | |

PARCEL 3494-0-0-01
T.M. 057.04-05-04
N.F. LANDS OF
GCI EDSALL ROAD, LLC



2	REVISE TO ADD ROAD TOPOGRAPHY & UTILITIES	R.S.E.	G.S.D.	2/21/12
1	REVISE PER VA DOT & UTILITY PLANS	BAJH	G.S.G.	7/20/11
No.	DESCRIPTION OF REVISION	DRAWN	APPROVED	DATE

BOUNDARY & TOPOGRAPHIC SURVEY
PARCEL 3494-0-0-02
TAX MAP 57.04-05-03
5740 EDSALL ROAD
CITY OF ALEXANDRIA
COMMONWEALTH OF VIRGINIA

GALLAS SURVEYING GROUP
171 CHURCH LANE
NORTH BRUNSWICK,
NEW JERSEY 08902
TELE: 732-422-6700
FAX: 732-940-8786
www.gallasurvey.com

DATE	SCALE	DRAWN	CHECKED:
7-14-2011	1"=20'	C.F.J.	G.S.G.
FIELD DATE	FIELD BOOK	PAGE	FIELD CREW
7-08-2011 2-10-2012	GRS		K.S.J.G.S.

FILE NO.: **G11220**
DRAWING NAME/SHEET NO.: **G11220.DWG 1 of 1**

NOT VALID UNLESS EMBOSSED WITH PASSES AND/OR BLUE INK SEAL
Lic. No. 1853
Kevin F. Steinhilber
KEVIN F. STEINHILBER
VIRGINIA LICENSED LAND SURVEYOR

ALERT TO CONTRACTOR:

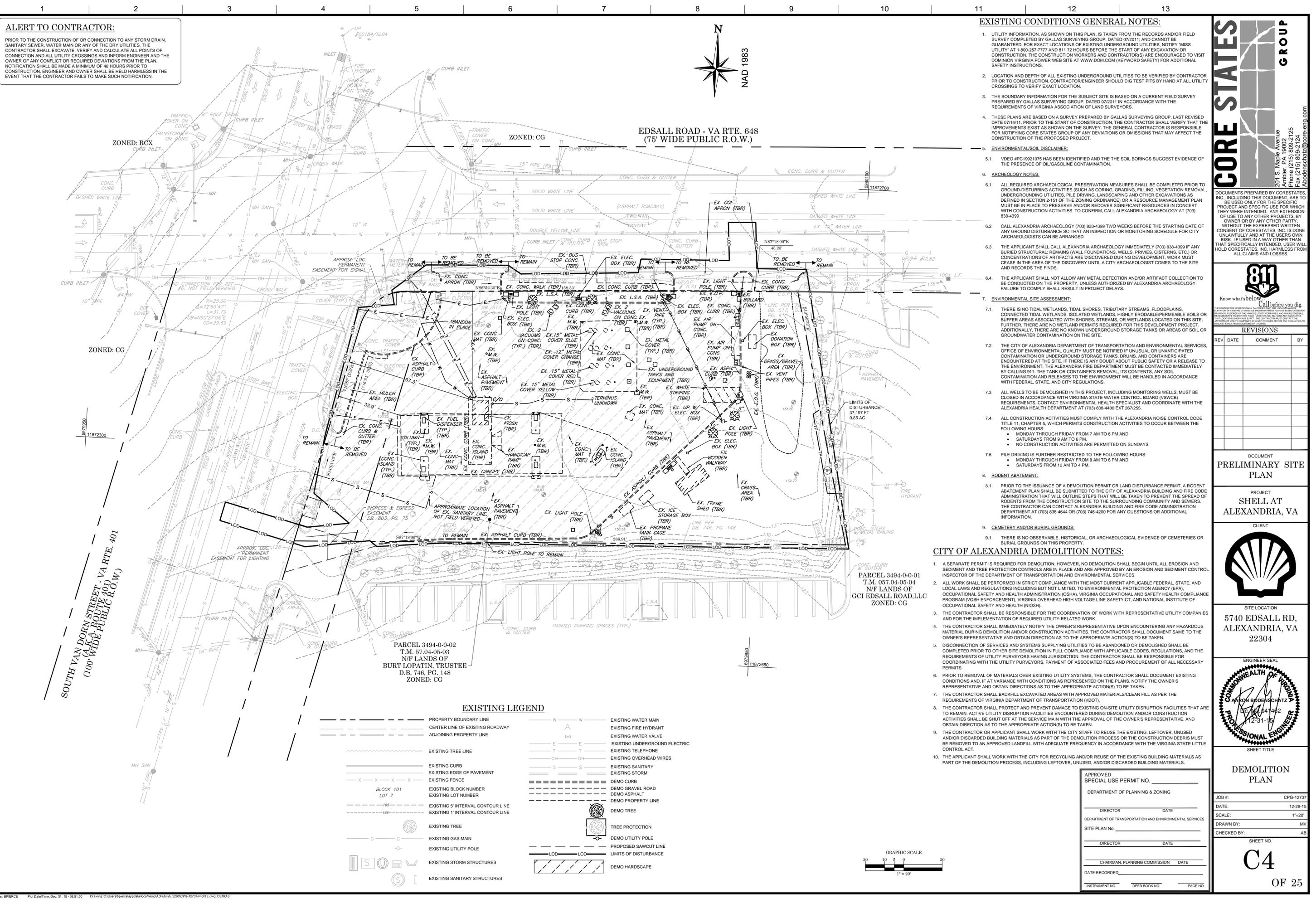
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

EXISTING CONDITIONS GENERAL NOTES:

- UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED BY GALLAS SURVEYING GROUP, DATED 07/2011; AND CANNOT BE GUARANTEED FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES. NOTIFY "MSS UTILITY" AT 1-800-257-7777 AND 811 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. THE CONSTRUCTION WORKERS AND CONTRACTOR(S) ARE ENCOURAGED TO VISIT DOMINION VIRGINIA POWER WEB SITE AT WWW.DOM.COM (KEYWORD SAFETY) FOR ADDITIONAL SAFETY INSTRUCTIONS.
- LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR/ENGINEER SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION.
- THE BOUNDARY INFORMATION FOR THE SUBJECT SITE IS BASED ON A CURRENT FIELD SURVEY PREPARED BY GALLAS SURVEYING GROUP, DATED 07/2011 IN ACCORDANCE WITH THE REQUIREMENTS OF VIRGINIA ASSOCIATION OF LAND SURVEYORS.
- THESE PLANS ARE BASED ON A SURVEY PREPARED BY GALLAS SURVEYING GROUP, LAST REVISED DATE 07/14/11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT THE IMPROVEMENTS EXIST AS SHOWN ON THE SURVEY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING CORE STATES GROUP OF ANY DEVIATIONS OR OMISSIONS THAT MAY AFFECT THE CONSTRUCTION OF THE PROPOSED PROJECT.
- ENVIRONMENTAL/SOIL DISCLAIMER:**
- VIDEO #PC19921075 HAS BEEN IDENTIFIED AND THE SOIL BORINGS SUGGEST EVIDENCE OF THE PRESENCE OF OIL/GASOLINE CONTAMINATION.
- ARCHAEOLOGY NOTES:**
- ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED PRIOR TO GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) OR A RESOURCE MANAGEMENT PLAN MUST BE IN PLACE TO PRESERVE AND/OR RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703) 838-4399
- CALL ALEXANDRIA ARCHAEOLOGY (703) 838-4399 TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
- THE APPLICANT SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703) 838-4399 IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PIPES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEMOLITION. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE AUTHORIZED BY ANY INDIVIDUAL UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.
- ENVIRONMENTAL SITE ASSESSMENT:**
- THERE IS NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR OTHER AREAS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
- ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT (703) 838-4400 EXT 267255.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
 - MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND
 - SATURDAYS FROM 9 AM TO 6 PM.
 - NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS
- PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
 - MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND
 - SATURDAYS FROM 10 AM TO 4 PM.
- RODENT ABATEMENT:**
- PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION THAT WILL OUTLINE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR SHALL CONTACT ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION DEPARTMENT AT (703) 838-4644 OR (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.
- CEMETERY AND/OR BURIAL GROUNDS:**
- THERE IS NO OBSERVABLE, HISTORICAL, OR ARCHAEOLOGICAL EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY.

CITY OF ALEXANDRIA DEMOLITION NOTES:

- A SEPARATE PERMIT IS REQUIRED FOR DEMOLITION; HOWEVER, NO DEMOLITION SHALL BEGIN UNTIL ALL EROSION AND SEDIMENT AND TREE PROTECTION CONTROLS ARE IN PLACE AND ARE APPROVED BY AN EROSION AND SEDIMENT CONTROL INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS INCLUDING BUT NOT LIMITED TO, ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY CT, AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIAL DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
- PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISRUPTION FACILITIES THAT ARE TO REMAIN. ACTIVE UTILITY DISRUPTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- THE CONTRACTOR OR APPLICANT SHALL WORK WITH THE CITY STAFF TO REUSE THE EXISTING, LEFT-OVER, UNUSED AND/OR DISCARDED BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS OR THE CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTLE CONTROL ACT.
- THE APPLICANT SHALL WORK WITH THE CITY FOR RECYCLING AND/OR REUSE OF THE EXISTING BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS, INCLUDING LEFT-OVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS.



1 2 3 4 5 6 7 8 9 10 11 12 13



EDSALL ROAD - VA RTE. 648
(75' WIDE PUBLIC R.O.W.)

ZONED: CG

ZONED: CG

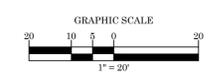
SOUTH VAN DORN STREET, VA RTE. 401
(100' WIDE PUBLIC R.O.W.)

PARCEL 3494-0-02
T.M. 57.04-05-03
N/F LANDS OF
BURT LOPATIN, TRUSTEE
D.B. 746, PG. 148
ZONED: CG

PARCEL 3494-0-01
T.M. 057.04-05-04
N/F LANDS OF
GCI EDSALL ROAD, LLC
ZONED: CG

EXISTING LEGEND

---	PROPERTY BOUNDARY LINE	---	EXISTING WATER MAIN
---	CENTER LINE OF EXISTING ROADWAY	---	EXISTING FIRE HYDRANT
---	ADJOINING PROPERTY LINE	---	EXISTING WATER VALVE
---	EXISTING TREE LINE	---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING CURB	---	EXISTING TELEPHONE
---	EXISTING EDGE OF PAVEMENT	---	EXISTING OVERHEAD WIRES
---	EXISTING FENCE	---	EXISTING SANITARY
---	EXISTING BLOCK NUMBER	---	EXISTING STORM
---	EXISTING LOT NUMBER	---	DEMO CURB
---	EXISTING 5' INTERVAL CONTOUR LINE	---	DEMO GRAVEL ROAD
---	EXISTING 1' INTERVAL CONTOUR LINE	---	DEMO ASPHALT
---	EXISTING TREE	---	DEMO PROPERTY LINE
---	EXISTING GAS MAIN	---	DEMO TREE
---	EXISTING UTILITY POLE	---	TREE PROTECTION
---	EXISTING STORM STRUCTURES	---	DEMO UTILITY POLE
---	EXISTING SANITARY STRUCTURES	---	PROPOSED SAWCUT LINE
---		---	LIMITS OF DISTURBANCE
---		---	DEMO HARDSCAPE



CORE STATES GROUP
201 S. Maple Avenue
Ambley, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdoenschatz@core-eng.com

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811
Know what's below. Call before you dig.
Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
PRELIMINARY SITE PLAN
PROJECT
SHELL AT ALEXANDRIA, VA
CLIENT

SITE LOCATION
**5740 EDSALL RD,
ALEXANDRIA, VA
22304**

ENGINEER SEAL
COMMONWEALTH OF VIRGINIA
AKRON BODENSCHATZ
Lic. No. 041482
12-31-15
PROFESSIONAL ENGINEER

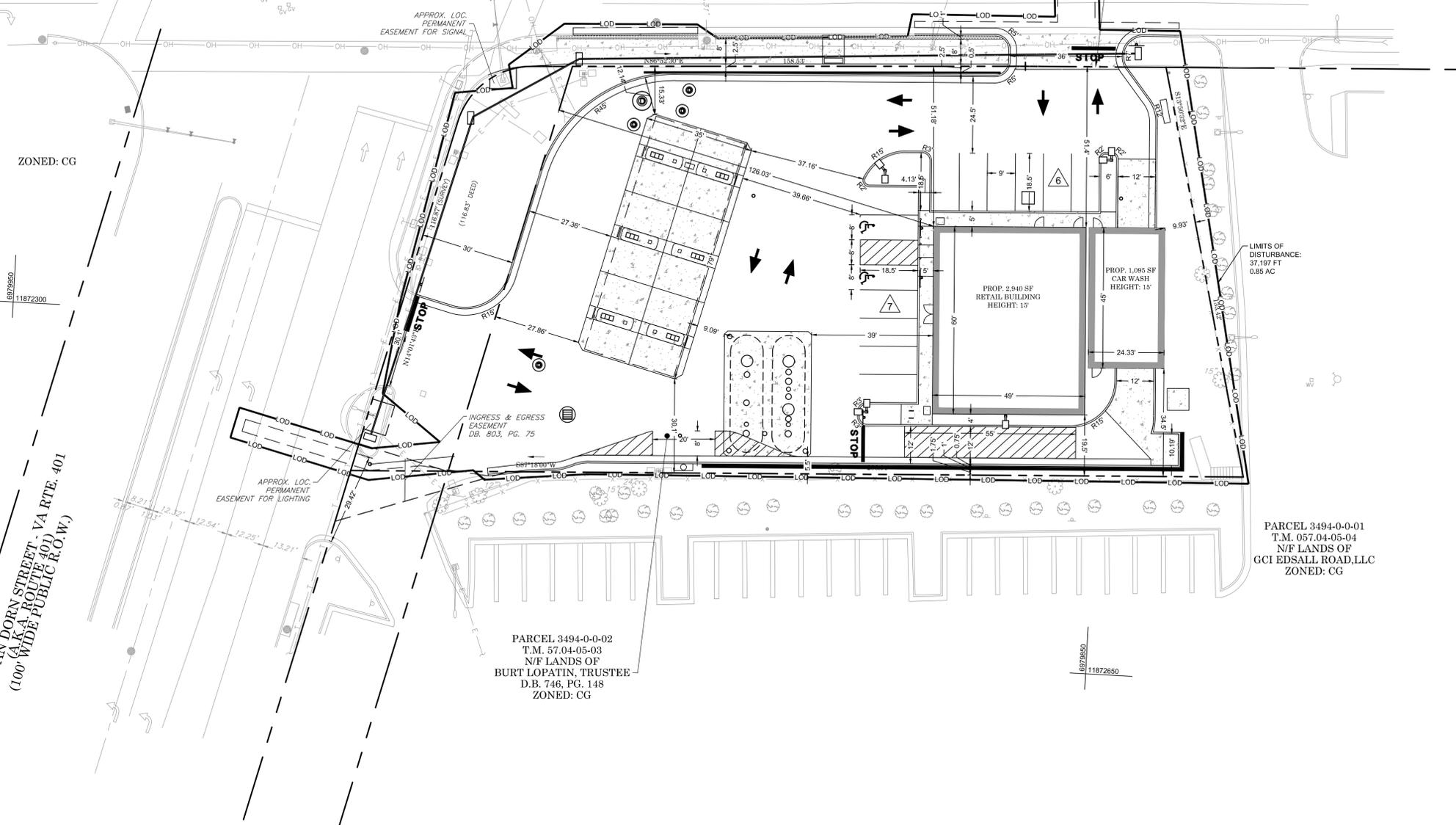
SHEET TITLE
DEMOLITION PLAN
JOB #: CPG-12737
DATE: 12-29-15
SCALE: 1"=20'
DRAWN BY: MV
CHECKED BY: AB
SHEET NO.
C4
OF 25



EDSALL ROAD - VA RTE. 648
(75' WIDE PUBLIC R.O.W.)

ZONED: RCX

ZONED: CG



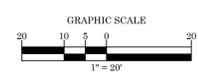
PARCEL 3494-0-01
T.M. 057.04-05-04
N/F LANDS OF
GCI EDSALL ROAD, LLC
ZONED: CG

PARCEL 3494-0-02
T.M. 57.04-05-03
N/F LANDS OF
BURT LOPATIN, TRUSTEE
D.B. 746, PG. 148
ZONED: CG

SOUTH VAN DORN STREET, VA RTE. 401
(100' WIDE PUBLIC R.O.W.)

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- PROPOSED LIMITS OF BMP / DETENTION
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED RIP RAP
- PROPOSED CONCRETE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED PARKING COUNT
- PROPOSED HEAVY DUTY PAVEMENT



CORE STATES GROUP

201 S. Maple Avenue
Ambler, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE USE OF ANY INSTRUMENT OR MEANS OF ANY KIND TO LOCATE UTILITIES, WHETHER BY HAND OR MEANS OF MECHANICAL OR ELECTRONIC DEVICES, IS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND SIZE OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR OTHER DISTURBANCE OF THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA



SITE LOCATION
**5740 EDSALL RD,
ALEXANDRIA, VA
22304**



SHEET TITLE
GIS - DIMENSION PLAN

APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

JOB #: CPG-12737
DATE: 12-29-15
SCALE: 1"=20'
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C6
OF 25



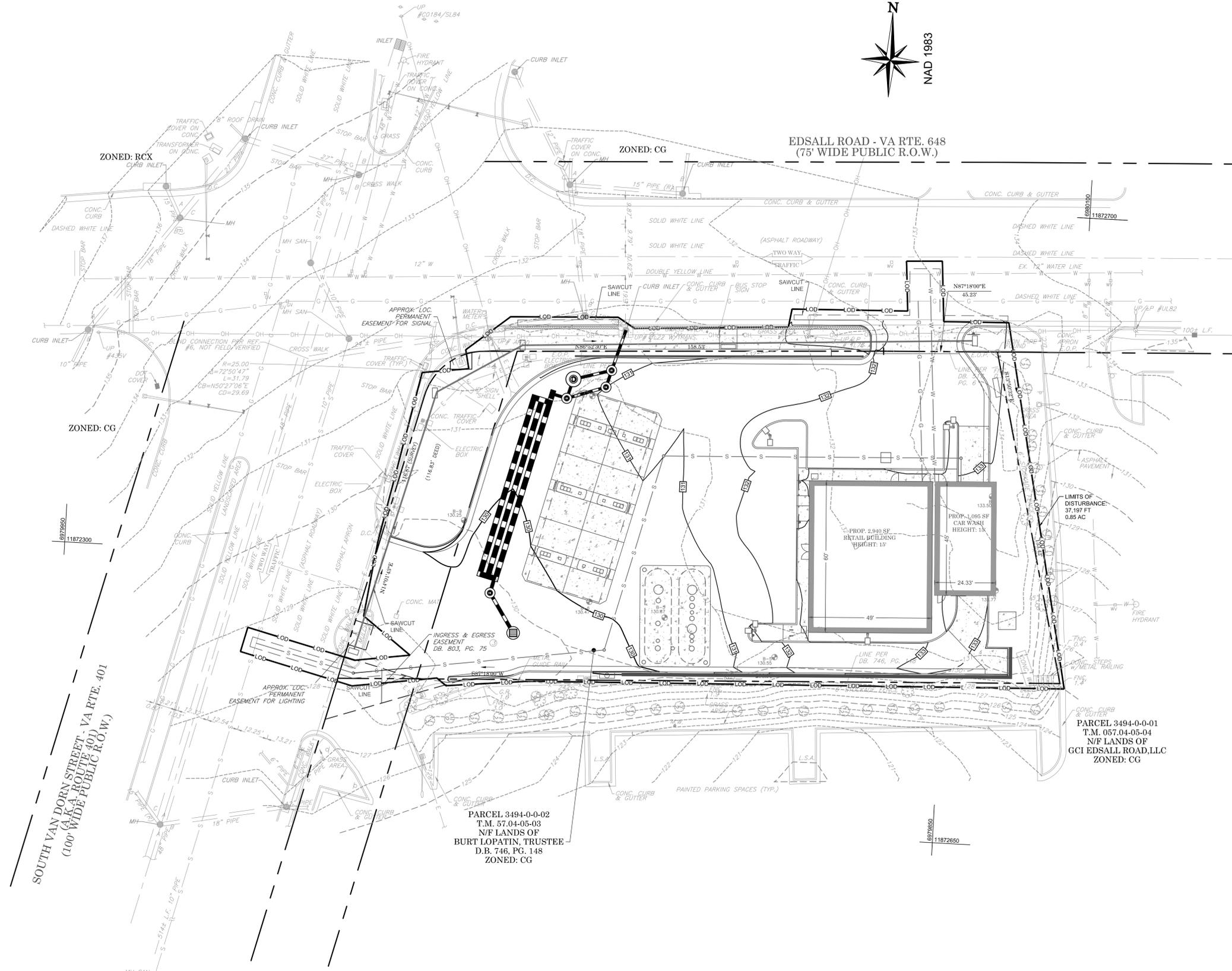
EDSALL ROAD - VA RTE. 648
(75' WIDE PUBLIC R.O.W.)

