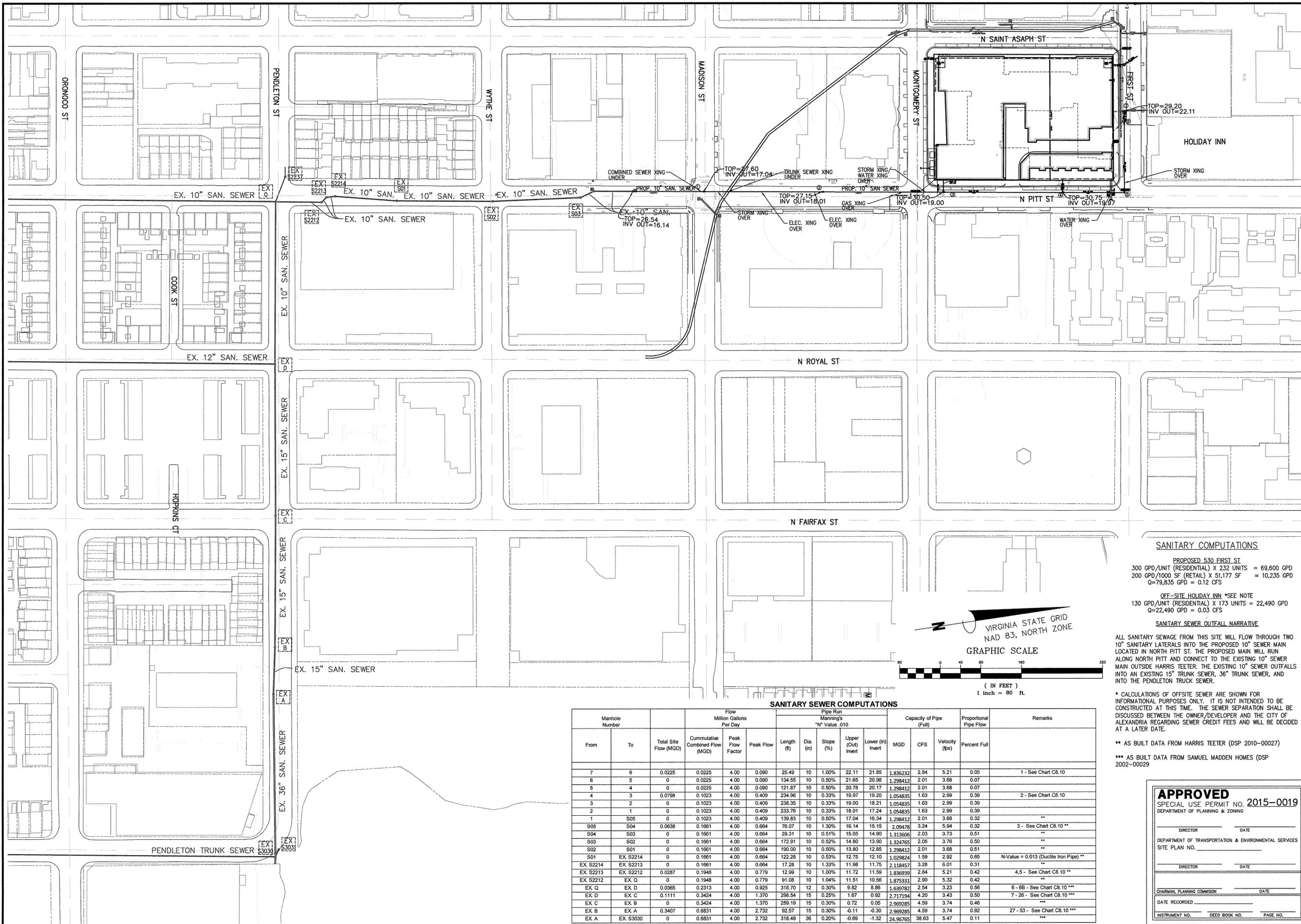


SEWER OUTFALL PLAN
530 FIRST STREET
 DEVELOPMENT PRELIMINARY SITE PLAN
 CITY OF ALEXANDRIA
 VIRGINIA



SANITARY COMPUTATIONS

PROPOSED 530 FIRST ST
 300 GPD/UNIT (RESIDENTIAL) X 232 UNITS = 69,600 GPD
 200 GPD/1000 SF (RETAIL) X 51,177 SF = 10,235 GPD
 Q=79,835 GPD = 0.12 CFS

OFF-SITE HOLIDAY INN *SEE NOTE
 130 GPD/UNIT (RESIDENTIAL) X 173 UNITS = 22,490 GPD
 Q=22,490 GPD = 0.03 CFS

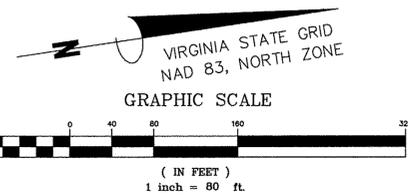
SANITARY SEWER OUTFALL NARRATIVE

ALL SANITARY SEWAGE FROM THIS SITE WILL FLOW THROUGH TWO 10" SANITARY LATERALS INTO THE PROPOSED 10" SEWER MAIN LOCATED IN NORTH PITT ST. THE PROPOSED MAIN WILL RUN ALONG NORTH PITT AND CONNECT TO THE EXISTING 10" SEWER MAIN OUTSIDE HARRIS TEETER. THE EXISTING 10" SEWER OUTFALLS INTO AN EXISTING 15" TRUNK SEWER, 36" TRUNK SEWER, AND INTO THE PENDLETON TRUCK SEWER.

* CALCULATIONS OF OFFSITE SEWER ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT INTENDED TO BE CONSTRUCTED AT THIS TIME. THE SEWER SEPARATION SHALL BE DISCUSSED BETWEEN THE OWNER/DEVELOPER AND THE CITY OF ALEXANDRIA REGARDING SEWER CREDIT FEES AND WILL BE DECIDED AT A LATER DATE.