GRADING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING FEATURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURES. ON-SITE UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS PRIOR TO FINAL INSPECTION.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY GALLAS SURVEYING GROUP. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL GROUNDCOVER AS SPECIFIED ON THE LANDSCAPE PLAN. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
- PROPOSED RETAINING WALL IS TO BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER AND REVIEWED AND APPROVED BY CITY ENGINEER PRIOR TO CONSTRUCTION. DESIGN TO PROVIDE FOR ADEQUATE DRAINAGE AND PROPER ROUTING OF STORMWATER RUNOFF.
- RESOURCE PROTECTION AREA NOTE:
18.1. THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE CITY OF ALEXANDRIA RESOURCE PROTECTION AREA (RPA) AND THERE ARE NO MAPPED RPAS ON THIS PROPERTY.

GRADING LEGEND

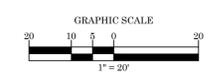
- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- PROPOSED LIMITS OF BMP / DETENTION
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- PROPOSED SPOT SHOTS
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED RIP RAP
- PROPOSED CONCRETE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED PARKING COUNT
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- PROPOSED STORM PIPE
- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED SANITARY FORCE MAIN



PARCEL 3494-0-01
T.M. 057.04-05-04
N/F LANDS OF
GCI EDSALL ROAD, LLC
ZONED: CG

PARCEL 3494-0-02
T.M. 57.04-05-03
N/F LANDS OF
BURT LOPATIN, TRUSTEE
D.B. 746, PG. 148
ZONED: CG

SOUTH VAN DORN STREET (AKA ROUTE 401)
(100' WIDE PUBLIC R.O.W.)



APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED: _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

CORE STATES GROUP

201 S. Maple Avenue
Amble, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
abdenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESS WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

81

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA

CLIENT

SITE LOCATION
**5740 EDSALL RD,
ALEXANDRIA, VA
22304**

ENGINEER SEAL

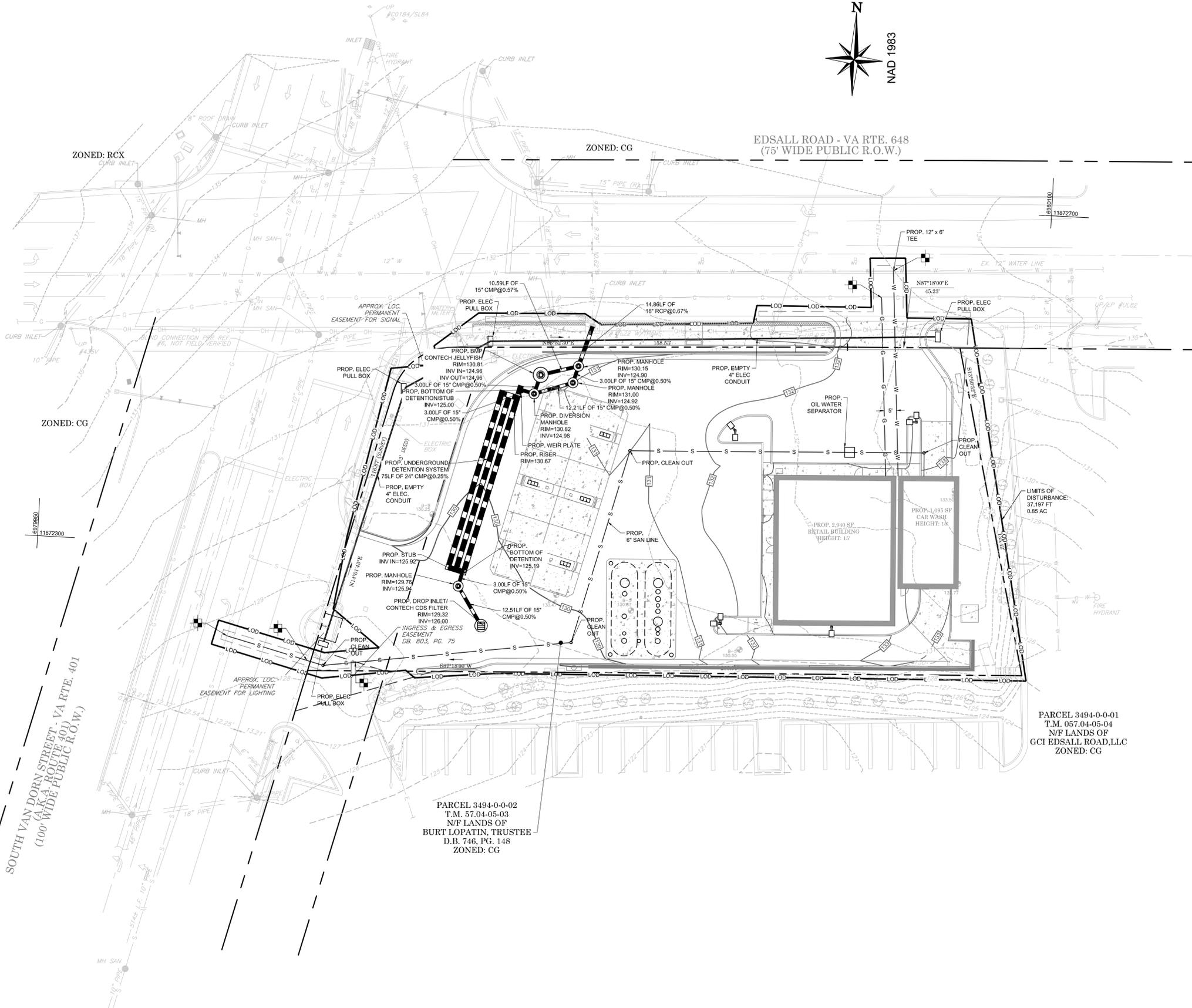
SHEET TITLE

GRADING PLAN

JOB #:	CPG-12737
DATE:	12-29-15
SCALE:	1"=20'
DRAWN BY:	MV
CHECKED BY:	AB
SHEET NO.	
C7	
OF 25	



EDSALL ROAD - VA RTE. 648
(75' WIDE PUBLIC R.O.W.)



SOUTH VAN DORN STREET (AKA ROUTE 401)
(100' WIDE PUBLIC R.O.W.)

PARCEL 3494-0-02
T.M. 57.04-05-03
N/F LANDS OF
BURT LOPATIN, TRUSTEE
D.B. 746, PG. 148
ZONED: CG

PARCEL 3494-0-01
T.M. 057.04-05-04
N/F LANDS OF
GCI EDSALL ROAD, LLC
ZONED: CG

- UTILITY NOTES:**
- THIS PROJECT IS NOT LOCATED IN THE COMBINED SEWER AREA.
 - CARWASH SHALL BE CONNECTED TO SANITARY SEWER AND EQUIPPED WITH AN OIL WATER SEPARATOR AND A WATER RECYCLING SYSTEM APPROVED BY A BUILDING OFFICIAL. THE SEPARATOR SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE.
 - PROTECTION OF POTABLE WATER SUPPLY SHALL BE IN ACCORDANCE WITH THE IPC SECTION 608 AND RELATED SUBSECTIONS.
 - INSTALL TWO 4" CONDUITS WITH PULL WIRES AND JUNCTION BOXES NO MORE THAN 300' APART AROUND PERIMETER OF SITE UNDER SIDEWALKS. CONDUITS SHALL TERMINATE IN UNDERGROUND JUNCTION BOX THAT HAS THE WORD "TRAFFIC" ENGRAVED ON IT.
 - ALL WASTE PRODUCTS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL ORDINANCES OR REGULATIONS AND NOT BE DISCHARGED TO THE SANITARY OR STORM SEWER OR DISCHARGED TO THE GROUND.
 - EXISTING 5/8" WATER METER TO BE ABANDONED.
 - MOSQUITO CONTROL NOTES:**
 - SINCE STORM WATER MANAGEMENT (SWM) AND BEST MANAGEMENT PRACTICE (BMP) SYSTEMS THAT HOLD WATER FOR MORE THAN 5 DAYS BETWEEN THE MONTHS OF MAY-OCTOBER HAVE THE POTENTIAL TO CAUSE MOSQUITO BREEDING HABITATS; THEREFORE, SUCH BMP'S SHALL BE TREATED WITH A REGISTERED MOSQUITO LARVAL CONTROL PRODUCT. ALL LABELS SHOULD BE FOLLOWED FOR APPLICATION RATES AND AMOUNTS.
 - SINCE EXCESSIVE VEGETATION IN EXISTING BMP'S ALSO INCREASES THE POTENTIAL FOR MOSQUITO PROBLEMS; THEREFORE, VEGETATION SHALL BE CONTROLLED AND CUT TO REDUCE MOSQUITO BREEDING.
 - CONTACT THE CITY OF ALEXANDRIA ENVIRONMENTAL HEALTH VECTOR BORNE ILLNESS PROGRAM (703-638-4400 EXT. 326, 327) FOR QUESTIONS OR TREATMENT ASSISTANCE.

CORE STATES GROUP

201 S. Maple Avenue
Arling, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdenschatz@core-eng.com

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



REVISIONS

REV	DATE	COMMENT	BY
1	01/20/16	PER CITY COMMENTS	DRP

UTILITY LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- PROPOSED LIMITS OF BMP / DETENTION
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED PARKING COUNT
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- PROPOSED STORM PIPE
- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED SANITARY FORCE MAIN
- TEST PIT REQUIRED

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA



CLIENT
SITE LOCATION
**5740 EDSALL RD,
ALEXANDRIA, VA
22304**



SHEET TITLE
UTILITY PLAN

APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

JOB #: CPG-12737

DATE: 12-29-15

SCALE: 1"=20'

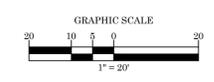
DRAWN BY: MV

CHECKED BY: AB

SHEET NO.

C8

OF 25

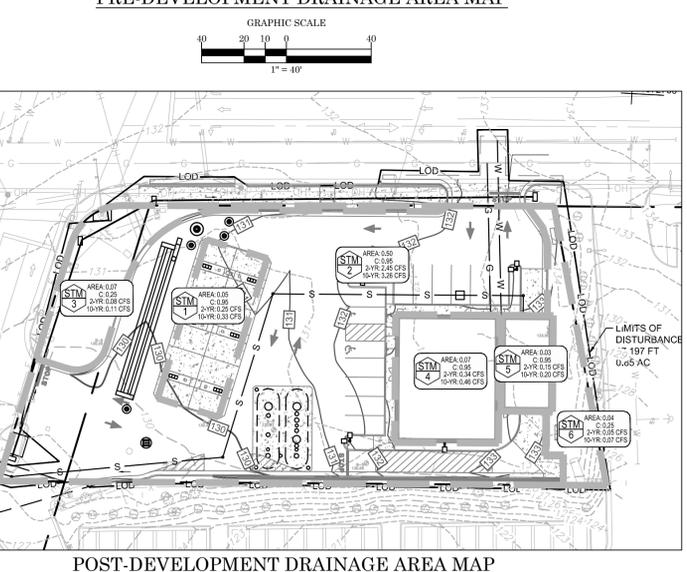
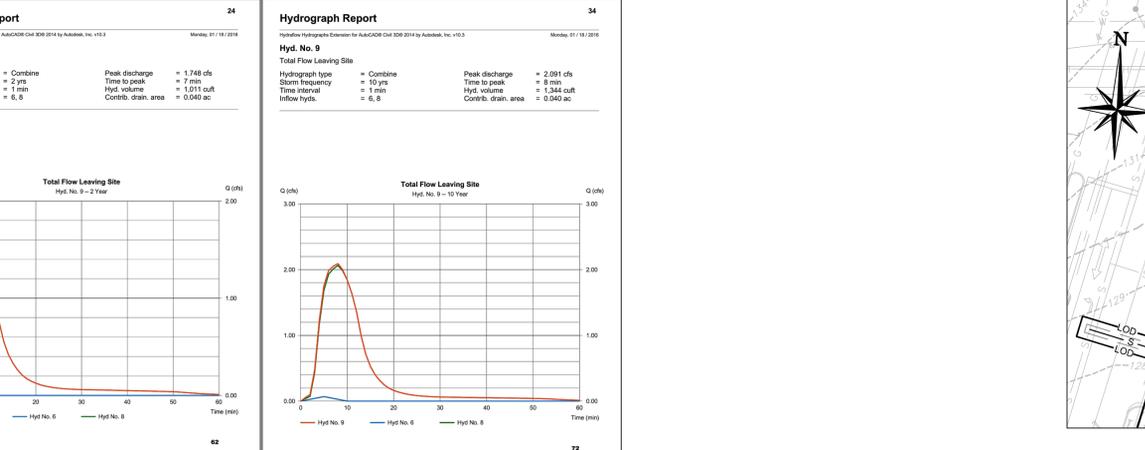
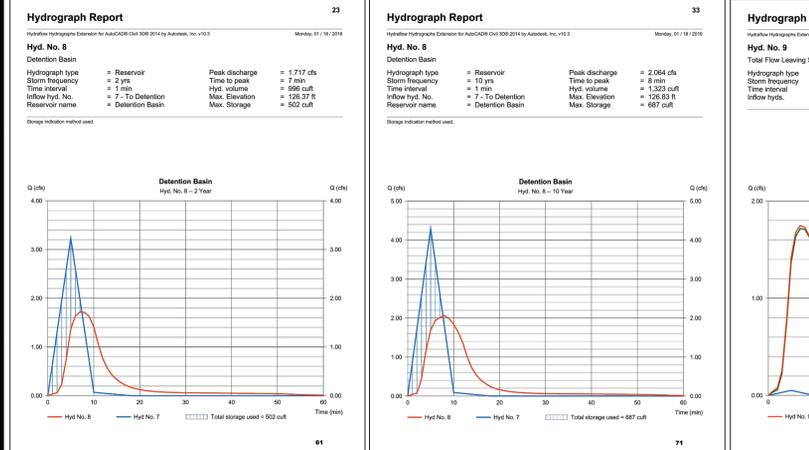
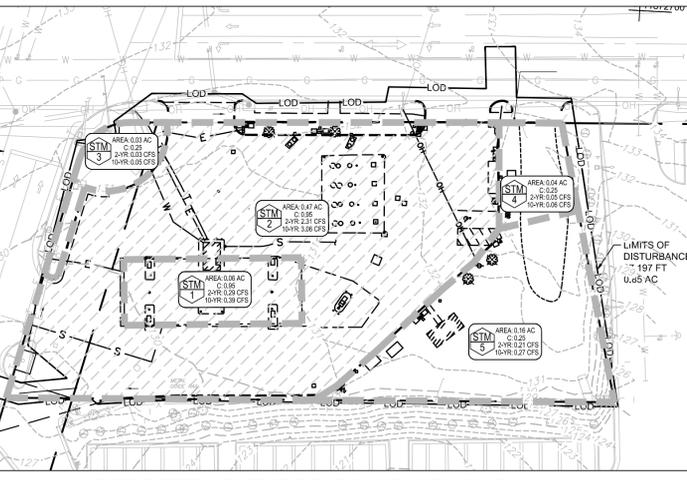


Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2017
To be used w/ 2011 BMP Standards and Specifications
Site Data
Project Name: Shell Edsall Road
Date: 06/13/2016
Post-Redevelopment Project & Land Cover Information
Total Disturbed Acreage: 0.76
Constants
Annual Rainfall (inches): 45
Target Rainfall Event (inches): 1.00
Phosphorus EMC (mg/L): 0.26
Nitrogen EMC (mg/L): 1.89
Pre-Redevelopment Land Cover (acres)
Forest/Open Space (acres): 0.00
Managed Turf (acres): 0.00
Impervious Cover (acres): 0.00
Post-Redevelopment Land Cover (acres)
Forest/Open Space (acres): 0.00
Managed Turf (acres): 0.00
Impervious Cover (acres): 0.00
Land Cover Summary
Pre-Redevelopment: Forest/Open Space (0.00), Managed Turf (0.00), Impervious (0.00)
Post-Redevelopment: Forest/Open Space (0.00), Managed Turf (0.00), Impervious (0.00)

Drainage Area A
Drainage Area A Land Cover (acres)
A soils: 0.00, B Soils: 0.00, C Soils: 0.00, D Soils: 0.00, Totals: 0.00, Land Cover Rv: 0.00
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land: 0.00, 0.00, 0.00, 0.00, 0.00, 0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed: 0.00, 0.00, 0.00, 0.11, 0.11, 0.25
Impervious Cover (acres): 0.00, 0.00, 0.00, 0.85, 0.85, 0.95
Total: 0.76, 0.76, 0.95
Post Development Treatment Volume (cf): 2341

Apply Practices that Remove Pollutants but Do Not Reduce Runoff Volume
Practice: 14. Manufactured BMP
Unit: impervious acres draining to device
Description of Credit: 0% runoff volume reduction
Credit: 0.00
Area (excluding areas treated by upstream practices): 0.65
Runoff from Upstream RR Practices (cf): 0.00
Runoff Reduction (cf): 0
Remaining Runoff Volume (cf): 2242
Phosphorus Efficiency (%): 50
Phosphorus Load from Upstream RR Practices (lbs): 0.00
Untreated Phosphorus Load to Practice (lbs): 1.41
Phosphorus Removed by Practice (lbs): 0.70
Remaining Phosphorus Load (lbs): 0.70
Downstream Treatment to be Employed:
14. Cotech Jellyfish Filter
turf areas draining to device
0% runoff volume reduction
0.00
0.11
0.00
0
379
50
0.00
0.06
0.03
0.03

Site Results
IMPERVIOUS COVER: 0.65, D.A. A: 0.00, D.A. B: 0.00, D.A. C: 0.00, D.A. D: 0.00, D.A. E: 0.00, AREA CHECK: OK
IMPERVIOUS COVER TREATED: 0.65, D.A. A: 0.00, D.A. B: 0.00, D.A. C: 0.00, D.A. D: 0.00, D.A. E: 0.00, AREA CHECK: OK
TURF AREA TREATED: 0.11, D.A. A: 0.00, D.A. B: 0.00, D.A. C: 0.00, D.A. D: 0.00, D.A. E: 0.00, AREA CHECK: OK
TOTAL PHOSPHORUS LOAD REDUCTION REQUIRED (LB/YR): 0.33
PHOSPHORUS LOAD REDUCTION ACHIEVED (LB/YR): 0.73
ADJUSTED POST DEVELOPMENT PHOSPHORUS LOAD (TP) (LB/YR): 0.24
REMAINING PHOSPHORUS LOAD REDUCTION (LB/YR) NEEDED: CONGRATULATIONS! YOU EXCEEDED THE TARGET REDUCTION BY 0.4 LB/YEAR
TOTAL NITROGEN LOAD REDUCTION REQUIRED (LB/YR): 5.36
NITROGEN LOAD REDUCTION ACHIEVED (LB/YR): 5.36
ADJUSTED POST DEVELOPMENT NITROGEN LOAD (TP) (LB/YR): 5.16

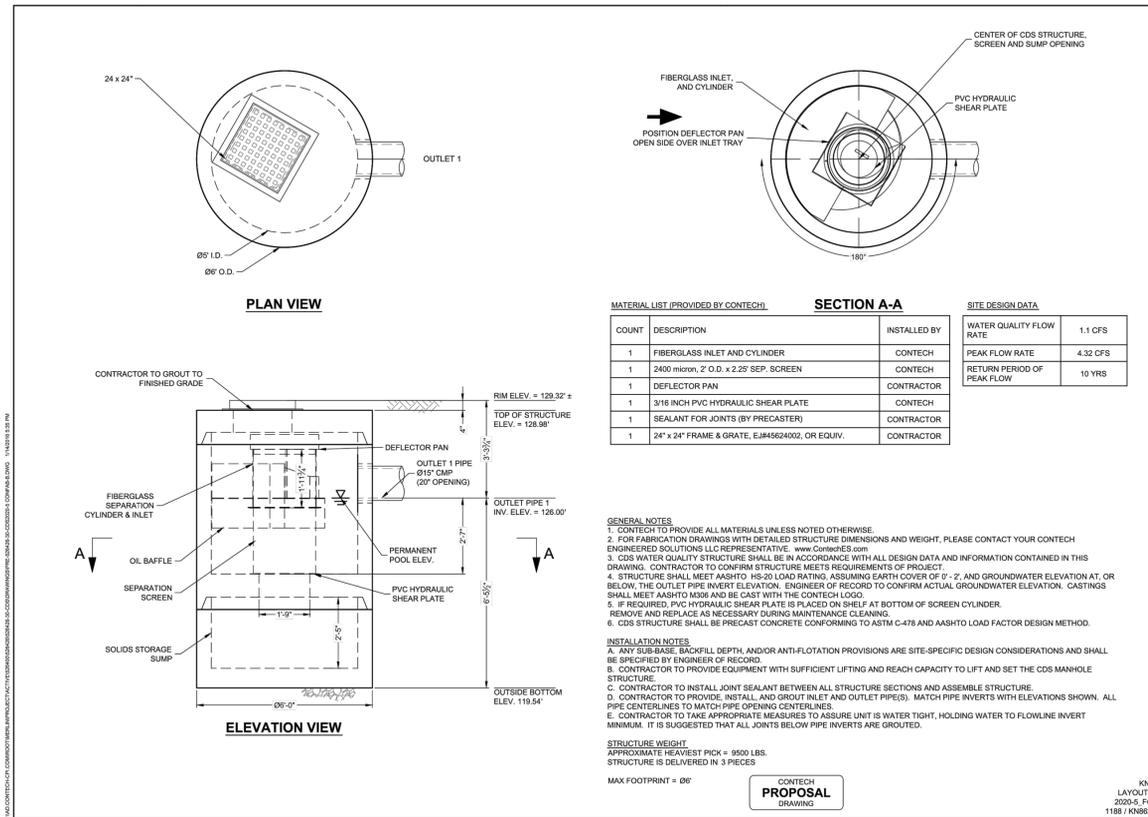


I. INTRODUCTION & PROJECT DESCRIPTION
The purpose of this report is to explain how the proposed development will satisfy the City of Alexandria stormwater management requirements. This Stormwater Management Report was prepared in accordance with City of Alexandria Stormwater Ordinance Article XIII, Environmental Management as well as the requirements determined by the Virginia State Code 9VAC28-870 - Virginia Stormwater Management Program (VSM) Regulation. The project consists of constructing an approximate 2,940 SF convenience store building, car wash, and six (6) fuel pump stations with associated site improvements that will drain to and be treated by the detention structure.

VII. STORMWATER QUALITY REQUIREMENTS
The stormwater quality management design requirements for a redevelopment of stormwater quality design are based on the Virginia Runoff Reduction Method in a management of stormwater quality design requirements are:
• 10% Reduction of phosphorus below the Pre-Redevelopment Load
• Alexandria Water Quality Volume Default (WQVD) shall be treated in a Best Management Practice (BMP) facility.
VIII. STORMWATER QUANTITY CONTROL REQUIREMENT
The design for this project will encompass the entire 0.76 acre site. The existing buildings and paved areas will be removed and replaced with a convenience store building, car wash, fueling stations, canopy, and new parking areas. The site will be graded so that 0.72 acres of the site is impervious area and proposed building roof and grass areas will drain into underground filtration and detention structures located along the western portion of the site. The filtration structures is designed to filter the first inch of runoff from the site impervious area (2,341 cf or 1.1 cfs) by using the Cotech Jellyfish structure.

VIII.A. PRE-DEVELOPMENT CONDITIONS
The five (5) individual existing drainage areas with the existing surface C-factors was placed into Hydrology to determine the existing site release rate using the Rational Method. The time of concentration (Tc) for each area was determined using the TR-55 method. When this method returned a Tc result less than 5 minutes, a Tc equal to 5 minutes was used as the minimum Tc. (Calculations sheets in Appendix A).

CORE STATES GROUP
201 S. Maple Avenue
Ambler, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdoenschatz@core-states.com
DOCUMENT PRELIMINARY SITE PLAN
PROJECT SHELL AT ALEXANDRIA, VA
CLIENT SHELL
SITE LOCATION 5740 EDSALL RD, ALEXANDRIA, VA 22304
ENGINEER SEAL AARON BODENSCHATZ
PROFESSIONAL ENGINEER Lic. No. 041462 12-31-15
SHEET TITLE STORMWATER MANAGEMENT PLAN
JOB #: CPG-1237
DATE: 12-29-15
SCALE: 1"=40'
DRAWN BY: MV
CHECKED BY: AB
SHEET NO. C9 OF 25



MATERIAL LIST (PROVIDED BY CONTECH)

COUNT	DESCRIPTION	INSTALLED BY
1	FIBERGLASS INLET AND CYLINDER	CONTECH
1	2400 mm. 2' O.D. x 2.25' SEP. SCREEN	CONTECH
1	DEFLECTOR PAN	CONTRACTOR
1	3/16" INCH PVC HYDRAULIC SHEAR PLATE	CONTECH
1	SEALANT FOR JOINTS (BY PRECASTER)	CONTRACTOR
1	24" x 24" FRAME & GRATE, EJM#5624002, OR EQUIV.	CONTRACTOR

GENERAL NOTES

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO H-20 LOAD RATING, ASSUMING EARTH COVER OF 2' - 2" AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M318 AND BE CAST WITH THE CONTECH LOGO.
- IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER.
- CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT. HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

STRUCTURE WEIGHT
APPROXIMATE HEAVIEST PCK = 9500 LBS.
STRUCTURE IS DELIVERED IN 3 PIECES

MAX FOOTPRINT = 24' x 24'

SITE DESIGN DATA

WATER QUALITY FLOW RATE	1.1 CFS
PEAK FLOW RATE	4.32 CFS
RETURN PERIOD OF PEAK FLOW	10 YRS

CONTECH ENGINEERED SOLUTIONS LLC
1188 / KN8293
2020-5 / 1018
KNSC LAYOUT 1A
2020-5 / 1018
1188 / KN8293

CONTECH ENGINEERED SOLUTIONS LLC
201 S. Maple Avenue
Arliner, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abodenschatz@core-eng.com

DATE: 1/14/16
SCALE: 3/8" = 1'-0"

DESIGNED BY: KMR
CHECKED BY: [Signature]
APPROVED BY: [Signature]

SEQUENCE NO.: 30
REVISIONS: 1 of 1

CORE STATES GROUP

201 S. Maple Avenue
Arliner, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abodenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811
Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE USE OF ANY UNDERGROUND UTILITY LOCATING SYSTEMS AND/OR EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY UTILITY COMPANY OR ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE FIELD.

REVISIONS

REV	DATE	COMMENT	BY
1	01/20/16	PER CITY COMMENTS	DRP

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA



CLIENT
5740 EDSALL RD, ALEXANDRIA, VA 22304

ENGINEER SEAL
COMMONWEALTH OF VIRGINIA
AARON BODENSCHATZ
Lic. No. 041462
12-31-15
PROFESSIONAL ENGINEER

SHEET TITLE
CONSTRUCTION DETAILS

JOB #: CPG-12737
DATE: 12-29-15
SCALE: N/A
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C10
OF 25

Maintenance
The CDS system should be inspected at regular intervals and maintained when necessary to ensure optimum performance. The rate at which the system collects pollutants will depend heavily on site activities than the size of the unit. For example, unstable soils or heavy winter sanding will cause the grit chamber to fill more quickly but regular sweeping of paved surfaces will slow accumulation.

Inspection
Inspection is the key to effective maintenance and is easily performed. Pollutant transport and deposition may vary from year to year and regular inspections will help ensure that the system is cleaned out at the appropriate time. At a minimum, inspections should be performed twice per year (e.g. spring and fall) however more frequent inspections may be necessary in climates where winter sanding operations may lead to rapid accumulations, or in equipment washdown areas. Installations should also be inspected more frequently where excessive amounts of trash are expected.

The visual inspection should ascertain that the system components are in working order and that there are no blockages or obstructions in the inlet and separation screen. The inspection should also quantify the accumulation of hydrocarbons, trash, and sediment in the system. Measuring pollutant accumulation can be done with a calibrated dipstick, tape measure or other measuring instrument. If absorbent material is used for enhanced removal of hydrocarbons, the level of discoloration of the sorbent material should also be identified during inspection. It is useful and often required as part of an operating permit to keep a record of each inspection. A simple form for doing so is provided.

Access to the CDS unit is typically achieved through two manhole access covers. One opening allows for inspection and cleanout of the separation chamber (cylinder and screen) and isolated sump. The other allows for inspection and cleanout of sediment captured and retained outside the screen. For deep units, a single manhole access point would allow both sump cleanout and access outside the screen.

The CDS system should be cleaned when the level of sediment has reached 75% of capacity in the isolated sump or when an appreciable level of hydrocarbons and trash has accumulated. If absorbent material is used, it should be replaced when significant discoloration has occurred. Performance will not be impacted until 100% of the sump capacity is exceeded however it is recommended that the system be cleaned prior to that for easier removal of sediment. The level of sediment is easily determined by measuring from finished grade down to the top of the sediment pile. To avoid underestimating the level of sediment in the chamber, the measuring device must be lowered to the top of the sediment pile carefully. Particles at the top of the pile typically offer less resistance to the end of the rod than consolidated particles toward the bottom of the pile. Once this measurement is recorded, it should be compared to the as-built drawing for the unit to determine whether the height of the sediment pile of the bottom of the sump floor exceeds 75% of the total height of isolated sump.

Cleaning
Cleaning of a CDS system should be done during dry weather conditions when no flow is entering the system. The use of a vacuum truck is generally the most effective and convenient method of removing pollutants from the system. Simply remove the manhole covers and insert the vacuum hose into the sump. The system should be completely drained down and the sump fully excavated of sediment. The area outside the screen should also be cleaned out if pollutant build-up exists in this area.

In installations where the risk of petroleum spills is small, liquid contaminants may not accumulate as quickly as sediment. However, the system should be cleaned out immediately in the event of an oil or gasoline spill should be cleaned out immediately. Motor oil and other hydrocarbons that accumulate on a more routine basis should be removed when an appreciable layer has been captured. To remove these pollutants, it may be preferable to use absorbent pads since they are usually less expensive to dispose than the oil/water emulsion that may be created by vacuuming the oily layer. Trash and debris can be netted out to separate it from the other pollutants. The screen should be power washed to ensure it is free of trash and debris.

Manhole covers should be securely sealed following cleaning activities to prevent leakage of runoff into the system from above and also to ensure that proper safety precautions have been followed. Confined space entry procedures need to be followed if physical access is required. Disposal of all material removed from the CDS system should be done in accordance with local regulations. In many jurisdictions, disposal of the sediments may be handled in the same manner as the disposal of sediments removed from catch basins or deep sump manholes.

Table 1: CDS Maintenance Indicators and Sediment Storage Capacities

CDS Model	Diameter		Distance from Water Surface to Top of Sediment Pile		Sediment Storage Capacity	
	ft	m	ft	m	yd ³	m ³
CD52015-4	4	1.2	3.0	0.9	0.9	0.7
CD52015	5	1.5	3.0	0.9	1.3	1.0
CD52020	5	1.5	3.5	1.1	1.3	1.0
CD52025	5	1.5	4.0	1.2	1.3	1.0
CD53020	6	1.8	4.0	1.2	2.1	1.6
CD53030	6	1.8	4.6	1.4	2.1	1.6
CD53035	6	1.8	5.0	1.5	2.1	1.6
CD54030	8	2.4	4.6	1.4	5.6	4.3
CD54040	8	2.4	5.7	1.7	5.6	4.3
CD54045	8	2.4	6.2	1.9	5.6	4.3
CD55640	10	3.0	6.3	1.9	8.7	6.7
CD55653	10	3.0	7.7	2.3	8.7	6.7
CD55668	10	3.0	9.3	2.8	8.7	6.7
CD55678	10	3.0	10.3	3.1	8.7	6.7



Report

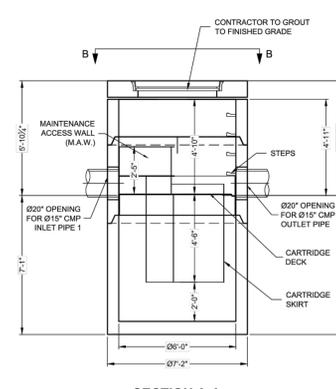
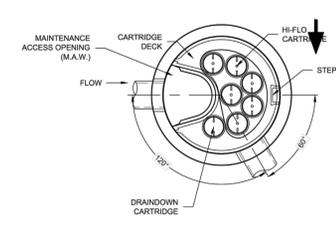
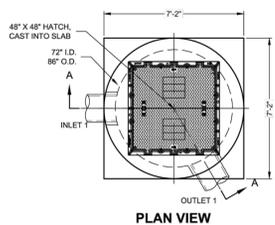
All drawings and specifications are available at www.conteches.com.

The specific design system is available from our engineers: info@conteches.com

Contech Engineered Solutions LLC provides site solutions for the civil engineering industry. Contech Engineered Solutions LLC provides site solutions for the civil engineering industry. Contech Engineered Solutions LLC provides site solutions for the civil engineering industry. Contech Engineered Solutions LLC provides site solutions for the civil engineering industry.

NOTHING IN THIS DRAWING SHOULD BE CONSIDERED AS AN EXPRESSED WARRANTY OR AN IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. SEE THE GENERAL CONDITIONS OF SALES (AVAILABLE AT WWW.CONTECHES.COM) FOR MORE INFORMATION.

This project was designed by one or more of the following US persons: 0322-015, 0322-016, 0322-017, 0322-018, 0322-019, 0322-020, 0322-021, 0322-022, 0322-023, 0322-024, 0322-025, 0322-026, 0322-027, 0322-028, 0322-029, 0322-030, 0322-031, 0322-032, 0322-033, 0322-034, 0322-035, 0322-036, 0322-037, 0322-038, 0322-039, 0322-040, 0322-041, 0322-042, 0322-043, 0322-044, 0322-045, 0322-046, 0322-047, 0322-048, 0322-049, 0322-050, 0322-051, 0322-052, 0322-053, 0322-054, 0322-055, 0322-056, 0322-057, 0322-058, 0322-059, 0322-060, 0322-061, 0322-062, 0322-063, 0322-064, 0322-065, 0322-066, 0322-067, 0322-068, 0322-069, 0322-070, 0322-071, 0322-072, 0322-073, 0322-074, 0322-075, 0322-076, 0322-077, 0322-078, 0322-079, 0322-080, 0322-081, 0322-082, 0322-083, 0322-084, 0322-085, 0322-086, 0322-087, 0322-088, 0322-089, 0322-090, 0322-091, 0322-092, 0322-093, 0322-094, 0322-095, 0322-096, 0322-097, 0322-098, 0322-099, 0322-100, 0322-101, 0322-102, 0322-103, 0322-104, 0322-105, 0322-106, 0322-107, 0322-108, 0322-109, 0322-110, 0322-111, 0322-112, 0322-113, 0322-114, 0322-115, 0322-116, 0322-117, 0322-118, 0322-119, 0322-120, 0322-121, 0322-122, 0322-123, 0322-124, 0322-125, 0322-126, 0322-127, 0322-128, 0322-129, 0322-130, 0322-131, 0322-132, 0322-133, 0322-134, 0322-135, 0322-136, 0322-137, 0322-138, 0322-139, 0322-140, 0322-141, 0322-142, 0322-143, 0322-144, 0322-145, 0322-146, 0322-147, 0322-148, 0322-149, 0322-150, 0322-151, 0322-152, 0322-153, 0322-154, 0322-155, 0322-156, 0322-157, 0322-158, 0322-159, 0322-160, 0322-161, 0322-162, 0322-163, 0322-164, 0322-165, 0322-166, 0322-167, 0322-168, 0322-169, 0322-170, 0322-171, 0322-172, 0322-173, 0322-174, 0322-175, 0322-176, 0322-177, 0322-178, 0322-179, 0322-180, 0322-181, 0322-182, 0322-183, 0322-184, 0322-185, 0322-186, 0322-187, 0322-188, 0322-189, 0322-190, 0322-191, 0322-192, 0322-193, 0322-194, 0322-195, 0322-196, 0322-197, 0322-198, 0322-199, 0322-200, 0322-201, 0322-202, 0322-203, 0322-204, 0322-205, 0322-206, 0322-207, 0322-208, 0322-209, 0322-210, 0322-211, 0322-212, 0322-213, 0322-214, 0322-215, 0322-216, 0322-217, 0322-218, 0322-219, 0322-220, 0322-221, 0322-222, 0322-223, 0322-224, 0322-225, 0322-226, 0322-227, 0322-228, 0322-229, 0322-230, 0322-231, 0322-232, 0322-233, 0322-234, 0322-235, 0322-236, 0322-237, 0322-238, 0322-239, 0322-240, 0322-241, 0322-242, 0322-243, 0322-244, 0322-245, 0322-246, 0322-247, 0322-248, 0322-249, 0322-250, 0322-251, 0322-252, 0322-253, 0322-254, 0322-255, 0322-256, 0322-257, 0322-258, 0322-259, 0322-260, 0322-261, 0322-262, 0322-263, 0322-264, 0322-265, 0322-266, 0322-267, 0322-268, 0322-269, 0322-270, 0322-271, 0322-272, 0322-273, 0322-274, 0322-275, 0322-276, 0322-277, 0322-278, 0322-279, 0322-280, 0322-281, 0322-282, 0322-283, 0322-284, 0322-285, 0322-286, 0322-287, 0322-288, 0322-289, 0322-290, 0322-291, 0322-292, 0322-293, 0322-294, 0322-295, 0322-296, 0322-297, 0322-298, 0322-299, 0322-300, 0322-301, 0322-302, 0322-303, 0322-304, 0322-305, 0322-306, 0322-307, 0322-308, 0322-309, 0322-310, 0322-311, 0322-312, 0322-313, 0322-314, 0322-315, 0322-316, 0322-317, 0322-318, 0322-319, 0322-320, 0322-321, 0322-322, 0322-323, 0322-324, 0322-325, 0322-326, 0322-327, 0322-328, 0322-329, 0322-330, 0322-331, 0322-332, 0322-333, 0322-334, 0322-335, 0322-336, 0322-337, 0322-338, 0322-339, 0322-340, 0322-341, 0322-342, 0322-343, 0322-344, 0322-345, 0322-346, 0322-347, 0322-348, 0322-349, 0322-350, 0322-351, 0322-352, 0322-353, 0322-354, 0322-355, 0322-356, 0322-357, 0322-358, 0322-359, 0322-360, 0322-361, 0322-362, 0322-363, 0322-364, 0322-365, 0322-366, 0322-367, 0322-368, 0322-369, 0322-370, 0322-371, 0322-372, 0322-373, 0322-374, 0322-375, 0322-376, 0322-377, 0322-378, 0322-379, 0322-380, 0322-381, 0322-382, 0322-383, 0322-384, 0322-385, 0322-386, 0322-387, 0322-388, 0322-389, 0322-390, 0322-391, 0322-392, 0322-393, 0322-394, 0322-395, 0322-396, 0322-397, 0322-398, 0322-399, 0322-400, 0322-401, 0322-402, 0322-403, 0322-404, 0322-405, 0322-406, 0322-407, 0322-408, 0322-409, 0322-410, 0322-411, 0322-412, 0322-413, 0322-414, 0322-415, 0322-416, 0322-417, 0322-418, 0322-419, 0322-420, 0322-421, 0322-422, 0322-423, 0322-424, 0322-425, 0322-426, 0322-427, 0322-428, 0322-429, 0322-430, 0322-431, 0322-432, 0322-433, 0322-434, 0322-435, 0322-436, 0322-437, 0322-438, 0322-439, 0322-440, 0322-441, 0322-442, 0322-443, 0322-444, 0322-445, 0322-446, 0322-447, 0322-448, 0322-449, 0322-450, 0322-451, 0322-452, 0322-453, 0322-454, 0322-455, 0322-456, 0322-457, 0322-458, 0322-459, 0322-460, 0322-461, 0322-462, 0322-463, 0322-464, 0322-465, 0322-466, 0322-467, 0322-468, 0322-469, 0322-470, 0322-471, 0322-472, 0322-473, 0322-474, 0322-475, 0322-476, 0322-477, 0322-478, 0322-479, 0322-480, 0322-481, 0322-482, 0322-483, 0322-484, 0322-485, 0322-486, 0322-487, 0322-488, 0322-489, 0322-490, 0322-491, 0322-492, 0322-493, 0322-494, 0322-495, 0322-496, 0322-497, 0322-498, 0322-499, 0322-500, 0322-501, 0322-502, 0322-503, 0322-504, 0322-505, 0322-506, 0322-507, 0322-508, 0322-509, 0322-510, 0322-511, 0322-512, 0322-513, 0322-514, 0322-515, 0322-516, 0322-517, 0322-518, 0322-519, 0322-520, 0322-521, 0322-522, 0322-523, 0322-524, 0322-525, 0322-526, 0322-527, 0322-528, 0322-529, 0322-530, 0322-531, 0322-532, 0322-533, 0322-534, 0322-535, 0322-536, 0322-537, 0322-538, 0322-539, 0322-540, 0322-541, 0322-542, 0322-543, 0322-544, 0322-545, 0322-546, 0322-547, 0322-548, 0322-549, 0322-550, 0322-551, 0322-552, 0322-553, 0322-554, 0322-555, 0322-556, 0322-557, 0322-558, 0322-559, 0322-560, 0322-561, 0322-562, 0322-563, 0322-564, 0322-565, 0322-566, 0322-567, 0322-568, 0322-569, 0322-570, 0322-571, 0322-572, 0322-573, 0322-574, 0322-575, 0322-576, 0322-577, 0322-578, 0322-579, 0322-580, 0322-581, 0322-582, 0322-583, 0322-584, 0322-585, 0322-586, 0322-587, 0322-588, 0322-589, 0322-590, 0322-591, 0322-592, 0322-593, 0322-594, 0322-595, 0322-596, 0322-597, 0322-598, 0322-599, 0322-600, 0322-601, 0322-602, 0322-603, 0322-604, 0322-605, 0322-606, 0322-607, 0322-608, 0322-609, 0322-610, 0322-611, 0322-612, 0322-613, 0322-614, 0322-615, 0322-616, 0322-617, 0322-618, 0322-619, 0322-620, 0322-621, 0322-622, 0322-623, 0322-624, 0322-625, 0322-626, 0322-627, 0322-628, 0322-629, 0322-630, 0322-631, 0322-632, 0322-633, 0322-634, 0322-635, 0322-636, 0322-637, 0322-638, 0322-639, 0322-640, 0322-641, 0322-642, 0322-643, 0322-644, 0322-645, 0322-646, 0322-647, 0322-648, 0322-649, 0322-650, 0322-651, 0322-652, 0322-653, 0322-654, 0322-655, 0322-656, 0322-657, 0322-658, 0322-659, 0322-660, 0322-661, 0322-662, 0322-663, 0322-664, 0322-665, 0322-666, 0322-667, 0322-668, 0322-669, 0322-670, 0322-671, 0322-672, 0322-673, 0322-674, 0322-675, 0322-676, 0322-677, 0322-678, 0322-679, 0322-680, 0322-681, 0322-682, 0322-683, 0322-684, 0322-685, 0322-686, 0322-687, 0322-688, 0322-689, 0322-690, 0322-691, 0322-692, 0322-693, 0322-694, 0322-695, 0322-696, 0322-697, 0322-698, 0322-699, 0322-700, 0322-701, 0322-702, 0322-703, 0322-704, 0322-705, 0322-706, 0322-707, 0322-708, 0322-709, 0322-7



MATERIAL LIST - PROVIDED BY CONTECH table with columns for COUNT, DESCRIPTION, INSTALLED BY, WATER QUALITY FLOW RATE, PEAK FLOW RATE, RETURN PERIOD OF PEAK FLOW, and 1.01 CFS.