** AS BUILT DATA FROM HARRIS TEETER (DSP 2010-00027)

*** AS BUILT DATA FROM SAMUEL MADDEN HOMES (DSP 2002-00029)

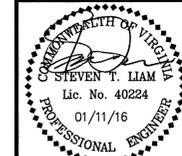


SANITARY SEWER COMPUTATIONS

From	To	Total Site Flow (MGD)	Cumulative Combined Flow (MGD)	Peak Flow Factor	Peak Flow	Pipe Run		Capacity of Pipe (Full)			Proportional Pipe Flow	Remarks			
						Length (ft)	Di. (in)	MGD	CFS	Velocity (fps)					
7	6	0.0225	0.0225	4.00	0.090	25.49	10	1.00%	22.11	21.85	1.836232	2.84	5.21	0.05	1 - See Chart C8.10
6	5	0	0.0225	4.00	0.090	134.55	10	0.50%	21.65	20.98	1.298412	2.01	3.68	0.07	
5	4	0	0.0225	4.00	0.090	121.87	10	0.50%	20.78	20.17	1.298412	2.01	3.68	0.07	
4	3	0.0798	0.1023	4.00	0.409	234.96	10	0.33%	19.97	19.20	1.054835	1.63	2.99	0.39	2 - See Chart C8.10
3	2	0	0.1023	4.00	0.409	238.35	10	0.33%	19.00	18.21	1.054835	1.63	2.99	0.39	
2	1	0	0.1023	4.00	0.409	233.76	10	0.33%	18.01	17.24	1.054835	1.63	2.99	0.39	
1	S05	0	0.1023	4.00	0.409	139.83	10	0.50%	17.04	16.34	1.298412	2.01	3.68	0.32	
S05	S04	0.0638	0.1661	4.00	0.664	76.07	10	1.30%	16.14	15.15	2.09478	3.24	5.94	0.32	3 - See Chart C8.10 **
S04	S03	0	0.1661	4.00	0.664	29.31	10	0.51%	15.05	14.90	1.313606	2.03	3.73	0.51	
S03	S02	0	0.1661	4.00	0.664	172.91	10	0.52%	14.80	13.90	1.324765	2.05	3.76	0.50	
S02	S01	0	0.1661	4.00	0.664	190.00	10	0.50%	13.80	12.85	1.298412	2.01	3.68	0.51	
S01	EX S2214	0	0.1661	4.00	0.664	122.28	10	0.53%	12.75	12.10	1.029824	1.59	2.92	0.65	N-Value = 0.013 (Ductile Iron Pipe) **
EX S2214	EX S2213	0	0.1661	4.00	0.664	17.28	10	1.33%	11.98	11.75	2.118457	3.28	6.01	0.31	
EX S2213	EX S2212	0.0287	0.1948	4.00	0.779	12.99	10	1.00%	11.72	11.59	1.836939	2.84	5.21	0.42	4,5 - See Chart C8.10 ***
EX S2212	EX Q	0	0.1948	4.00	0.779	91.08	10	1.04%	11.51	10.56	1.875331	2.90	5.32	0.42	
EX Q	EX D	0.0365	0.2313	4.00	0.925	318.70	12	0.30%	9.82	8.86	1.639782	2.54	3.23	0.56	6 - 6B - See Chart C8.10 ***
EX D	EX C	0.1111	0.3424	4.00	1.370	298.54	15	0.25%	1.67	0.82	2.717194	4.20	3.43	0.50	7 - 26 - See Chart C8.10 ***
EX C	EX B	0	0.3424	4.00	1.370	259.19	15	0.30%	0.72	0.05	2.969285	4.59	3.74	0.46	
EX B	EX A	0.3407	0.6831	4.00	2.732	92.57	15	0.30%	-0.11	-0.30	2.969285	4.59	3.74	0.92	27 - 53 - See Chart C8.10 ***
EX A	EX S3030	0	0.6831	4.00	2.732	318.49	36	0.20%	-0.69	-1.32	24.96765	38.63	5.47	0.11	

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 SPECIAL USE PERMIT NO. 2015-0019
 DEPARTMENT OF PLANNING & ZONING

DATE: _____ DESCRIPTION: _____
 DP DESIGN: _____ DP DRAWN: _____ SL CHKD: _____
 SCALE: H: 1" = 80'
 V: _____
 JOB NO. **8476-01-001**
 DATE: **DECEMBER, 2015**
 FILE NO. **8476-D-PR-001**
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



DATE	DESCRIPTION
10/30/15	1ST SUBMISSION
12/14/15	2ND SUBMISSION
01/11/16	INSERTS



LEGEND
 SEWER SHED TO PENDLETON TRUNK SEWER
 *SEE SHEET C8.00 FOR SEWER ALIGNMENT

VIRGINIA STATE GRID
 NAD 83, NORTH ZONE

NOTE: MAP ID FROM CITY OF ALEXANDRIA GIS DATA

Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
1	Holiday Inn		173	130	22,490	0.0225	4	0.0900
Total			173	130	22,490	0.0225		0.0900

Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
2	530 First St. (Site Plan)	51,177	232	200/1000	79,835	0.0798	4	0.3193
Total		51,177	232		79,835	0.0798		0.3193

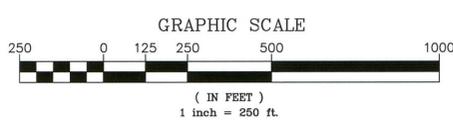
Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
3	Harris Teeter	56,718	175	200/1000	63,844	0.0638	4	0.2554
Total		56,718	175		63,844	0.0638		0.2554

Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
4	Condos		56	300	16,800	0.0168	4	0.0672
5	Townhouses/Semi-Detached		34	350	11,900	0.0119	4	0.0476
Total			90	650	28,700	0.0287		0.1148

Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
6	Condos		16	300	4,800	0.0048	4	0.0192
6A	Condos		25	300	7,500	0.0075	4	0.0300
6B	Office Buildings	121,000		200/1000	24,200	0.0242	4	0.0968
Total		121,000	41	600	36,500	0.0365		0.1460

Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
7	Townhouses/Semi-Detached		14	350	4,900	0.0049	4	0.0196
8	Alex. Redv. Hous. Auth		8	300	2,400	0.0024	4	0.0096
9	Alex. Redv. Hous. Auth		8	300	2,400	0.0024	4	0.0096
10	Alex. Redv. Hous. Auth		8	300	2,400	0.0024	4	0.0096
11	Alex. Redv. Hous. Auth		8	300	2,400	0.0024	4	0.0096
12	Townhouses/Semi-Detached		50	350	17,500	0.0175	4	0.0700
13	Alex. Redv. Hous. Auth		5	300	1,500	0.0015	4	0.0060
14	Alex. Redv. Hous. Auth		5	300	1,500	0.0015	4	0.0060
15	Alex. Redv. Hous. Auth		5	300	1,500	0.0015	4	0.0060
16	Alex. Redv. Hous. Auth		5	300	1,500	0.0015	4	0.0060
17	Townhouses/Semi-Detached		50	350	17,500	0.0175	4	0.0700
18	Alex. Redv. Hous. Auth		31	300	9,300	0.0093	4	0.0372
19	Alex. Redv. Hous. Auth		31	300	9,300	0.0093	4	0.0372
20	Townhouses/Semi-Detached		41	350	14,350	0.0144	4	0.0574
21	JR Office Building	5,600		200/1000	1,120	0.0011	4	0.0045
22	Townhouses/Semi-Detached		14	350	4,900	0.0049	4	0.0196
23	Office Buildings	45,375		200/1000	9,075	0.0091	4	0.0365
24	Office Buildings	22,000		200/1000	4,400	0.0044	4	0.0176
25	JR Office Building	8,904		200/1000	1,781	0.0018	4	0.0071
26	Townhouses/Semi-Detached		4	350	1,400	0.0014	4	0.0056
Total		81,879	287	5,100	111,126	0.1111		0.4445

Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
27	Condos		21	300	6,300	0.0063	4	0.0252
28	Townhouses/Semi-Detached		29	350	10,150	0.0102	4	0.0406
29	Office/Comm WHSE	14,400		200/1000	2,880	0.0029	4	0.0115
30	Office Buildings	115,653		200/1000	23,131	0.0231	4	0.0925
31	Office Buildings	39,133		200/1000	7,827	0.0078	4	0.0313
32	Office Buildings	39,133		200/1000	7,827	0.0078	4	0.0313
33	Office Buildings	39,133		200/1000	7,827	0.0078	4	0.0313
34	Condos		12	300	3,600	0.0036	4	0.0144
35	Office Buildings	17,120		200/1000	3,424	0.0034	4	0.0137
36	Office Buildings	8,964		200/1000	1,793	0.0018	4	0.0072
37	General Commercial	3,330		200/1000	666	0.0007	4	0.0027
38	General Commercial	12,908		200/1000	2,582	0.0026	4	0.0103
39	JR Office Building	3,420		200/1000	684	0.0007	4	0.0027
40	Condos		48	300	14,400	0.0144	4	0.0576
41	Office Buildings	69,648		200/1000	13,930	0.0139	4	0.0557
42	General Commercial	550		200/1000	110	0.0001	4	0.0004
43	Parking Garage	N/A		200/1000	-	-	4	-
44	Hotel and Motel		258	130	33,540	0.0335	4	0.1342
45	Office Buildings	155,679		200/1000	31,136	0.0311	4	0.1245
46	Office Buildings	83,815		200/1000	16,763	0.0168	4	0.0671
47	Office Buildings	171,268		200/1000	34,254	0.0343	4	0.1370
48	Office Buildings	136,120		200/1000	27,224	0.0272	4	0.1089
49	Townhouses/Semi-Detached		58	350	20,300	0.0203	4	0.0812
50	Office Buildings	59,621		200/1000	11,924	0.0119	4	0.0477
51	Office Buildings	95,027		200/1000	19,005	0.0190	4	0.0760
52	Charitable	107,231		200/1000	21,446	0.0214	4	0.0858
53	Condos		60	300	18,000	0.0180	4	0.0720
Total		1,172,153	486	2,030	340,721	0.3407		1.3629



APPROVED
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DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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CONSULTING

Bowman Consulting Group, Ltd.
 14020 Thunderbolt Place
 Suite 300
 Alexandria, Virginia 20151
 Phone: (703) 464-1000
 Fax: (703) 461-1970
 www.bowmanconsulting.com
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SEWER SHED PLAN