GENERAL NOTES, INSTALLATION NOTES, and SITE DESIGN DATA sections containing technical specifications and instructions.

CONTECH ENGINEERING SOLUTIONS logo and contact information for JFF-6-1 (54") - 528428-10 SHELL AT ED SALL ROAD ALEXANDRIA VA FOR SYSTEMS.

Chapter 3 3.0 - Inspection and Maintenance Overview The primary purpose of the Jellyfish Filter is to capture and remove pollutants from stormwater runoff.

Maintenance frequencies and requirements are site specific and vary depending on pollutant loading. Maintenance activities may be required in the event of an upstream chemical spill or due to excessive sediment loading.

Inspection activities are typically conducted from surface observations and include: Observe if standing water is present, Observe if there is any physical damage to the deck or cartridge lids, Observe the amount of debris in the Maintenance Access Wall (MAW).

Maintenance activities typically include: Removal of oil, floatable trash and debris, Removal of collected sediments from manhole sump, Rinsing and re-installing the filter cartridges, Replace filter cartridge tentacles, as needed.

It is recommended that Jellyfish Filter inspection and maintenance be performed by professionally trained individuals, with experience in stormwater maintenance and disposal services.

3.1 - Inspection 3.1.1 - Timing Inspection of the Jellyfish Filter is key in determining the maintenance requirements for, and to develop a history of the site's pollutant loading characteristics.

- Inspection frequency in subsequent years is based on the inspection and maintenance plan developed in the first year of operation. Minimum frequency should be once per year. Inspection is recommended after each major storm event. Immediately after an upstream oil, fuel or other chemical spill.

- 3.1.2 - Inspection Tools and Equipment The following equipment and tools are typically required when performing a Jellyfish Filter inspection: Access cover lifting tool, Sediment probe (clear hollow tube with check valve), Tape measure, Flashlight, Camera, Inspection and maintenance log documentation, Safety cones and caution tape, Hard hat, safety shoes, safety glasses, and chemical-resistant gloves.

- 3.1.3 - Inspection Procedure The following procedure is recommended when performing inspections: Provide traffic control measures as necessary, Inspect the MAW for floatable pollutants such as trash, debris, and oil sheen, Measure oil and sediment depth by lowering a sediment probe through the MAW opening until contact is made with the floor of the structure, Retrieve the probe, record sediment depth, and presence of any oil layers and repeat in multiple locations within the MAW opening, Sediment depth of 12 inches or greater indicates maintenance is required, Inspect cartridge lids. Missing or damaged cartridge lids to be replaced, Inspect the MAW, cartridge deck, and backwash pool weir for cracks or broken components. If damaged, repair is required, Dry weather inspections: inspect the cartridge deck for standing water, No standing water under normal operating condition, Standing water inside the backwash pool, but not outside the backwash pool, this condition indicates that the filter cartridges need to be rinsed, Standing water outside the backwash pool may indicate a backwater condition caused by high water elevation in the receiving water body, or possibly a blockage in downstream infrastructure, Wet weather inspections: observe the rate and movement of water in the unit. Note the depth of water above deck elevation within the MAW, Less than 6 inches, flow should be exiting the cartridge lids of each of the draindown cartridges (i.e. cartridges located outside the backwash pool), Greater than 6 inches, flow should be exiting the cartridge lids of each of the draindown cartridges and each of the hi-flo cartridges (i.e. cartridges located inside the backwash pool), and water should be overflowing the backwash pool weir, 18 inches or greater and relatively little flow is exiting the cartridge lids and outlet pipe, this condition indicates that the filter cartridges are occluded with sediment and need to be rinsed.



The depth of sediment and oil can be measured from the surface by using a sediment probe or dipstick tube equipped with a ball check valve and inserted through the Jellyfish Filter's maintenance access wall opening.

3.2 - Maintenance 3.2.1 - Maintenance Requirements Required maintenance for Jellyfish Filter units is based upon results of the most recent inspection, historical maintenance records, or the site specific water quality management plan, whichever is more frequent.

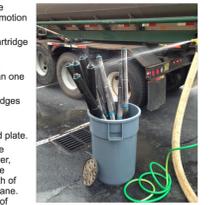
- Sediment removal for depths reaching 12 inches or greater, or within 3 years of the most recent sediment cleaning, whichever occurs sooner, Floatable trash, debris, and oil must be removed, Filter cartridges rinsed and re-installed as required by the most recent inspection results, or within 12 months of the most recent filter rinsing, whichever occurs first, Replace filter cartridge if rinsing does not remove accumulated sediment from the tentacles, or if tentacles are damaged or missing, It is recommended that tentacles should remain in service no longer than 5 years before replacement, Damaged or missing cartridge deck components must be repaired or replaced as indicated by results of the most recent inspection, The unit must be cleaned out and filter cartridges inspected immediately after an upstream oil, fuel, or chemical spill. Filter cartridge tentacles should be replaced if damaged by the spill.

- 3.2.2 - Maintenance Tools and Equipment The following equipment and tools are typically required when performing Jellyfish Filter maintenance: Vacuum truck, Ladder, Garden hose and low pressure sprayer, Rope or cord to lift filter cartridges from the cartridge deck to the surface, Adjustable pliers for removing filter cartridge tentacles from cartridge head plate, Plastic tub or garbage can for collecting effluent from rinsed filter cartridge tentacles, Access cover lifting tool, Sediment probe (clear hollow tube with check valve), Tape measure, Flashlight, Camera, Inspection and maintenance log documentation, Safety cones and caution tape, Hard hats, safety shoes, safety glasses, chemical-resistant gloves, and hearing protection for service providers, Proper safety equipment for confined space entry, Replacement filter cartridge tentacles if required.

3.2.3 - Maintenance Procedure The following procedures are recommended when maintaining the Jellyfish Filter: Provide traffic control measures as necessary, Open all covers and hatches. Use ventilation equipment as required, according to confined space entry procedures, Caution: Dropping objects onto the cartridge deck may cause damage, Perform Inspection Procedure prior to maintenance activity, To access the cartridge deck for filter cartridge service, descend the ladder and step directly onto the deck, Caution: Do not step onto the maintenance access wall (MAW) or backwash pool weir, as damage may result. Note that the cartridge deck may be slippery.

3.2.4 - Filter Cartridge Rinsing Procedure Remove a cartridge lid, Remove the cartridge from the receptacle using the lifting loops in the cartridge head plate. Caution: Should

a snag occur, do not force the cartridge upward as damage to the tentacles may result. Rotate the cartridge with a slight sideways motion to clear the snag and continue removing the cartridge. Thread a rope or cord through the lifting loops and lift the filter cartridge from the cartridge deck to the top surface outside the structure. Caution: Immediately replace and secure the lid on the exposed empty receptacle as a safety precaution. Never expose more than one empty cartridge receptacle. Repeat the filter cartridge removal procedure until all of the cartridges are located at the top surface outside the structure. Disassemble the tentacles from each filter cartridge by rotating counter-clockwise. Remove the tentacles from the cartridge head plate. Position a receptacle in a plastic tub or garbage can such that the rinse water is captured. Using a low-pressure garden hose sprayer, direct a wide-angle water spray at a downward 45° angle onto the tentacle membrane, sweeping from top to bottom along the length of the tentacle. Rinse until all sediment is removed from the membrane. Caution: Do not use a high pressure sprayer or focused stream of water on the membrane. Excessive water pressure may damage the membrane. Turn membrane upside down and pour out any residual rinsewater to ensure center of tentacle is clear of any sediment. Remove rinse water from rinse tub or garbage can using a vacuum hose as needed. Slip the ring over the tentacle nipple and reassemble onto the cartridge head plate; hand-tighten. If rinsing is ineffective in removing sediment from the tentacles, or if tentacles are damaged, provisions must be made to replace the spent or damaged tentacles with new tentacles. Contact Contech to order replacement tentacles. Lower a rinsed filter cartridge to the cartridge deck. Remove the cartridge lid on a receptacle and carefully lower the filter cartridge into the receptacle until the head plate gasket is seated squarely on the lip of the receptacle. Caution: Should a snag occur when lowering the cartridge into the receptacle, do not force the cartridge downward; damage may occur. Rotate the cartridge with a slight sideways motion to clear the snag and complete the installation. Replace the cartridge lid on the exposed receptacle. Rinse away any accumulated grit from the receptacle threads if needed to get a proper fit. Align the cartridge lid male threads with the cartridge receptacle female threads. Firmly twist the cartridge lid clockwise a minimum 110° to seat the filter cartridge snugly in place, with a proper watertight seal. Repeat cartridge installation until all cartridges are installed.



Rinsing of dirty filter cartridge tentacles with a low-pressure garden hose sprayer, and using a plastic garbage container to capture rinse water.

3.2.5 - Vacuum Cleaning Procedure Caution: Perform vacuum cleaning of the Jellyfish Filter only after filter cartridges have been removed from the system. Access the lower chamber for vacuum cleaning only through the maintenance access wall (MAW) opening, being careful not to damage the flexible plastic separator skirt that is attached to the underside of the deck. The separator skirt surrounds the filter cartridge zone, and could be torn if contacted by the wand. Do not lower the vacuum wand through a cartridge receptacle, as damage to the receptacle will result. To remove floatable trash, debris, and oil, lower the vacuum hose into the MAW opening and vacuum floatable pollutants off the surface of the water. Alternatively, floatable solids may be removed by a net or skimmer. Using a vacuum hose, remove the water from the lower chamber to the sanitary sewer, if permitted by the local regulating authority, or into a separate containment tank. Remove the sediment from the bottom of the unit through the MAW opening. For larger diameter Jellyfish Filter manholes (8-11, 10-11, 12-11 diameter), complete sediment removal may be facilitated by removing a cartridge lid from an empty receptacle and inserting a jetting wand (not a vacuum wand) through the receptacle. Use the sprayer to rinse loosened sediment toward the vacuum hose in the MAW opening, being careful not to damage the receptacle. After the unit is clean, re-fill the lower chamber with water if required by the local jurisdiction, and re-install filter cartridges. Dispose of sediment, floatable trash and debris, oil, spent tentacles, and water according to local regulatory requirements.

3.2.6 - Chemical Spills Caution: If a chemical spill has been captured by the Jellyfish Filter, do not attempt maintenance. Immediately contact the local hazard response agency.



A maintenance worker stationed on the surface uses a vacuum hose to vacuuate water, sediment, and floatables from the Jellyfish Filter by inserting the vacuum wand through the maintenance access wall opening.



A view of a Jellyfish Filter cartridge deck from the surface showing all the cartridge lids intact and no standing water on the deck (left image), and inspection of the flexible separator skirt from inside the maintenance access wall opening (right image).



Assembly of a Jellyfish Filter cartridge (left) and installation of a filter cartridge into a cartridge receptacle in the deck (right).

Jellyfish Filter Inspection and Maintenance Log

Owner: _____ Jellyfish Model No.: _____ Location: _____ GPS Coordinates: _____ Land Use: Commercial: _____ Industrial: _____ Service Station: _____ Road/Highway: _____ Airport: _____ Residential: _____ Parking Lot: _____

Table with columns for Date/Time, Inspector, Maintenance Contractor, Visible Oil Present, Oil Quantity Removed, Floatable Debris Present, Water Depth in Backwash Pool, Draindown Cartridges externally rinsed and re-commissioned, New tentacles put on Cartridges, Hi-Flo cartridges externally rinsed and re-commissioned, New tentacles put on Hi-Flo Cartridges, Sediment Depth Measured, Sediment Depth (inches or mm), Sediment Removed, Cartridge Lids intact, Observed Damage, and Comments.

APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR DATE CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED INSTRUMENT NO. DEED BOOK NO. PAGE NO.

CORE STATES GROUP logo and contact information: 201 S. Maple Avenue, Ambler, PA 19002, Phone (215) 809-2125, Fax (215) 809-2124, Abodenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED.



REVISIONS table with columns for REV, DATE, COMMENT, and BY.

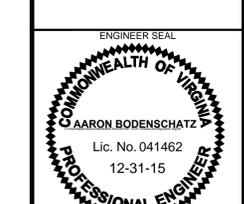
DOCUMENT PRELIMINARY SITE PLAN

PROJECT SHELL AT ALEXANDRIA, VA

CLIENT



SITE LOCATION 5740 EDSALL RD, ALEXANDRIA, VA 22304

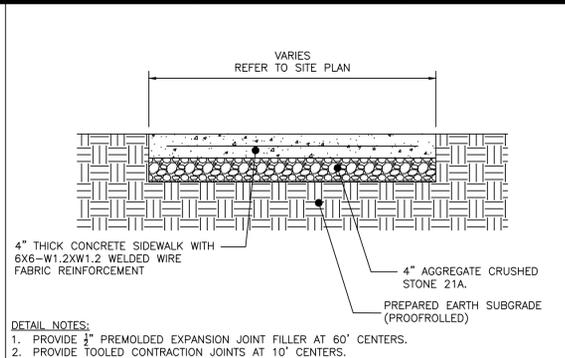


SHEET TITLE

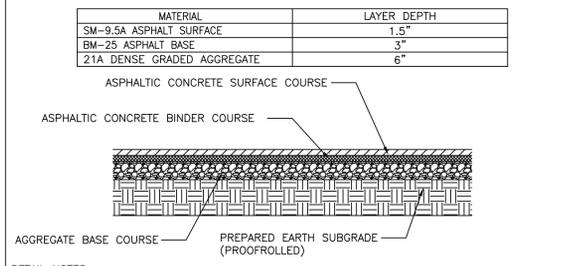
CONSTRUCTION DETAILS

JOB #: CPG-12737 DATE: 12-29-15 SCALE: N/A DRAWN BY: MW CHECKED BY: AB SHEET NO.

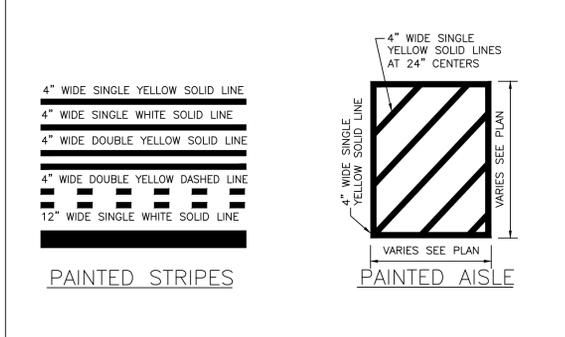
C11 OF 25



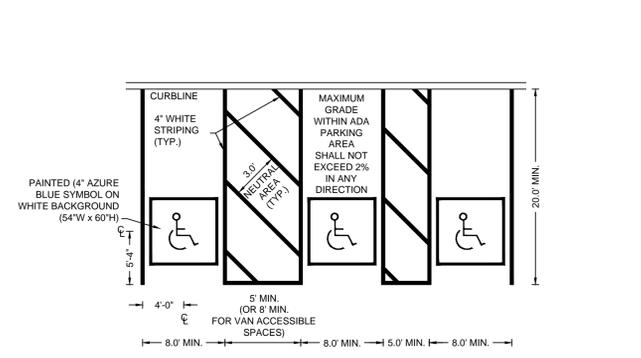
CONCRETE SIDEWALK DETAIL
N.T.S.



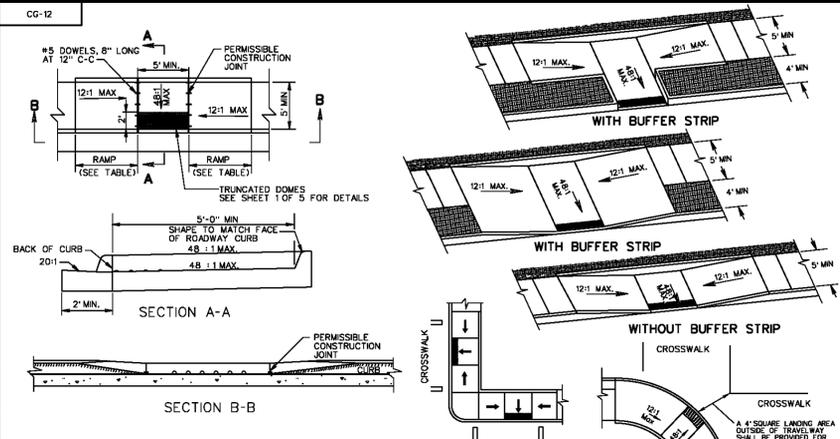
ASPHALT PAVING DETAIL (STANDARD DUTY)
N.T.S.



PAINTED STRIPE DETAIL



A.D.A ACCESSIBLE PARKING SPACE STRIPING
N.T.S.

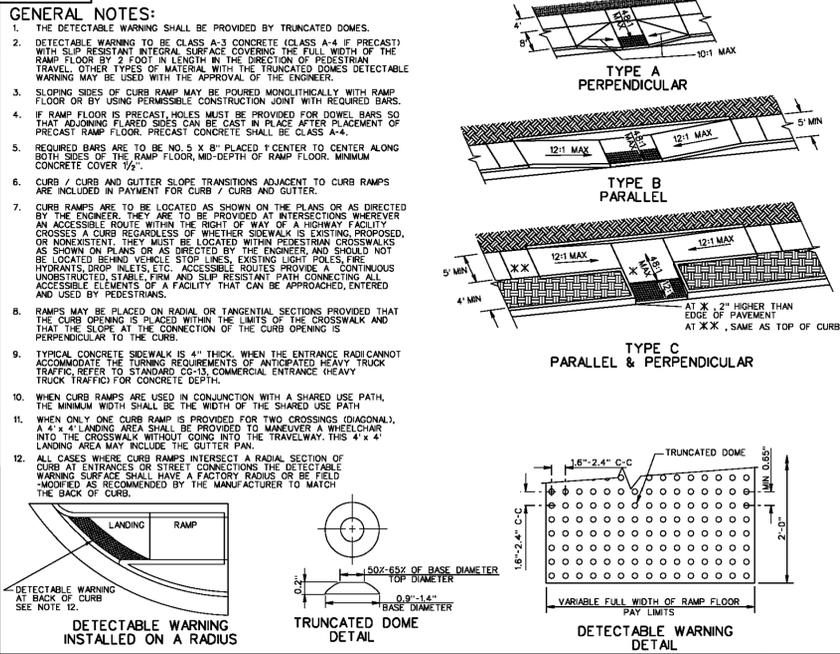


NOTES: FOR GENERAL NOTES ON THE DETECTABLE WARNING SURFACE, SEE SHEET 1 OF 5.

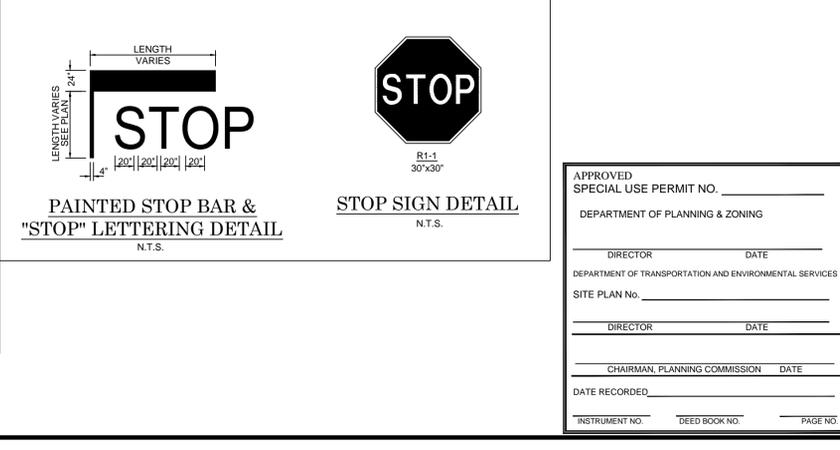
THE REQUIRED LENGTH OF A PARALLEL RAMP IS LIMITED TO 15 FEET, REGARDLESS OF THE SLOPE.