530 FIRST STREET

DEVELOPMENT PRELIMINARY SITE PLAN

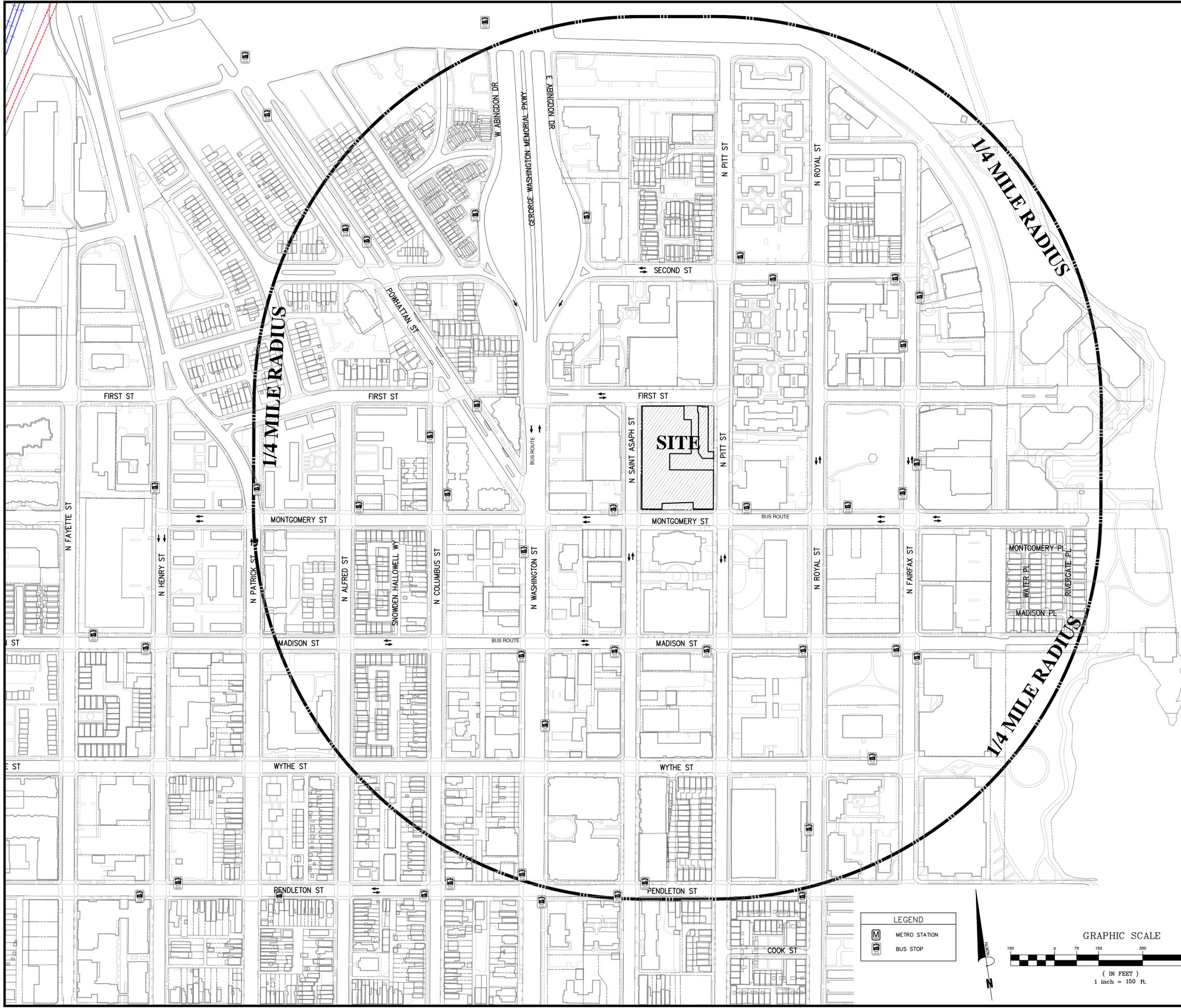
CITY OF ALEXANDRIA

VIRGINIA

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12/14/15	2ND SUBMISSION	
01/11/16	INSERTS	

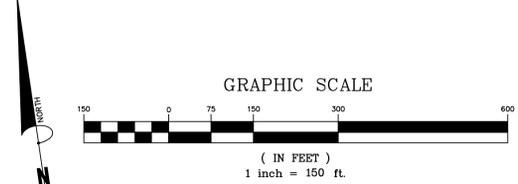
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DATE: DECEMBER, 2015	
FILE No. 8476-D-PR-001	
SHEET C8.10	

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LEGEND

- METRO STATION
- BUS STOP



APPROVED
SPECIAL USE PERMIT NO. 2015-0019
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

CONTEXTUAL PLAN
530 FIRST STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA

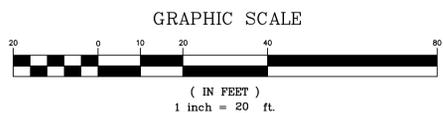
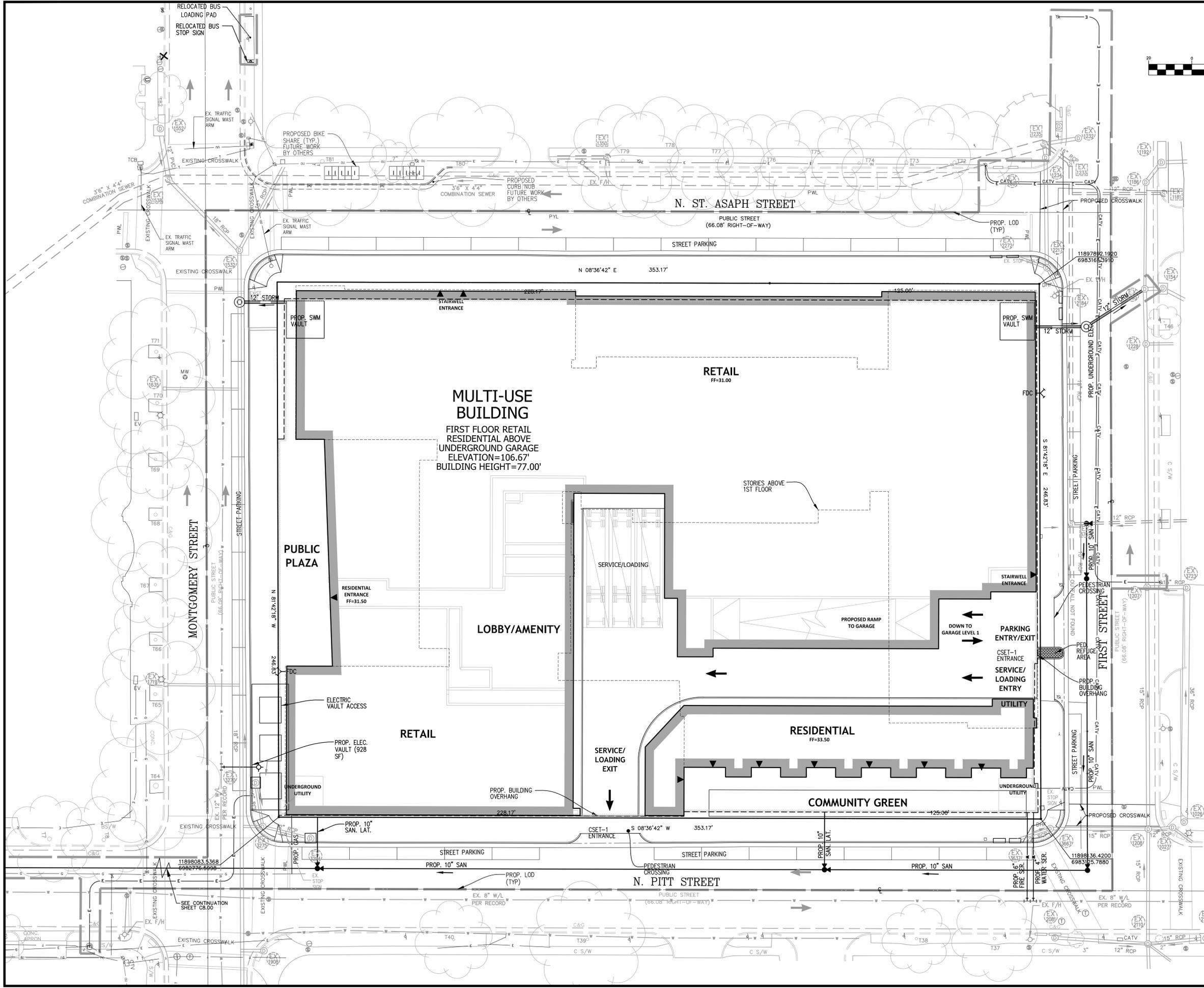
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10/30/15	1ST SUBMISSION
12/14/15	2ND SUBMISSION

DATE	DESCRIPTION
	PLAN STATUS
	JOB No. 8476-01-001
	DATE : DECEMBER, 2015
	FILE No. 8476-D-PR-001
	SHEET C3.00

Bowman
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Alexandria, Virginia 22151
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Code file name: P:\8476 - Court, ABC, Site\8476-01-001 (ENG) - (S)UP (M)ax (E)ngineering (E)ngineering Plans\8476-01-001-PR-001-CONTEXTUAL PLAN.dwg



- NOTES:
1. UTILITIES SUBJECT TO FINAL DESIGN AND COORDINATION WITH PRIVATE UTILITIES.
 2. THE POOL DISCHARGE SHALL BE CONNECTED TO THE SANITARY SEWER.

UTILITY CONTACTS

1. ELECTRIC: VIRGINIA POWER
c/o KEN HOLMES
907 WEST GLEBE ROAD
ALEXANDRIA, VA. 22305
(703) 838-2437
2. NATURAL GAS: WASHINGTON GAS
c/o TONY NEGRI
6801 INDUSTRIAL ROAD
SPRINGFIELD, VA. 22151
(703) 750-5953
3. WATER: VIRGINIA AMERICAN WATER CO.
c/o BILL WALSH
2223 DUKE STREET
ALEXANDRIA, VIRGINIA 22314
(703) 706-3864
4. TELEPHONE: VERIZON
c/o VAL FISHER
2980 FAIRVIEW PARK N.
6th FLOOR
FALLS CHURCH, VA. 22042
(703) 204-5068
5. TELE/CATV/HS INTERNET:
COMCAST
c/o BRIAN SHADE
3900 WHEELER AVENUE
ALEXANDRIA, VIRGINIA 22304
(703) 567-4449

MULTI-USE BUILDING
FIRST FLOOR RETAIL
RESIDENTIAL ABOVE
UNDERGROUND GARAGE
ELEVATION=106.67'
BUILDING HEIGHT=77.00'