ROADWAY GRADE IN PERCENT	MINIMUM RAMP LENGTH IN FEET
0	4
1	5
2	6
3	8
4	10
5	12
6	15

CG-12 DETECTABLE WARNING SURFACE
TYPE B (PARALLEL APPLICATION)
VIRGINIA DEPARTMENT OF TRANSPORTATION



CG-12 DETECTABLE WARNING SURFACE
(GENERAL NOTES)
VIRGINIA DEPARTMENT OF TRANSPORTATION



CORE STATES GROUP

201 S. Maple Avenue
 Ambler, PA 19002
 Phone (215) 809-2125
 Fax (215) 809-2124
 a.bodenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



REV	DATE	COMMENT	BY

DOCUMENT PRELIMINARY SITE PLAN

PROJECT SHELL AT ALEXANDRIA, VA

CLIENT



SITE LOCATION
 5740 EDSALL RD,
 ALEXANDRIA, VA
 22304

ENGINEER SEAL

COMMONWEALTH OF VIRGINIA

AARON BODENSCHATZ
 License No. 1462
 12-31-15

PROFESSIONAL ENGINEER

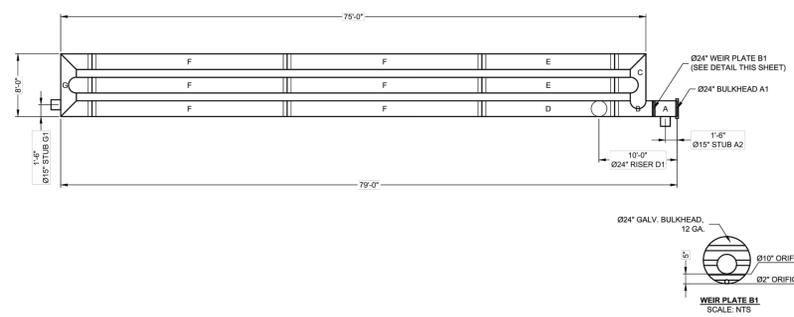
SHEET TITLE
 CONSTRUCTION DETAILS

JOB #: CPG-12737
 DATE: 12-29-15
 SCALE: N/A
 DRAWN BY: MV
 CHECKED BY: AB

SHEET NO.
C13
 OF 25

STUB INFORMATION		
PIECE	STUB INVERT	SYSTEM INVERT
Ø12" STUB A2	125.0	125.0
Ø12" STUB G1	125.92	125.19

RISER INFORMATION		
PIECE	RIM ELEV.	SYSTEM INVERT
Ø24" RISER D1	130.67	125.00



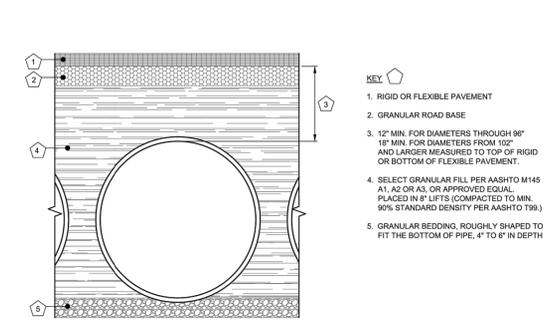
THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (3) PAGES INCLUDING THE FOLLOWING:

- VOLUME = 733 CF
- MAINLINE PIPE GAUGE = 16
- WALL TYPE = SOLID
- DIAMETER = Ø24"
- FINISH = ALT2

CUSTOMER _____ DATE _____

ASSEMBLY
SCALE: 1" = 10'
VOLUME: 733 CF
LOADING: H20/H25
SYSTEM INV = VARIES AT 0.25%

- NOTES**
- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.
 - ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
 - ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A996.
 - ALL RISERS AND STUBS ARE 2"x2" x2" CORRUGATION AND 16 GAUGE UNLESS OTHERWISE NOTED.
 - RISERS TO BE FIELD TRIMMED TO GRADE.
 - QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.

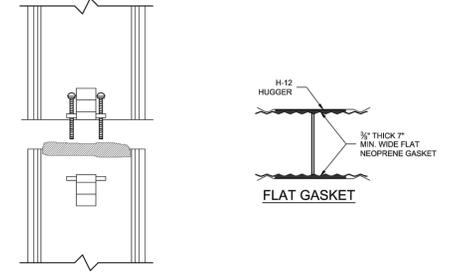


FOUNDATION BEDDING PREPARATION
PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, 4" OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

BACKFILL
THE BACKFILL SHALL BE AN A1, A2 OR A3 GRANULAR FILL PER AASHTO M145, OR A WELL-GRADED GRANULAR FILL AS APPROVED BY THE SITE ENGINEER (SEE INSTALLATION GUIDELINES). THE MATERIAL SHALL BE PLACED IN 6" LOOSE LIFTS AND COMPACTED TO 90% AASHTO T99 STANDARD PROCTOR DENSITY. WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (16") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

1 BACKFILL DETAIL
SCALE: N.T.S.



CONNECTION DETAIL
SINGLE BOLT, BAR AND STRAP

- GENERAL NOTES**
- BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
12" THRU 48", 1-PIECE
54" THRU 96", 2-PIECE
102" THRU 144", 3-PIECE
 - BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS
 - ROLLED ANNUJAR END CORRUGATIONS ARE NORMALLY 2"x2" x2" DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES

2 H-12 HUGGER BAND DETAIL
SCALE: N.T.S.

CORE STATES GROUP

201 S. Maple Avenue
Amherst, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdenschatz@core-eng.com

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811
Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE USE OF ANY UNDERGROUND UTILITY LOCATIONS SHOWN ON THIS DRAWING IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION, DEPTH OR EXISTENCE OF ANY UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

REVISIONS			
REV	DATE	COMMENT	BY
1	01/20/16	PER CITY COMMENTS	DRP

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
605 Global Way Suite 113, Linthicum, MD 21090
866-740-3318 410-796-5005 866-376-8511 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH PROPOSAL DRAWING

24" UNDERGROUND DETENTION SYSTEM - 526426-020
SHELL - EDSALL ROAD
ALEXANDRIA, VA
SITE DESIGNATION: UDS

PROJECT NO. 526426 020 DATE 1/13/16
CHECKED: KR APPROVED: KMR
SHEET NO. P1 OF 3

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
605 Global Way Suite 113, Linthicum, MD 21090
866-740-3318 410-796-5005 866-376-8511 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH PROPOSAL DRAWING

24" UNDERGROUND DETENTION SYSTEM - 526426-020
SHELL - EDSALL ROAD
ALEXANDRIA, VA
SITE DESIGNATION: UDS

PROJECT NO. 526426 020 DATE 1/13/16
CHECKED: KR APPROVED: KMR
SHEET NO. P2 OF 3

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
605 Global Way Suite 113, Linthicum, MD 21090
866-740-3318 410-796-5005 866-376-8511 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH PROPOSAL DRAWING

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT
ALEXANDRIA, VA



SITE LOCATION
5740 EDSALL RD,
ALEXANDRIA, VA
22304

ENGINEER SEAL
COMMONWEALTH OF VIRGINIA
AARON BODENSCHATZ
Lic. No. 041462
12-31-15

SHEET TITLE
CONSTRUCTION
DETAILS

APPROVED
SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

JOB #: CPG-12737
DATE: 12-29-15
SCALE: N/A
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C14
OF 25

3 CONSTRUCTION LOADING DIAGRAM
SCALE: N.T.S.

PIPE SPAN, INCHES	18-50	50-75	75-110	110-150
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4' 4"x4'	20"	#5 @ 10" OCEW #5 @ 10" OCEW	2,540 1,900
30"	Ø 4' 4"x4'	32"	#5 @ 10" OCEW #5 @ 10" OCEW	2,280 1,670
36"	Ø 5' 5"x5'	38"	#5 @ 9" OCEW #5 @ 9" OCEW	2,060 1,500
42"	Ø 5' 5"x5'	44"	#5 @ 8" OCEW #5 @ 8" OCEW	1,490 1,370
48"	Ø 6' 6"x6'	50"	#5 @ 7" OCEW #5 @ 7" OCEW	1,210 1,270

4 MANHOLE CAP DETAIL
SCALE: N.T.S.

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
605 Global Way Suite 113, Linthicum, MD 21090
866-740-3318 410-796-5005 866-376-8511 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH PROPOSAL DRAWING

24" UNDERGROUND DETENTION SYSTEM - 526426-020
SHELL - EDSALL ROAD
ALEXANDRIA, VA
SITE DESIGNATION: UDS

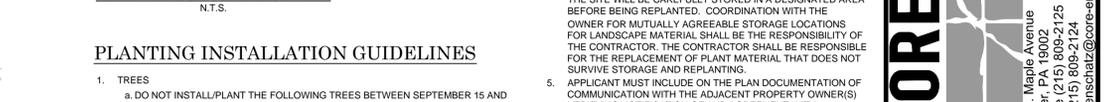
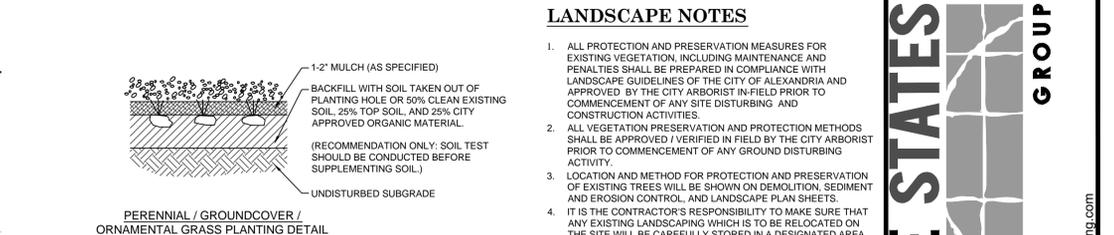
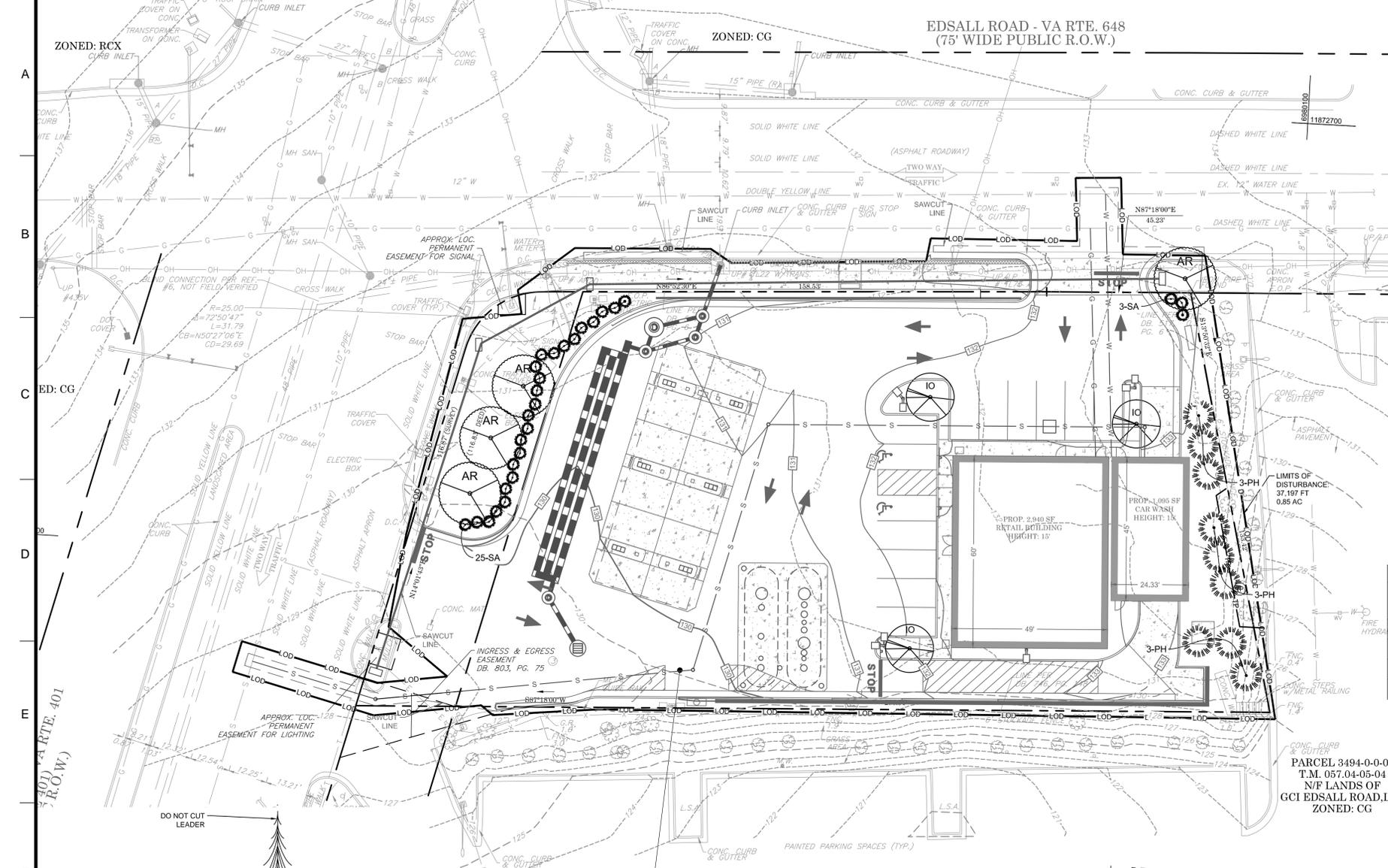
PROJECT NO. 526426 020 DATE 1/13/16
CHECKED: KR APPROVED: KMR
SHEET NO. P3 OF 3

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
605 Global Way Suite 113, Linthicum, MD 21090
866-740-3318 410-796-5005 866-376-8511 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH PROPOSAL DRAWING

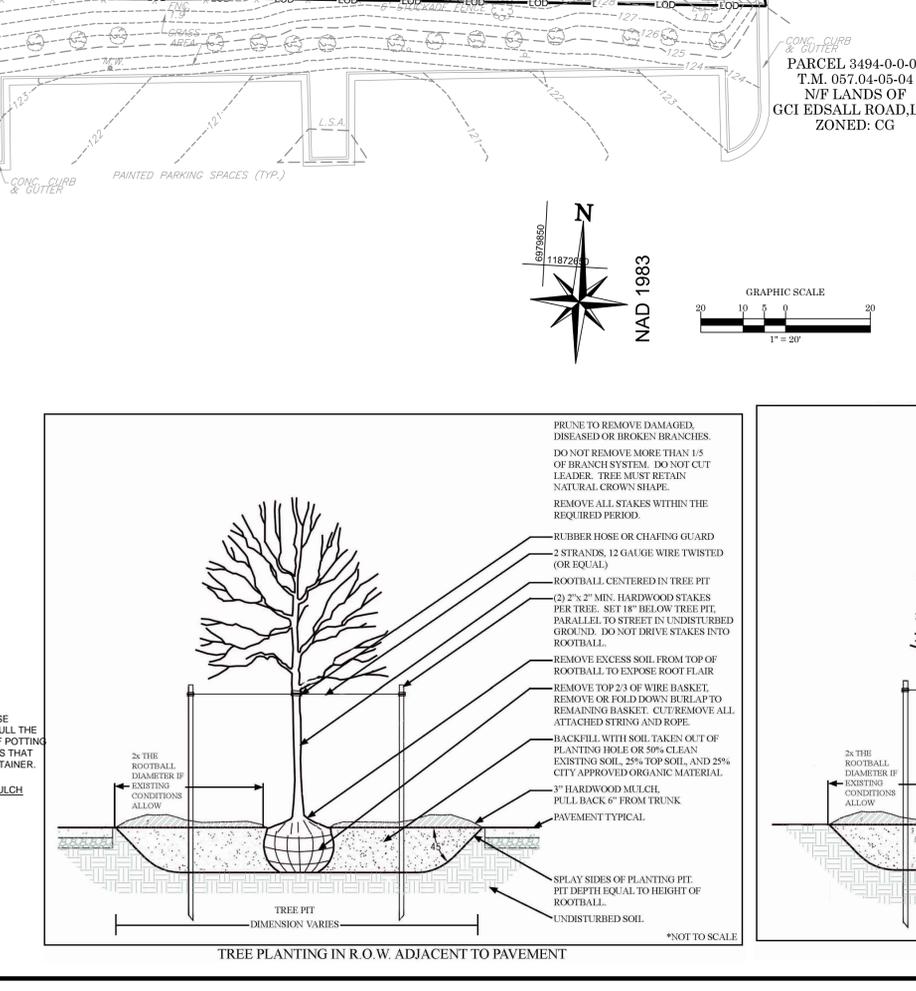
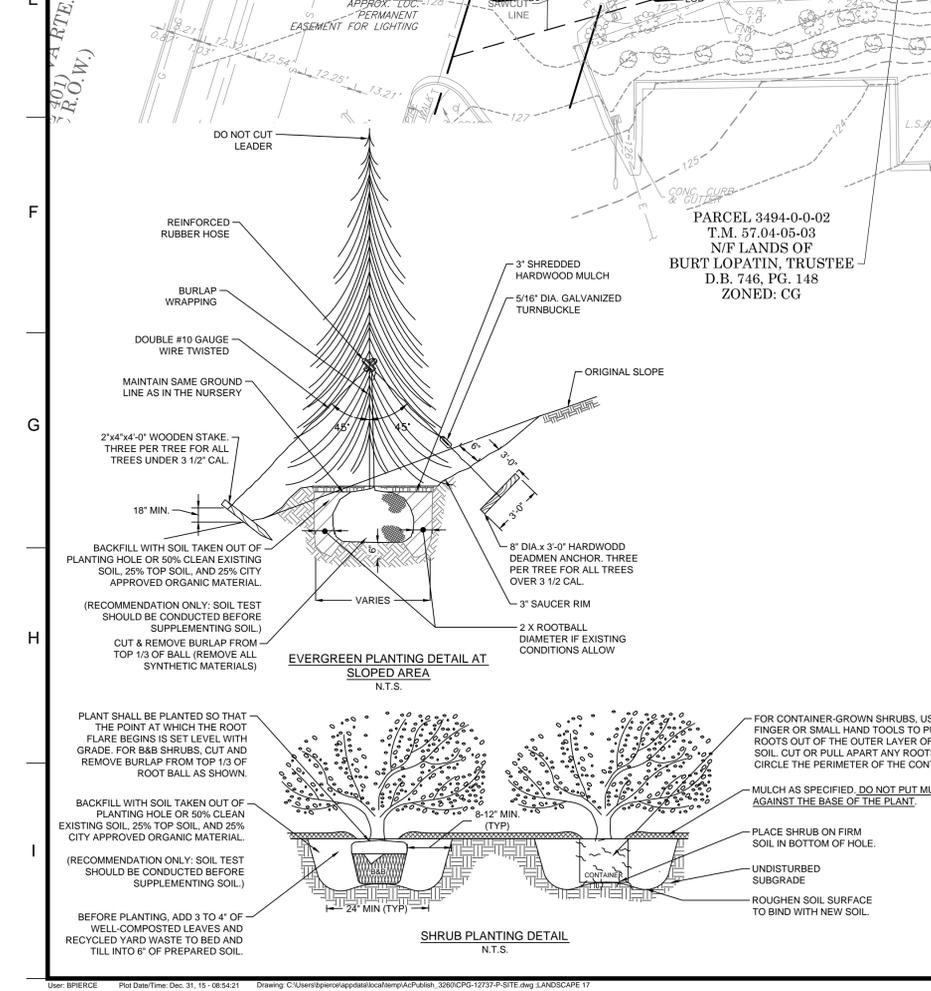
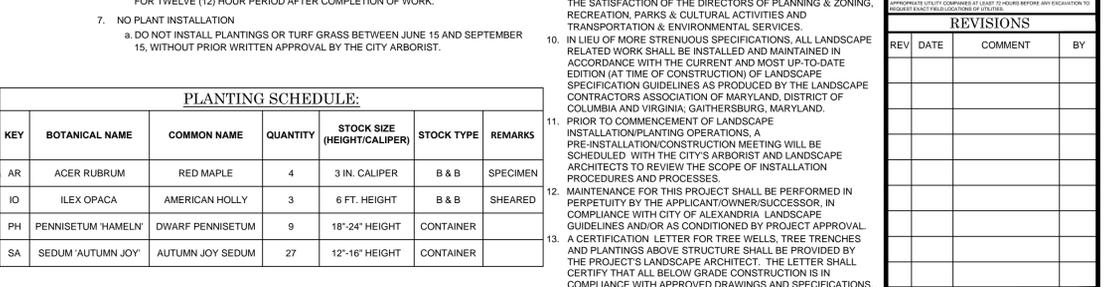
24" UNDERGROUND DETENTION SYSTEM - 526426-020
SHELL - EDSALL ROAD
ALEXANDRIA, VA
SITE DESIGNATION: UDS

PROJECT NO. 526426 020 DATE 1/13/16
CHECKED: KR APPROVED: KMR
SHEET NO. P3 OF 3



PLANTING SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	STOCK SIZE (HEIGHT/CALIPER)	STOCK TYPE	REMARKS
AR	ACER RUBRUM	RED MAPLE	4	3 IN. CALIPER	B & B	SPECIMEN
IO	ILEX OPACA	AMERICAN HOLLY	3	6 FT. HEIGHT	B & B	SHEARED
PH	PENNISETUM HAMELNI	DWARF PENNISETUM	9	18"-24" HEIGHT	CONTAINER	
SA	SEDUM AUTUMN JOY	AUTUMN JOY SEDUM	27	12"-16" HEIGHT	CONTAINER	



REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT PRELIMINARY SITE PLAN

PROJECT: SHELL AT ALEXANDRIA, VA

CLIENT:

SITE LOCATION: 5740 EDSALL RD, ALEXANDRIA, VA 22304

ENGINEER SEAL:

LANDSCAPE PLAN

APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED: _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

JOB #: CPG-1237

DATE: 12-29-15

SCALE: 1"=20'

DRAWN BY: MV

CHECKED BY: AB

SHEET NO. **C15** OF 25

CORE STATES GROUP

201 S. Maple Avenue
Amherst, PA 16002
Phone (717) 809-2125
Fax (717) 809-2124
Abdennasr@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

ALERT TO CONTRACTOR:

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED DRIVE THRU PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GO SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.
- PROPOSED LIMITS OF PAVEMENT REPLACEMENT SHOWN ON THIS PLAN ARE FOR SCHEMATIC REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS PRIOR TO START OF DEMOLITION / CONSTRUCTION AND CONTACT ENGINEER WITH ANY DISCREPANCIES / CLARIFICATIONS.