RETAIL
FF=31.00

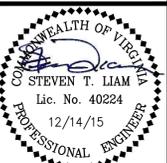
PUBLIC PLAZA

LOBBY/AMENITY

RETAIL

RESIDENTIAL
FF=33.50

COMMUNITY GREEN



PLAN STATUS

10/30/15	1ST SUBMISSION
12/14/15	2ND SUBMISSION

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

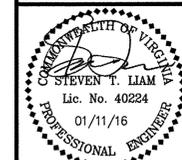
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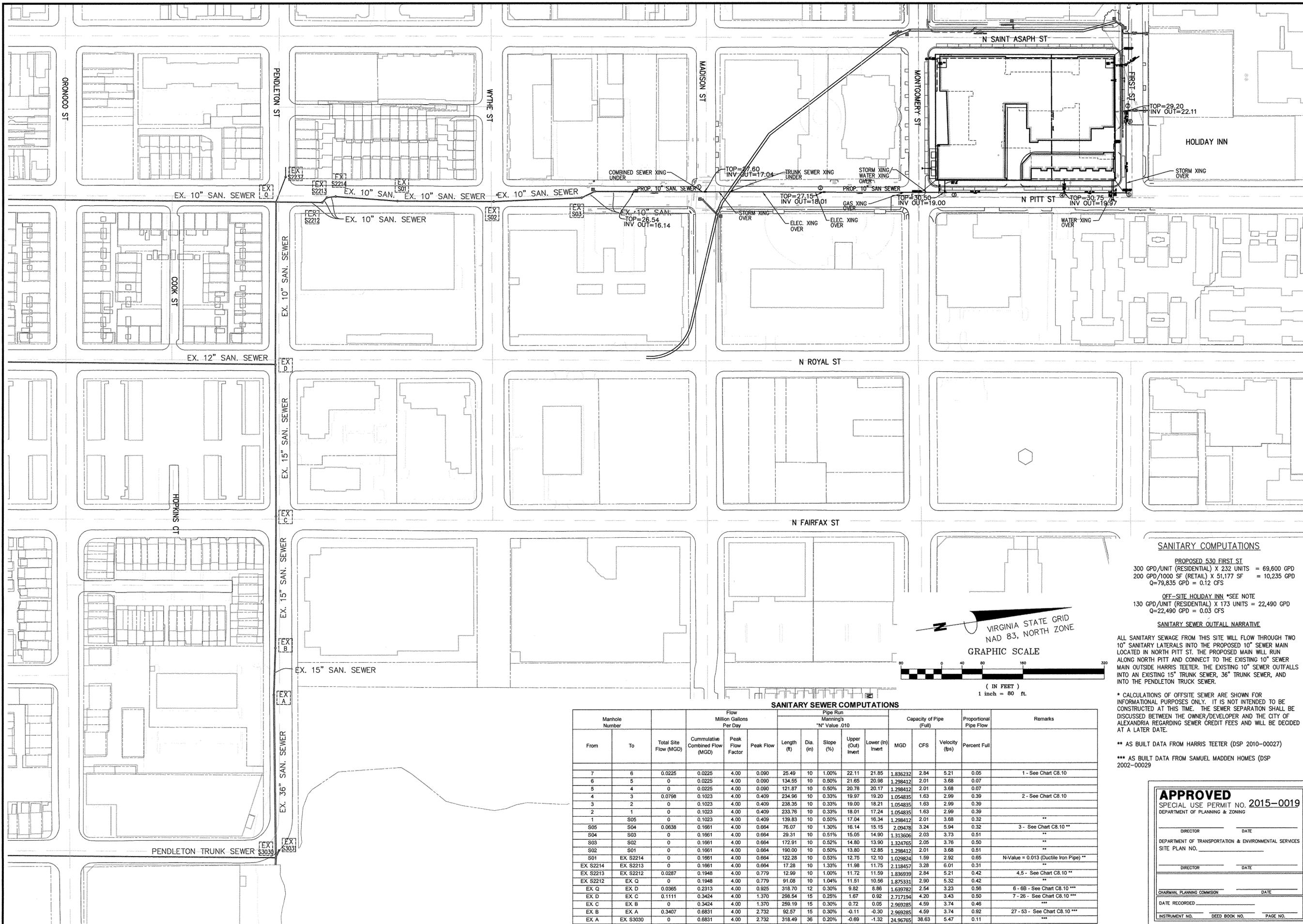
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DATE	DECEMBER, 2015
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SHEET	C7.00

Code file name: P:\8476 - Cont. ABC - Site Plan\8476-01-001 (ENG) - USDP (West) Engineering\Engineering Plans\8476-01-001-01-00-UTILITY PLAN.dwg



PLAN STATUS	
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12/14/15	2ND SUBMISSION
01/11/16	INSERTS

DATE	DESCRIPTION
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SL	CHKD
SCALE	H: 1" = 80'
V: 1" = 80'	
JOB NO.	8476-01-001
DATE	DECEMBER, 2015
FILE NO.	8476-D-PR-001
SHEET	C8.00



SANITARY COMPUTATIONS

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 200 GPD/1000 SF (RETAIL) X 51,177 SF = 10,235 GPD
 Q=79,835 GPD = 0.12 CFS

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 130 GPD/UNIT (RESIDENTIAL) X 173 UNITS = 22,490 GPD
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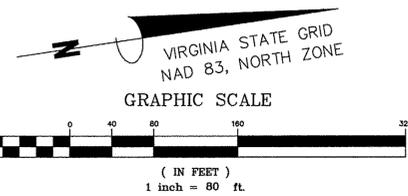
SANITARY SEWER OUTFALL NARRATIVE

ALL SANITARY SEWAGE FROM THIS SITE WILL FLOW THROUGH TWO 10" SANITARY LATERALS INTO THE PROPOSED 10" SEWER MAIN LOCATED IN NORTH PITT ST. THE PROPOSED MAIN WILL RUN ALONG NORTH PITT AND CONNECT TO THE EXISTING 10" SEWER MAIN OUTSIDE HARRIS TEETER. THE EXISTING 10" SEWER OUTFALLS INTO AN EXISTING 15" TRUNK SEWER, 36" TRUNK SEWER, AND INTO THE PENDLETON TRUCK SEWER.

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** AS BUILT DATA FROM HARRIS TEETER (DSP 2010-00027)

*** AS BUILT DATA FROM SAMUEL MADDEN HOMES (DSP 2002-00029)



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6	5	0	0.0225	4.00	0.090	134.55	10	0.50%	21.65	20.98	1.298412	2.01	3.68	0.07	
5	4	0	0.0225	4.00	0.090	121.87	10	0.50%	20.78	20.17	1.298412	2.01	3.68	0.07	
4	3	0.0798	0.1023	4.00	0.409	234.96	10	0.33%	19.97	19.20	1.054835	1.63	2.99	0.39	2 - See Chart C8.10
3	2	0	0.1023	4.00	0.409	238.35	10	0.33%	19.00	18.21	1.054835	1.63	2.99	0.39	
2	1	0	0.1023	4.00	0.409	233.76	10	0.33%	18.01	17.24	1.054835	1.63	2.99	0.39	
1	S05	0	0.1023	4.00	0.409	139.83	10	0.50%	17.04	16.34	1.298412	2.01	3.68	0.32	
S05	S04	0.0638	0.1661	4.00	0.664	76.07	10	1.30%	16.14	15.15	2.09478	3.24	5.94	0.32	3 - See Chart C8.10 **
S04	S03	0	0.1661	4.00	0.664	29.31	10	0.51%	15.05	14.90	1.313606	2.03	3.73	0.51	**
S03	S02	0	0.1661	4.00	0.664	172.91	10	0.52%	14.80	13.90	1.324765	2.05	3.76	0.50	**
S02	S01	0	0.1661	4.00	0.664	190.00	10	0.50%	13.80	12.85	1.298412	2.01	3.68	0.51	**
S01	EX S2214	0	0.1661	4.00	0.664	122.28	10	0.53%	12.75	12.10	1.029824	1.59	2.92	0.65	N-Value = 0.013 (Ductile Iron Pipe) **
EX S2214	EX S2213	0	0.1661	4.00	0.664	17.28	10	1.33%	11.98	11.75	2.118457	3.28	6.01	0.31	**
EX S2213	EX S2212	0.0287	0.1948	4.00	0.779	12.99	10	1.00%	11.72	11.59	1.836939	2.84	5.21	0.42	4,5 - See Chart C8.10 ***
EX S2212	EX Q	0	0.1948	4.00	0.779	91.08	10	1.04%	11.51	10.56	1.875331	2.90	5.32	0.42	**
EX Q	EX D	0.0365	0.2313	4.00	0.925	318.70	12	0.30%	9.82	8.86	1.639782	2.54	3.23	0.56	6 - 6B - See Chart C8.10 ***
EX D	EX C	0.1111	0.3424	4.00	1.370	298.54	15	0.25%	1.67	0.82	2.717194	4.20	3.43	0.50	7 - 26 - See Chart C8.10 ***
EX C	EX B	0	0.3424	4.00	1.370	259.19	15	0.30%	0.72	0.05	2.969285	4.59	3.74	0.46	***
EX B	EX A	0.3407	0.6831	4.00	2.732	92.57	15	0.30%	-0.11	-0.30	2.969285	4.59	3.74	0.92	27 - 53 - See Chart C8.10 ***
EX A	EX S3030	0	0.6831	4.00	2.732	318.49	36	0.20%	-0.69	-1.32	24.96765	38.63	5.47	0.11	***

APPROVED
 SPECIAL USE PERMIT NO. 2015-0019
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

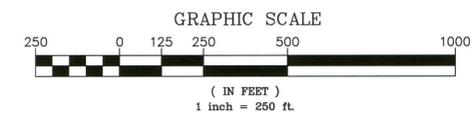


LEGEND
 SEWER SHED TO PENDLETON TRUNK SEWER
 *SEE SHEET C8.00 FOR SEWER ALIGNMENT

VIRGINIA STATE GRID
 NAD 83, NORTH ZONE

NOTE: MAP ID FROM CITY OF ALEXANDRIA GIS DATA

Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
1	Holiday Inn		173	130	22,490	0.0225	4	0.0900
Total			173	130	22,490	0.0225		0.0900
2	530 First St. (Site Plan)	51,177	232	200/1000	79,835	0.0798	4	0.3193
Total		51,177	232		79,835	0.0798		0.3193
3	Harris Teeter	56,718	175	200/1000	63,844	0.0638	4	0.2554
Total		56,718	175		63,844	0.0638		0.2554
4	Condos		56	300	16,800	0.0168	4	0.0672
5	Townhouses/Semi-Detached		34	350	11,900	0.0119	4	0.0476
Total			90	650	28,700	0.0287		0.1148
6	Condos		16	300	4,800	0.0048	4	0.0192
6A	Condos		25	300	7,500	0.0075	4	0.0300
6B	Office Buildings	121,000		200/1000	24,200	0.0242	4	0.0968
Total		121,000	41	600	36,500	0.0365		0.1460
7	Townhouses/Semi-Detached		14	350	4,900	0.0049	4	0.0196
8	Alex. Redv. Hous. Auth		8	300	2,400	0.0024	4	0.0096
9	Alex. Redv. Hous. Auth		8	300	2,400	0.0024	4	0.0096
10	Alex. Redv. Hous. Auth		8	300	2,400	0.0024	4	0.0096
11	Alex. Redv. Hous. Auth		8	300	2,400	0.0024	4	0.0096
12	Townhouses/Semi-Detached		50	350	17,500	0.0175	4	0.0700
13	Alex. Redv. Hous. Auth		5	300	1,500	0.0015	4	0.0060
14	Alex. Redv. Hous. Auth		5	300	1,500	0.0015	4	0.0060
15	Alex. Redv. Hous. Auth		5	300	1,500	0.0015	4	0.0060
16	Alex. Redv. Hous. Auth		5	300	1,500	0.0015	4	0.0060
17	Townhouses/Semi-Detached		50	350	17,500	0.0175	4	0.0700
18	Alex. Redv. Hous. Auth		31	300	9,300	0.0093	4	0.0372
19	Alex. Redv. Hous. Auth		31	300	9,300	0.0093	4	0.0372
20	Townhouses/Semi-Detached		41	350	14,350	0.0144	4	0.0574
21	JR Office Building	5,600		200/1000	1,120	0.0011	4	0.0045
22	Townhouses/Semi-Detached		14	350	4,900	0.0049	4	0.0196
23	Office Buildings	45,375		200/1000	9,075	0.0091	4	0.0363
24	Office Buildings	22,000		200/1000	4,400	0.0044	4	0.0176
25	JR Office Building	8,904		200/1000	1,781	0.0018	4	0.0071
26	Townhouses/Semi-Detached		4	350	1,400	0.0014	4	0.0056
Total		81,879	287	5,100	111,126	0.1111		0.4445
27	Condos		21	300	6,300	0.0063	4	0.0252
28	Townhouses/Semi-Detached		29	350	10,150	0.0102	4	0.0406
29	Office/Comm WHSE	14,400		200/1000	2,880	0.0029	4	0.0115
30	Office Buildings	115,653		200/1000	23,131	0.0231	4	0.0925
31	Office Buildings	39,133		200/1000	7,827	0.0078	4	0.0313
32	Office Buildings	39,133		200/1000	7,827	0.0078	4	0.0313
33	Office Buildings	39,133		200/1000	7,827	0.0078	4	0.0313
34	Condos		12	300	3,600	0.0036	4	0.0144
35	Office Buildings	17,120		200/1000	3,424	0.0034	4	0.0137
36	Office Buildings	8,964		200/1000	1,793	0.0018	4	0.0072
37	General Commercial	3,330		200/1000	666	0.0007	4	0.0027
38	General Commercial	12,908		200/1000	2,582	0.0026	4	0.0103
39	JR Office Building	3,420		200/1000	684	0.0007	4	0.0027
40	Condos		48	300	14,400	0.0144	4	0.0576
41	Office Buildings	69,648		200/1000	13,930	0.0139	4	0.0557
42	General Commercial	550		200/1000	110	0.0001	4	0.0004
43	Parking Garage	N/A		200/1000	-	-	4	-
44	Hotel and Motel		258	130	33,540	0.0335	4	0.1342
45	Office Buildings	155,679		200/1000	31,136	0.0311	4	0.1245
46	Office Buildings	83,815		200/1000	16,763	0.0168	4	0.0671
47	Office Buildings	171,268		200/1000	34,254	0.0343	4	0.1370
48	Office Buildings	136,120		200/1000	27,224	0.0272	4	0.1089
49	Townhouses/Semi-Detached		58	350	20,300	0.0203	4	0.0812
50	Office Buildings	59,621		200/1000	11,924	0.0119	4	0.0477
51	Office Buildings	95,027		200/1000	19,005	0.0190	4	0.0760
52	Charitable	107,231		200/1000	21,446	0.0214	4	0.0858
53	Condos		60	300	18,000	0.0180	4	0.0720
Total		1,172,153	486	2,030	340,721	0.3407		1.3629