EDSALL ROAD - VA RTE. 648
(75' WIDE PUBLIC R.O.W.)

OPEN SPACE CALCULATIONS		
DESCRIPTION	REQUIRED	PROPOSED
OPEN SPACE:	0% (0 SF)	0.60% (1,800 SF)

- OPEN SPACE / LANDSCAPE NOTES:**
- FINAL BUILDING DESIGN SHALL ALLOW FOR THE INSTALLATION OF HOSE BIBS TO ENSURE ENTIRE SITE CAN BE REACHED BY HOSES FOR WATERING.
 - BIBS SHOULD NOT BE MORE THAN 90' APART.
 - HOSE BIBS SHALL NOT BE OBSTRUCTED BY PLANTINGS, UTILITIES OR ANY OTHER OBJECTS.
 - ALL IRRIGATION LINES SHALL BE IN SLEEVES WHEN INSTALLED BELOW PAVED SURFACES.
 - WATER SOURCES AND HOSE BIBS SHOULD BE COORDINATED WITH CITY STAFF.
 - IRRIGATION SYSTEM MUST BE COMPATIBLE WITH CITY'S REMOTE CONTROL MAXICOM SYSTEM.



CORE STATES GROUP

201 S. Maple Avenue
Arling, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE USE OF ANY UNDERGROUND UTILITY RECORDS OR RECORDS OF THE PUBLIC UTILITIES COMPANIES, HEREIN, IS NOT A GUARANTEE OF ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA



SITE LOCATION
5740 EDSALL RD,
ALEXANDRIA, VA
22304



SHEET TITLE
OPEN SPACE EXHIBIT

JOB #: CPG-12737
DATE: 12-29-15
SCALE: 1"=20'
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C17
OF 25

APPROVED
SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

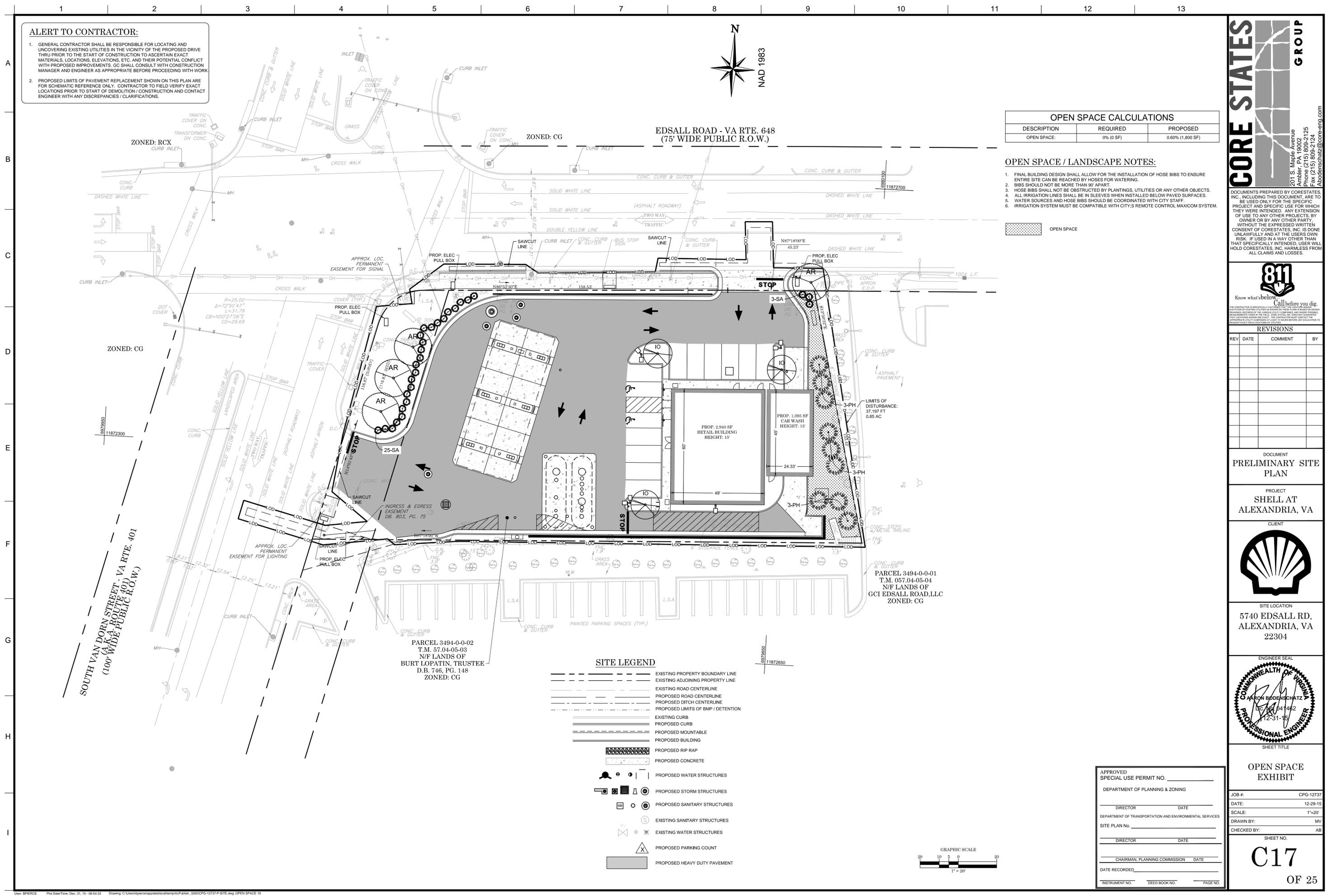
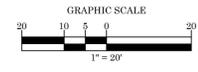
CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

SITE LEGEND

	EXISTING PROPERTY BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	PROPOSED ROAD CENTERLINE
	PROPOSED DITCH CENTERLINE
	PROPOSED LIMITS OF BMP / DETENTION
	EXISTING CURB
	PROPOSED CURB
	PROPOSED MOUNTABLE
	PROPOSED BUILDING
	PROPOSED RIP RAP
	PROPOSED CONCRETE
	PROPOSED WATER STRUCTURES
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY STRUCTURES
	EXISTING SANITARY STRUCTURES
	EXISTING WATER STRUCTURES
	PROPOSED PARKING COUNT
	PROPOSED HEAVY DUTY PAVEMENT



GENERAL LIGHTING NOTES:

- TREES WILL NOT BE PLANTED UNDER OR NEAR LIGHT POLES. TREES PLANTED UNDER OR NEAR LIGHT POLES COUNTERACT THE EFFECTIVENESS OF LIGHT ILLUMINATION WHEN THEY REACH FULL MATURITY.
- THE LIGHTING FOR THE SURFACE LOT AND COMMON AREAS IS A MINIMUM OF 2 FC MINIMUM MAINTAINED WHERE NEEDED.
- THIS LAYOUT MEETS IESNA RECOMMENDATIONS OF 5 FC FOR UNDER THE CANOPY IN DARK ENVIRONMENTS AND 10 FC UNDER THE CANOPY BRIGHT AREAS.
- LIGHTING FIXTURES ARE TO MEET CITY STANDARDS.
- CANOPY LIGHTS WILL BE FLUSH WITH CANOPY.
- SIDEWALKS WITHIN PUBLIC R.O.W. ADJOINING THE SITE WILL BE DESIGNED TO HAVE 0.6 MINIMUM FOOT CANDLE.
- CONDUIT TO BE INSTALLED AS TO NOT CONFLICT WITH PROPOSED LANDSCAPING.

FIXTURE CHART

TYPE	MODEL	QUANTITY	HEIGHT	LUMENS	LEDS
LSI SINGLE	XAM	2	18'	9900	119
LSI DOUBLE	XAM	3	18'	9900	119
LSI CANOPY	CROZ	12	152"	5000	100
LSI BUILDING	XAWS	1	136"	9900	119

CORE STATES GROUP

201 S. Maple Avenue
Amble, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdenschatz@core-eng.com

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY

PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA



CLIENT
5740 EDSALL RD, ALEXANDRIA, VA 22304

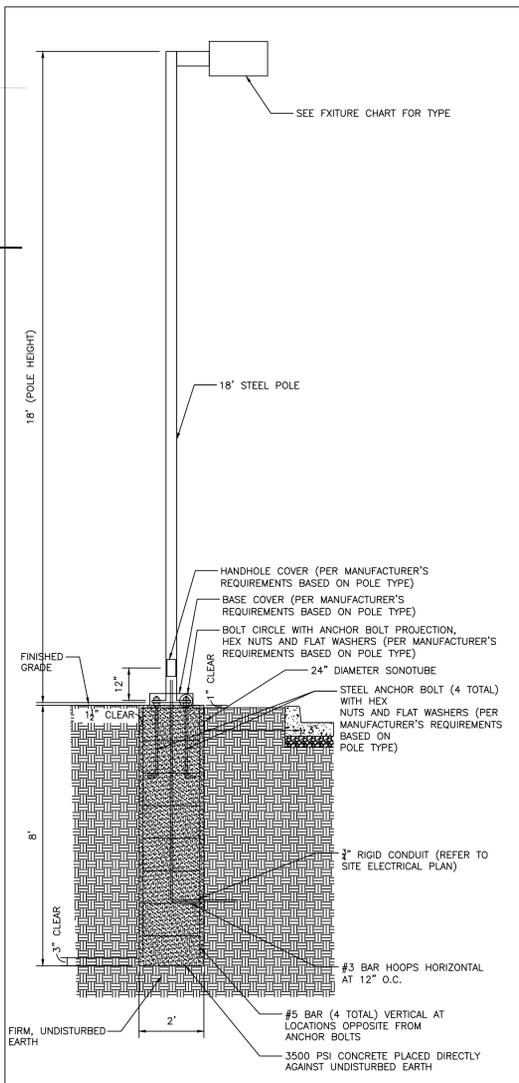
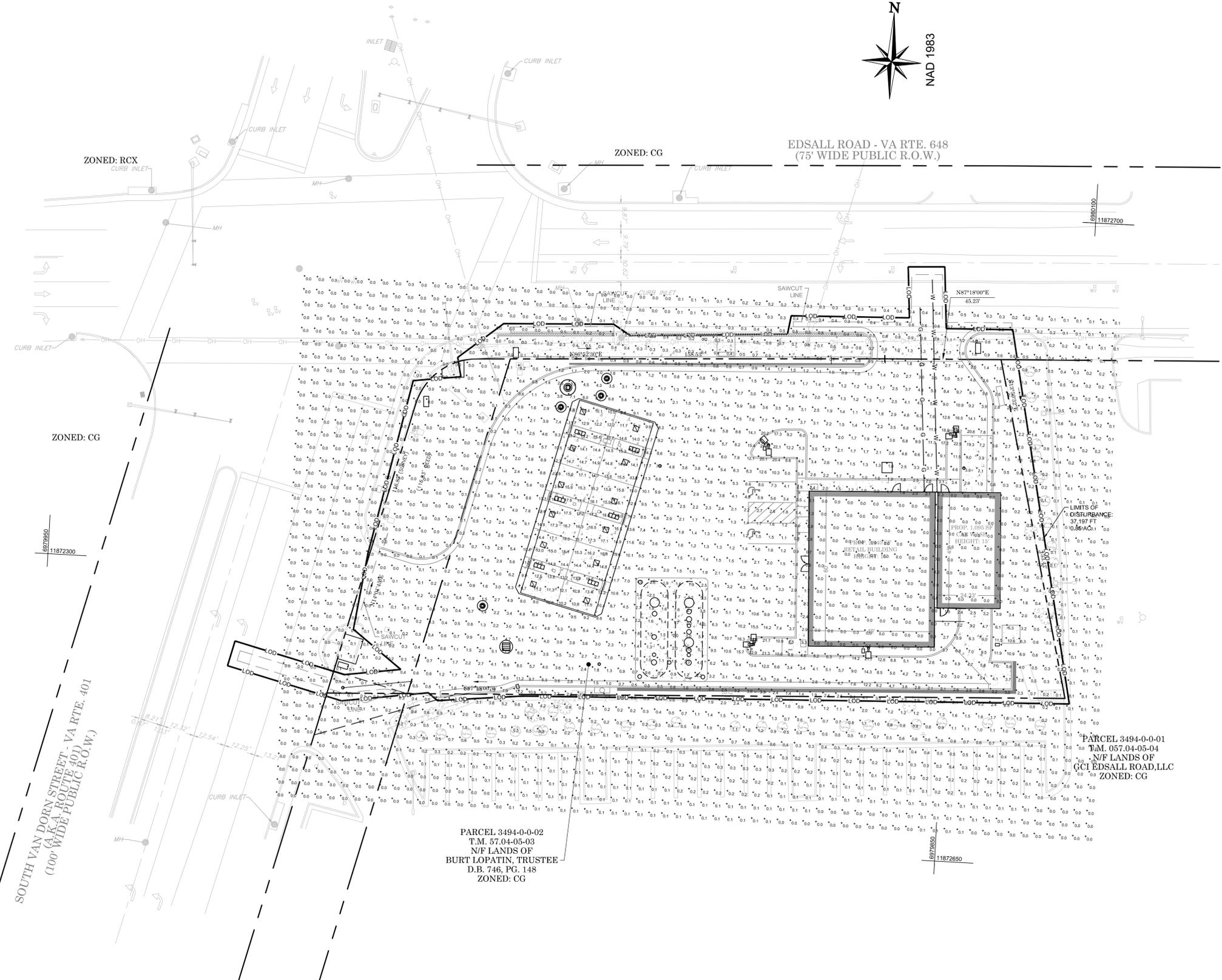


SHEET TITLE

LIGHTING PLAN

JOB #: CPG-12737
DATE: 12-29-15
SCALE: 1"=20'
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C18
OF 25



AREA LIGHT DETAIL N.T.S.

APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

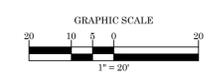
SITE PLAN No. _____

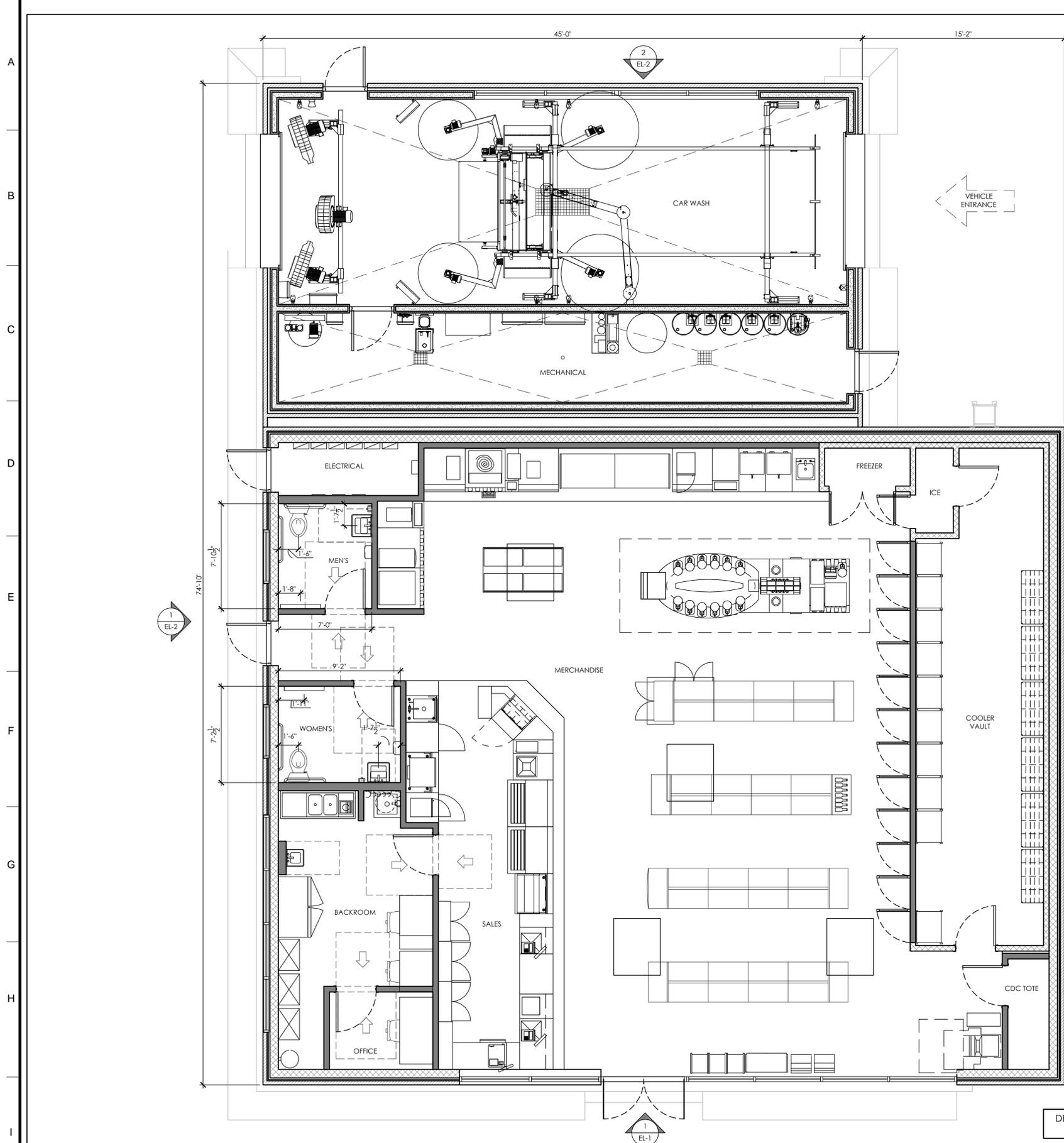
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____





- REQUIRED EXITS, PARKING, AND ACCESSIBILITY FOR PERSONS WITH DISABILITIES MUST BE PROVIDED TO THE BUILDING. ACCESSIBILITY REQUIREMENTS SHALL COMPLY WITH USBC CHAPTER 11. ACCESSIBLE BATHROOMS SHALL ALSO BE PROVIDED.
- ELECTRICAL WIRING METHODS AND OTHER ELECTRICAL REQUIREMENTS MUST COMPLY WITH 2008 NFPA #70.

DEVELOPMENT PRELIMINARY SITE PLAN SUBMITTAL
NOT FOR CONSTRUCTION

C-STORE AND CAR WASH FLOOR PLANS
SCALE 1/4"=1'-0" 1

CODE INFORMATION		
JURISDICTION: ALEXANDRIA, VIRGINIA APPLICABLE CODES:		
BUILDING CODE: 2009 Building Code of Virginia State		
STRUCTURAL CODE: 2009 Building Code of Virginia State		
MECHANICAL CODE: 2009 International Mechanical Code		
PLUMBING CODE: 2009 International Plumbing Code		
ELECTRICAL CODE: 2009 ICC Electrical Code, Administrative Provisions		
FIRE CODE: 2009 International Fire Code		
ACCESSIBILITY CODE: ANSI A117.1-2003 with technical amendments		
ENERGY CODE: International Energy Conservation Code		
PROJECT DATA		
USE	C-STORE AND CAR WASH	
OCCUPANCY CLASSIFICATION	BUSINESS GROUP M AND B	
OCCUPANCY LOAD		
OCCUPANCY CLASSIFICATION:	M - MERCANTILE, B - BUSINESS	
OCCUPANCY LOAD PER CLASSIFICATION:		
AREAS ON OTHER FLOORS = 926 SF	926 SF / 60 GROSS SF = 15.4	
BASEMENT AND GRADE FLOOR AREAS = 1,577 SF	1,577 SF / 30 GROSS SF = 52.6	
STORAGE, STOCK, SHIPPING AREAS = 455 SF	455 SF / 300 GROSS SF = 1.5	
BUSINESS AREAS = 1,155 SF	1,155 SF / 100 GROSS SF = 11.6	
	= 81.1 = 82 TOTAL OCCUPANTS	
CONSTRUCTION TYPE	TYPE II-B	
SPRINKLERED	NO (NOT REQ. PER IBC SEC. 903.2)	
ALLOWABLE/REQ'D PROPOSED		
BUILDING ELEMENT - FIRE RESISTANCE RATING	ALLOWABLE/REQ'D	PROPOSED
STRUCTURAL FRAME	0	0
INCLUDING COLUMNS, GIRDERS, TRUSSES		
BEARING WALLS		
EXTERIOR	0	0
INTERIOR	0	0
NONBEARING WALLS AND PARTITIONS		
EXTERIOR	0	0
NONBEARING WALLS AND PARTITIONS		
INTERIOR	0	0
FLOOR CONSTRUCTION		
INCLUDING SUPPORTING BEAMS & JOISTS	0	0
ROOF CONSTRUCTION		
INCLUDING SUPPORTING BEAMS & JOISTS	0	0
BUILDING HEIGHTS AND AREAS		
C-STORE	12,500 S.F.	2,959 S.F.
CAR WASH	23,000 S.F.	1,155 S.F.
TOTAL AREA:		4,114 S.F.
HEIGHTS		
STORIES: C-STORE	2 STORY	1 STORY
STORIES: CAR WASH	3 STORY	1 STORY
EGRESS WIDTH:	32" MINIMUM	
OCCUPANTS x (0.2 - OTHER EGRESS COMPONENTS)		
82 x 0.2 = 16.4' WIDTH REQUIRED	16.4'	50'
EXITS AND EXIT ACCESS DOORWAYS		
EXITS:		
C-STORE	2	2
CAR WASH	2	2
DOOR WIDTH	32" MINIMUM 34"	
COMMON PATH OF TRAVEL	75'-0" 18'-3"	
EXIT ACCESS TRAVEL DISTANCE (W/O SPRINKLERS)	200'-0" 70'-11"	
DEAD ENDS CORRIDORS	20'-0" N/A	
PLUMBING FIXTURES		
WATER CLOSETS - MEN/WOMEN	1/1	1/1
LAVATORIES - MEN/WOMEN	1/1	1/1
BUILDING OR BUILDINGS ON THE SAME LOT:	N/A	
FIRE SEPARATION BETWEEN BUILDINGS:	N/A	
FLAME SPREAD DATA		
<u>CERAMIC TILE:</u>		
FBC REQUIRED MINIMUM:	N/A	
PROVIDED:	N/A	
<u>SUSPENDED ACOUSTICAL CEILINGS:</u>		
FBC REQUIRED MINIMUM:	CLASS B	
PROVIDED:	CLASS A	
<u>WOOD FLOORING:</u>		
FBC REQUIRED MINIMUM:	CLASS II	
PROVIDED:	CLASS I	
<u>RESILIENT FLOORING:</u>		
FBC REQUIRED MINIMUM:	CLASS II	
PROVIDED:	CLASS I	
<u>CARPET TILE:</u>		
FBC REQUIRED MINIMUM:	CLASS II	
PROVIDED:	CLASS I	
<u>PAINTS AND COATING:</u>		
FBC REQUIRED MINIMUM:	CLASS B	
PROVIDED:	CLASS A	

CORE STATES GROUP

201 S. Maple Avenue
Amherst, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abodenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY GUARANTEED THAT THE USE OF THE 811 SERVICE WILL NOT BE A BASIS FOR LIABILITY TO THE CONTRACTOR FOR ANY DAMAGE TO THE CONTRACTOR'S PROPERTY OR TO THE PROPERTY OF ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE UTILITY COMPANIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE UTILITY COMPANIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE UTILITY COMPANIES.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA



SITE LOCATION
5740 EDSALL RD, ALEXANDRIA, VA 22304

ENGINEER SEAL

COMMONWEALTH OF VIRGINIA

ARON BODENSCHATZ
Lic. No. 44462
12-31-15

PROFESSIONAL ENGINEER

SHEET TITLE
C-STORE AND CAR WASH FLOOR PLANS

JOB #: CPG-12737
DATE: 12-29-15
SCALE: AS SHOWN
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C20
OF 25

APPROVED
SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

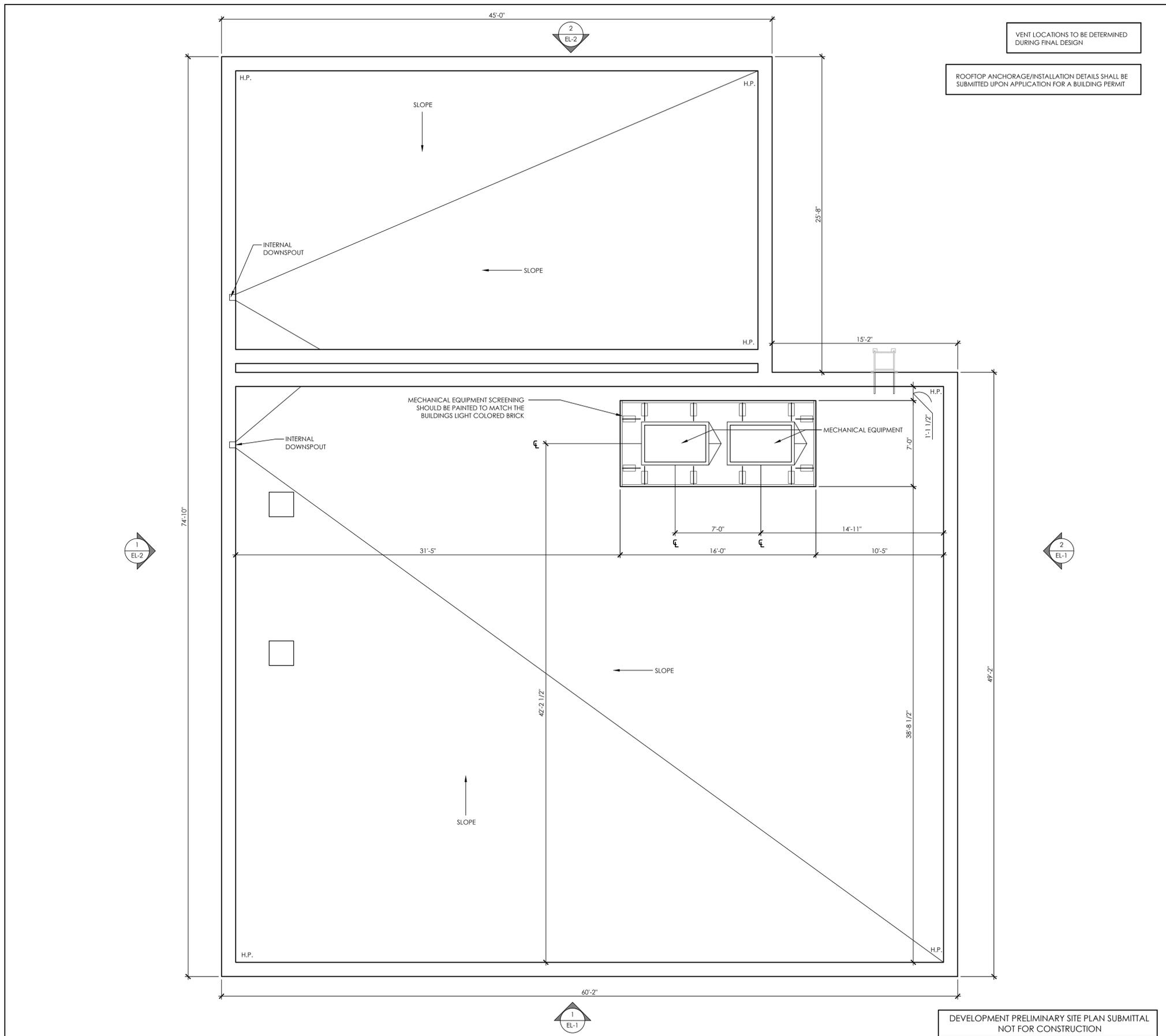
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



VENT LOCATIONS TO BE DETERMINED DURING FINAL DESIGN

ROOFTOP ANCHORAGE/INSTALLATION DETAILS SHALL BE SUBMITTED UPON APPLICATION FOR A BUILDING PERMIT

MECHANICAL EQUIPMENT SCREENING SHOULD BE PAINTED TO MATCH THE BUILDING'S LIGHT COLORED BRICK

DEVELOPMENT PRELIMINARY SITE PLAN SUBMITTAL
NOT FOR CONSTRUCTION

C-STORE AND CAR WASH ROOF PLANS
SCALE 1/4"=1'-0"
1

CORE STATES GROUP
201 S. Maple Avenue
Ambler, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abodenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811
Know what's below. Call before you dig.
THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE LOCATION AND DEPTH OF UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY ANY EXCAVATION WORK.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA



SITE LOCATION
5740 EDSALL RD,
ALEXANDRIA, VA
22304



SHEET TITLE
PRELIMINARY ROOF PLANS

APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

JOB #: CPG-12737
DATE: 12-29-15
SCALE: AS SHOWN
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C21
OF 25

A

B

C

D

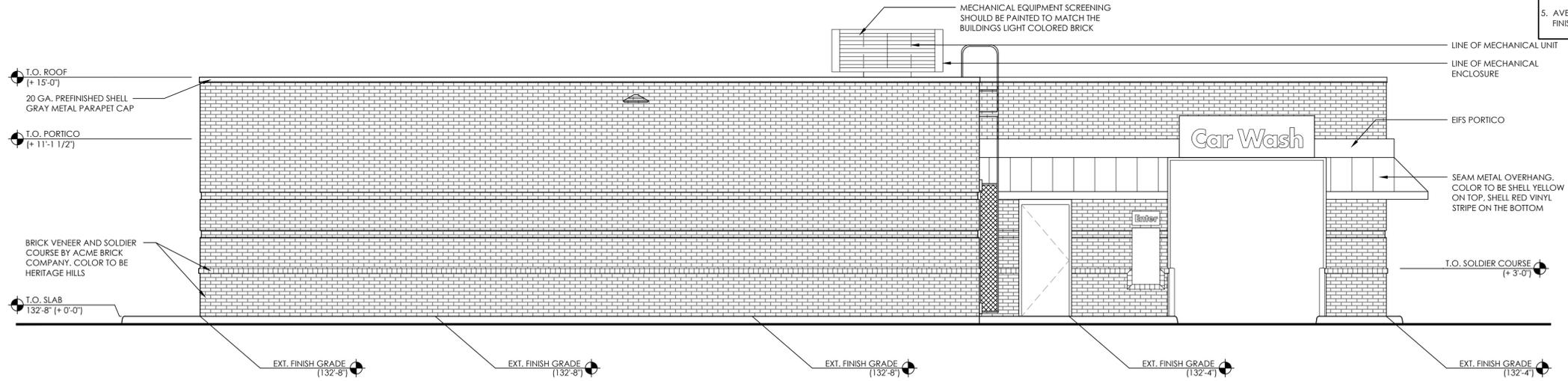
E

F

G

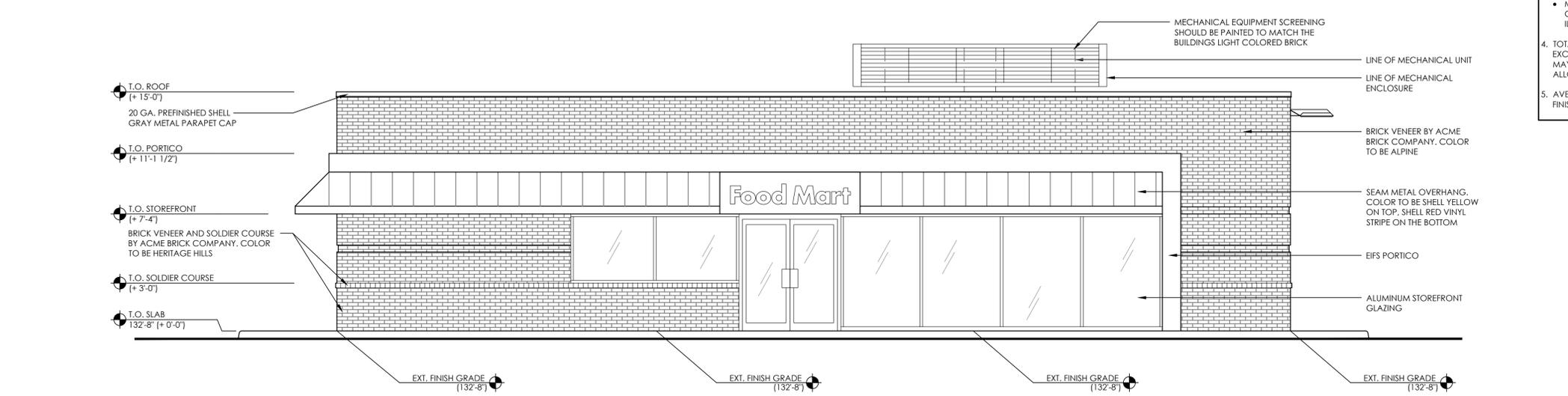
H

I



- BUILDING CONSTRUCTION PERMITS ARE REQUIRED PRIOR TO SIGN ATTACHMENT.
- ALL SIGNS SHALL CONFORM TO VCC APPENDIX 'H' AS AMENDED.
- ALL SIGN APPLICATIONS SHALL INCLUDE:
 - SIZE AND TYPE OF SIGN.
 - METHOD OF ATTACHMENT INCLUDING NUMBER AND TYPE OF FASTENERS.
 - MAXIMUM PROJECTION, MINIMUM HEIGHT ABOVE GRADE, AND WHETHER THE SIGN IS ILLUMINATED OR NOT ILLUMINATED.
- TOTAL BUILDING SIGNAGE SQUARE FOOTAGE IS NOT TO EXCEED 109 SF PER CITY OF ALEXANDRIA CODE. DESIGN MAY CHANGE DURING FINAL DESIGN AND PERMITTING AS ALLOWED BY CITY OF ALEXANDRIA CODE.
- AVERAGE FINISH GRADE OF THIS ELEVATION IS 132'-6.33" FINISH AVERAGE GRADE OF ALL ELEVATIONS IS 132'-6.96"

C-STORE AND CAR WASH ELEVATION_SOUTH SCALE 1/4"=1'-0" 2



- BUILDING CONSTRUCTION PERMITS ARE REQUIRED PRIOR TO SIGN ATTACHMENT.
- ALL SIGNS SHALL CONFORM TO VCC APPENDIX 'H' AS AMENDED.
- ALL SIGN APPLICATIONS SHALL INCLUDE:
 - SIZE AND TYPE OF SIGN.
 - METHOD OF ATTACHMENT INCLUDING NUMBER AND TYPE OF FASTENERS.
 - MAXIMUM PROJECTION, MINIMUM HEIGHT ABOVE GRADE, AND WHETHER THE SIGN IS ILLUMINATED OR NOT ILLUMINATED.
- TOTAL BUILDING SIGNAGE SQUARE FOOTAGE IS NOT TO EXCEED 109 SF PER CITY OF ALEXANDRIA CODE. DESIGN MAY CHANGE DURING FINAL DESIGN AND PERMITTING AS ALLOWED BY CITY OF ALEXANDRIA CODE.
- AVERAGE FINISH GRADE OF THIS ELEVATION IS 132'-8" FINISH AVERAGE GRADE OF ALL ELEVATIONS IS 132'-6.96"

C-STORE AND CAR WASH ELEVATION_WEST SCALE 1/4"=1'-0" 1

DEVELOPMENT PRELIMINARY SITE PLAN SUBMITTAL NOT FOR CONSTRUCTION

APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

CORE STATES GROUP

201 S. Maple Avenue
Amherst, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abodenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY GUARANTEED THAT THE USE OF THIS SERVICE WILL NOT BE USED AS A SUBSTITUTE FOR THE USER'S OWN DUE DILIGENCE AND RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO ANY EXCAVATION OR OTHER DISTURBANCE OF THE EARTH.

REVISIONS			
REV	DATE	COMMENT	BY

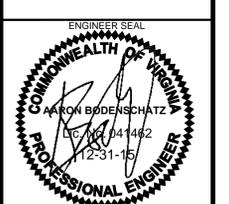
DOCUMENT PRELIMINARY SITE PLAN

PROJECT SHELL AT ALEXANDRIA, VA

CLIENT



SITE LOCATION
5740 EDSALL RD,
ALEXANDRIA, VA
22304



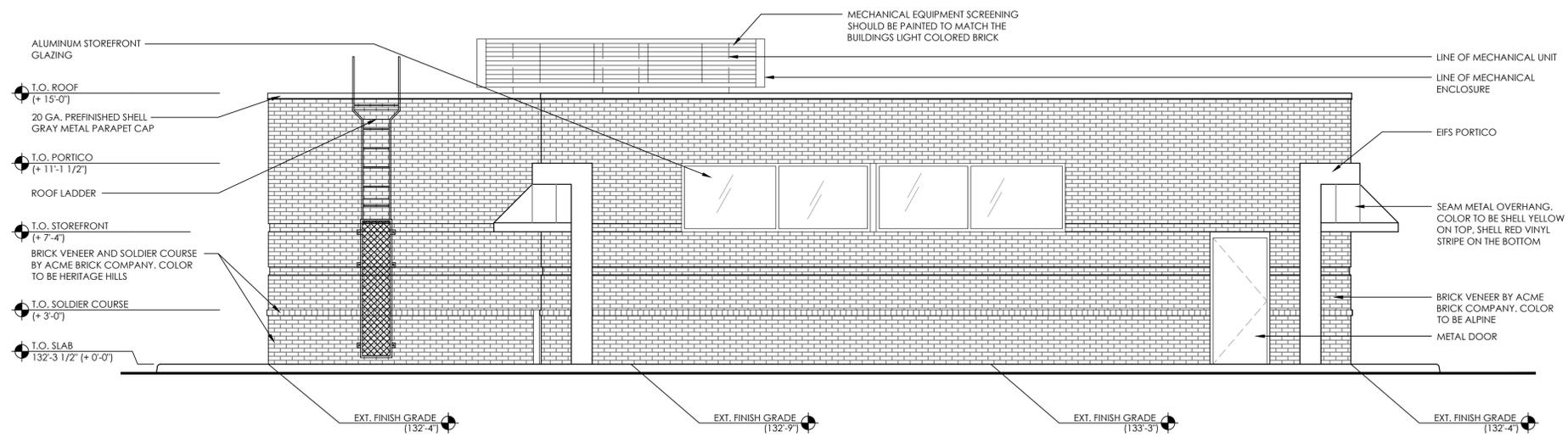
SHEET TITLE

C-STORE AND CAR WASH ELEVATIONS

JOB #: CPG-12737
DATE: 12-29-15
SCALE: AS SHOWN
DRAWN BY: MV
CHECKED BY: AB

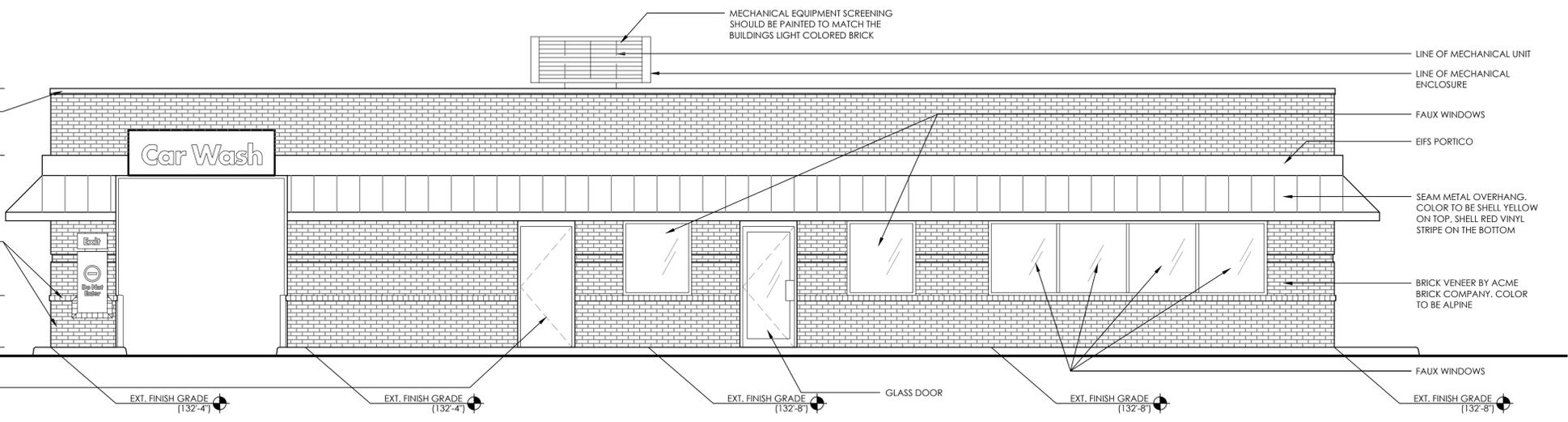
SHEET NO. **C22** OF 25

- BUILDING CONSTRUCTION PERMITS ARE REQUIRED PRIOR TO SIGN ATTACHMENT.
- ALL SIGNS SHALL CONFORM TO VCC APPENDIX 'H' AS AMENDED.
- ALL SIGN APPLICATIONS SHALL INCLUDE:
 - SIZE AND TYPE OF SIGN.
 - METHOD OF ATTACHMENT INCLUDING NUMBER AND TYPE OF FASTENERS.
 - MAXIMUM PROJECTION, MINIMUM HEIGHT ABOVE GRADE, AND WHETHER THE SIGN IS ILLUMINATED OR NOT ILLUMINATED.
- TOTAL BUILDING SIGNAGE SQUARE FOOTAGE IS NOT TO EXCEED 109 SF PER CITY OF ALEXANDRIA CODE. DESIGN MAY CHANGE DURING FINAL DESIGN AND PERMITTING AS ALLOWED BY CITY OF ALEXANDRIA CODE.
- AVERAGE FINISH GRADE OF THIS ELEVATION IS 132'-8" FINISH AVERAGE GRADE OF ALL ELEVATIONS IS 132'-6.96"



C-STORE AND CAR WASH ELEVATION_EAST SCALE 1/4"=1'-0" 2

- BUILDING CONSTRUCTION PERMITS ARE REQUIRED PRIOR TO SIGN ATTACHMENT.
- ALL SIGNS SHALL CONFORM TO VCC APPENDIX 'H' AS AMENDED.
- ALL SIGN APPLICATIONS SHALL INCLUDE:
 - SIZE AND TYPE OF SIGN.
 - METHOD OF ATTACHMENT INCLUDING NUMBER AND TYPE OF FASTENERS.
 - MAXIMUM PROJECTION, MINIMUM HEIGHT ABOVE GRADE, AND WHETHER THE SIGN IS ILLUMINATED OR NOT ILLUMINATED.
- TOTAL BUILDING SIGNAGE SQUARE FOOTAGE IS NOT TO EXCEED 109 SF PER CITY OF ALEXANDRIA CODE. DESIGN MAY CHANGE DURING FINAL DESIGN AND PERMITTING AS ALLOWED BY CITY OF ALEXANDRIA CODE.
- AVERAGE FINISH GRADE OF THIS ELEVATION IS 132'-6.25" FINISH AVERAGE GRADE OF ALL ELEVATIONS IS 132'-6.96"



C-STORE AND CAR WASH ELEVATION_NORTH SCALE 1/4"=1'-0" 1

DEVELOPMENT PRELIMINARY SITE PLAN SUBMITTAL NOT FOR CONSTRUCTION

APPROVED SPECIAL USE PERMIT NO. _____
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES
 SITE PLAN No. _____
 DIRECTOR DATE
 CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

CORE STATES GROUP
 201 S. Maple Avenue
 Ambler, PA 19002
 Phone (215) 809-2125
 Fax (215) 809-2124
 Abdenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811
 Know what's below. Call before you dig.
THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE USE OF ANY UNDERGROUND UTILITY LOCATIONS AND DEPTHS SHOWN ON THIS DRAWING IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY ANY DEPTHS TO BE REVEALED PRIOR TO CONSTRUCTION TO AVOID ANY DAMAGE TO UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA

CLIENT

SITE LOCATION
 5740 EDSALL RD,
 ALEXANDRIA, VA
 22304

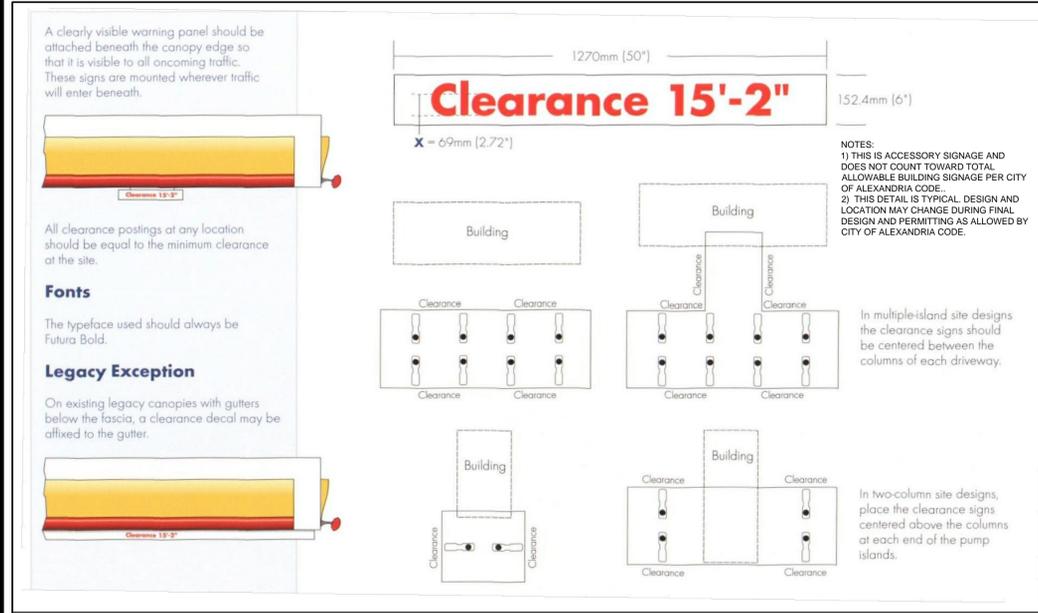
ENGINEER SEAL

AARON BODENSCHATZ
 PROFESSIONAL ENGINEER

SHEET TITLE
C-STORE AND CAR WASH ELEVATIONS

JOB #: CPG-12737
 DATE: 12-29-15
 SCALE: AS SHOWN
 DRAWN BY: MV
 CHECKED BY: AB

SHEET NO.
C23
 OF 25



TYPICAL CLEARANCE SIGN DETAIL AND PLACEMENT
NOT TO SCALE



TYPICAL MONUMENT SIGN DETAIL
NOT TO SCALE

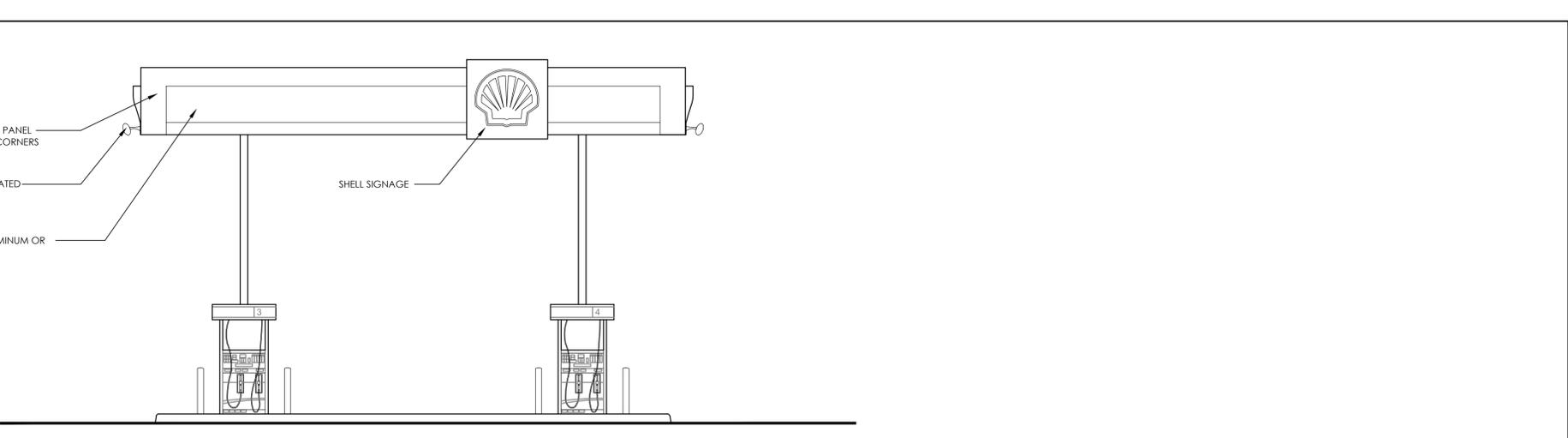


TYPICAL CANOPY SIGN DETAIL
NOT TO SCALE

SHELL CANOPY AND SIGNAGE DETAIL

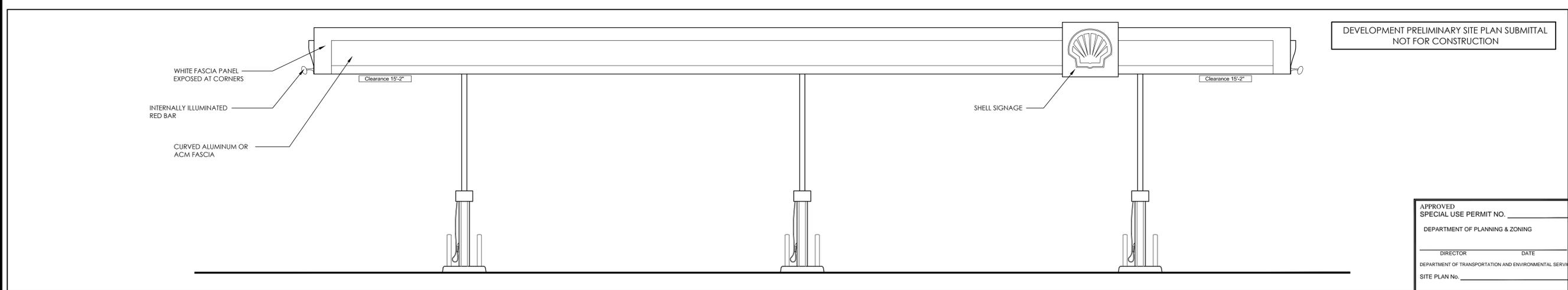
SCALE	3
N.T.S.	

- BUILDING CONSTRUCTION PERMITS ARE REQUIRED PRIOR TO SIGN ATTACHMENT.
- ALL SIGNS SHALL CONFORM TO VCC APPENDIX 'H' AS AMENDED.
- ALL SIGN APPLICATIONS SHALL INCLUDE:
 - SIZE AND TYPE OF SIGN.
 - METHOD OF ATTACHMENT INCLUDING NUMBER AND TYPE OF FASTENERS.
 - MAXIMUM PROJECTION, MINIMUM HEIGHT ABOVE GRADE, AND WHETHER THE SIGN IS ILLUMINATED OR NOT ILLUMINATED.
- SIGNAGE WILL BE REVIEWED UNDER A SEPARATE PERMIT.



SHELL GAS STATION ELEVATION_SOUTH

SCALE	2
1/4"=1'-0"	



SHELL GAS STATION ELEVATION_WEST

SCALE	1
1/4"=1'-0"	

DEVELOPMENT PRELIMINARY SITE PLAN SUBMITTAL
NOT FOR CONSTRUCTION

APPROVED SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

CORE STATES GROUP

201 S. Maple Avenue
Amherst, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abdenschatz@core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY GUARANTEED THAT THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS DRAWING ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. CORE STATES, INC. DOES NOT WARRANT THE LOCATION, DEPTH AND DEPTHS OF UTILITIES SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF UTILITIES PRIOR TO ANY EXCAVATION OR INSTALLATION OF UTILITIES.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
PRELIMINARY SITE PLAN

PROJECT
SHELL AT ALEXANDRIA, VA



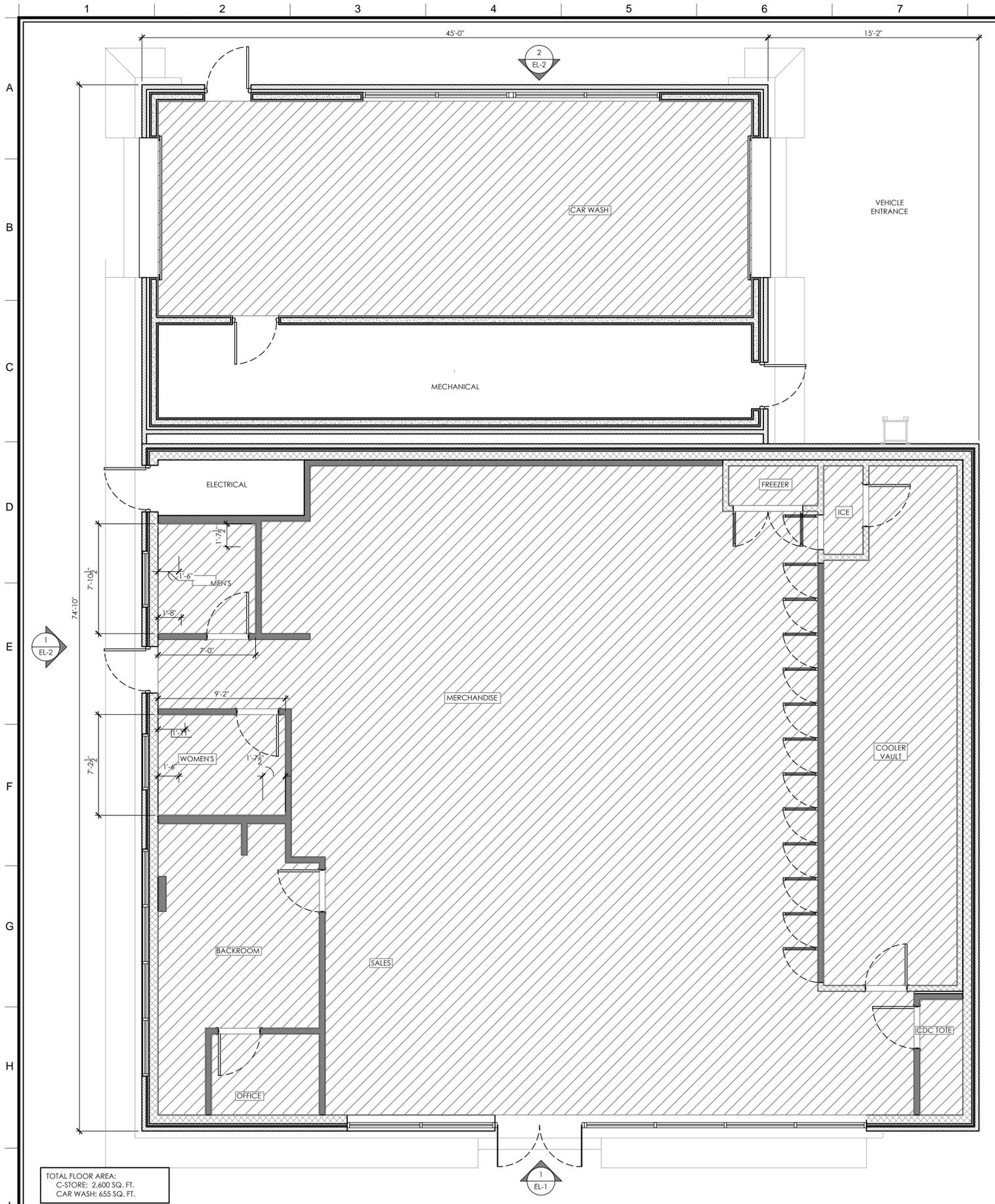
SITE LOCATION
5740 EDSALL RD,
ALEXANDRIA, VA
22304



SHEET TITLE
C-STORE AND CAR WASH ELEVATIONS

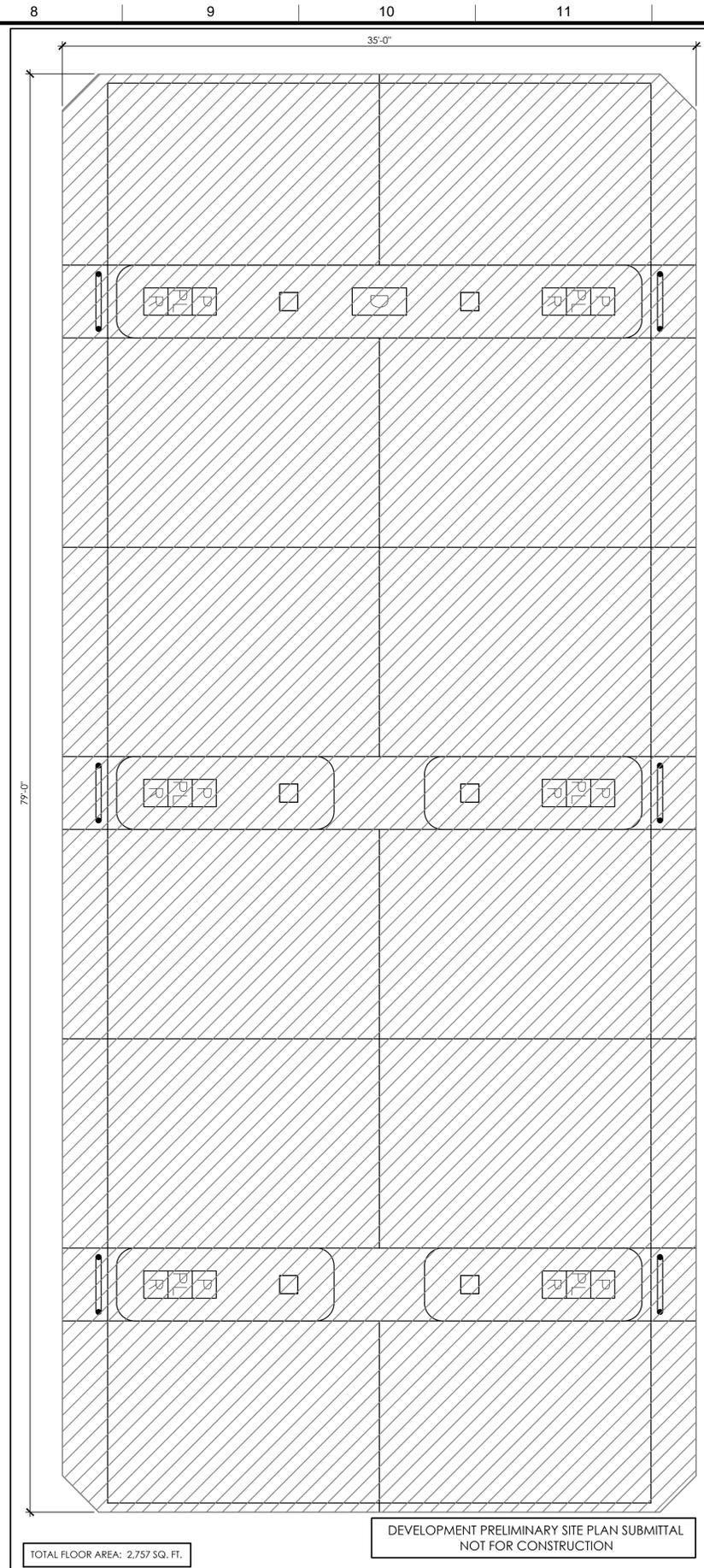
JOB #: CPG-12737
DATE: 12-29-15
SCALE: AS SHOWN
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C24
OF 25



TOTAL FLOOR AREA:
C-STORE: 2,600 SQ. FT.
CAR WASH: 655 SQ. FT.

C-STORE AND CAR WASH FLOOR AREA PLAN SCALE 1/4"=1'-0" 2



TOTAL FLOOR AREA: 2,757 SQ. FT.

PUMP CANOPY FLOOR AREA PLAN SCALE 1/4"=1'-0" 1

DEVELOPMENT PRELIMINARY SITE PLAN SUBMITTAL
NOT FOR CONSTRUCTION

APPROVED SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES
SITE PLAN No. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

CORE STATES GROUP
201 S. Maple Avenue
Amherst, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abodenschatz@core-eng.com

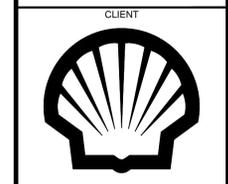
DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

811
Know what's below. Call before you dig.
THE CONTRACTOR IS SPECIFICALLY GUARANTEED THAT THE USE OF THE 811 SERVICE IS A NECESSARY PRELIMINARY STEP TO ANY EXCAVATION, TRENCHING, OR OTHER WORK THAT MAY BE REQUIRED TO BE PERFORMED IN THE FIELD. CORE STATES, INC. DOES NOT WARRANT THE LOCATION, DEPTH, OR SIZE OF ANY UTILITIES OR STRUCTURES THAT MAY BE ENCOUNTERED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES AT LEAST 14 DAYS BEFORE ANY EXCAVATION TO BE PERFORMED IN THE FIELD.

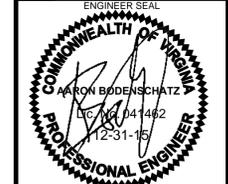
REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT PRELIMINARY SITE PLAN

PROJECT SHELL AT ALEXANDRIA, VA



SITE LOCATION
5740 EDSALL RD,
ALEXANDRIA, VA
22304



SHEET TITLE
C-STORE AND CAR WASH FLOOR AREA PLANS

JOB #: CPG-12737
DATE: 12-29-15
SCALE: AS SHOWN
DRAWN BY: MV
CHECKED BY: AB

SHEET NO.
C25
OF 25