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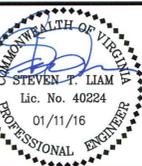
DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
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Bowman
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SEWER SHED PLAN
 530 FIRST STREET
 DEVELOPMENT PRELIMINARY SITE PLAN
 VIRGINIA
 CITY OF ALEXANDRIA



PLAN STATUS
 10/30/15 1ST SUBMISSION
 12/14/15 2ND SUBMISSION
 01/11/16 INSERTS

DATE DESCRIPTION
 DP DESIGN
 DP DRAWN
 SL CHKD
 SCALE H: 1" = 250'
 V:
 JOB No. 8476-01-001
 DATE: DECEMBER, 2015
 FILE No. 8476-D-PR-001
 SHEET C8.10

PRE-DEVELOPMENT WATER QUANTITY COMPUTATIONS

$Q = C_p \times I \times A$
 $C = 0.90$
 $Q_{PRE} = (0.90 \times 6.2 \times 2.00 \text{ Ac.}) = 11.16 \text{ CFS}$
 $Q_{PRE} = (0.90 \times 9.0 \times 2.00 \text{ Ac.}) = 16.20 \text{ CFS}$

POST-DEVELOPMENT WATER QUANTITY COMPUTATIONS

$Q = C_p \times I \times A$
 $C = 0.89$
 $Q_{POST} = (0.89 \times 6.2 \times 2.00 \text{ Ac.}) = 11.04 \text{ CFS}$
 $Q_{POST} = (0.89 \times 9.0 \times 2.00 \text{ Ac.}) = 16.02 \text{ CFS}$

CHANNEL PROTECTION

$Q_2 = 11.16 \text{ CFS} > 11.04 \text{ CFS}$

FLOOD PROTECTION

$Q_0 = 16.20 \text{ CFS} > 16.02 \text{ CFS}$

SWM NARRATIVE

THE SITE PROPOSES TO COMPLY WITH ALL STORMWATER MANAGEMENT REQUIREMENTS BY ROUTING STREET RUNOFF TO EXISTING CURB DRAINAGE INLETS. ROOFTOP RUNOFF SHALL BE COLLECTED AND TREATED THROUGH A VEGETATED ROOF SYSTEM AND TWO (2) 6-FOOT DIAMETER DOWNSTREAM DEFENDERS (HYDRO INTERNATIONAL). THE DOWNSTREAM DEFENDER SHALL BE DIVIDED BETWEEN 2 ON-SITE VAULT FACILITIES LOCATED WITHIN THE GARAGE AT THE NORTHWEST AND SOUTHWEST CORNERS. ROOFTOP RUNOFF SHALL BE DIVIDED BETWEEN THE TWO VAULT SYSTEMS TO PROVIDE QUALITY AND QUANTITY CONTROL. FINAL STORMWATER MANAGEMENT SHALL BE DETERMINED DURING FINAL ENGINEERING PHASE. SEE THIS PLAN FOR DETAILS.

STORMWATER QUALITY COMPUTATIONS ARE CALCULATED VIA VIRGINIA RUNOFF REDUCTION SPREADSHEET. PHOSPHORUS LOAD REMOVAL IS ACHIEVED VIA VEGETATED ROOF AND PROPRIETARY HYDRODYNAMIC DEVICES. THE AFOREMENTIONED 6-FOOT DIAMETER DOWNSTREAM DEFENDERS SHALL PROVIDE 8.0 CFS PEAK TREATMENT FLOW EACH PER HYDRO INTERNATIONAL DETAILS.

THE PROPOSED CUMULATIVE SITE AREA OF THE TWO AFOREMENTIONED VAULTS IS 634 SF. WITH A HEIGHT OF 10'. THE CUMULATIVE VOLUME OF STORAGE PROVIDED ON SITE IS 6,340 CF. PER ENERGY BALANCE TABULATION BELOW, THIS VALUE IS GREATER THAN THE REQUIRED STORAGE OF 6,325 CF, THEREFORE, STORMWATER QUANTITY IS ACHIEVED. SEE THIS SHEET FOR DETAILS. FINAL DESIGN OF VAULTS AND GREEN ROOF SHALL BE DETERMINED DURING FINAL ENGINEERING PHASE AND IS SUBJECT TO CHANGE BUT WILL BE COMPLIANT PER VRRM SPREADSHEET AND ALEXANDRIA WATER QUALITY DEFAULT.

CHANNEL AND FLOOD PROTECTION ARE SHOWN ON THIS SHEET. USING RATIONAL METHOD, IT HAS BEEN DETERMINED THAT THE 2-YEAR AND 10-YEAR STORM POST-DEVELOPMENT RUNOFF RATES DO NOT EXCEED THE 2-YEAR AND 10-YEAR PRE-DEVELOPMENT RUNOFF RATES, THEREFORE, CHANNEL AND FLOOD PROTECTION HAVE BEEN ACHIEVED FOR THIS SITE.

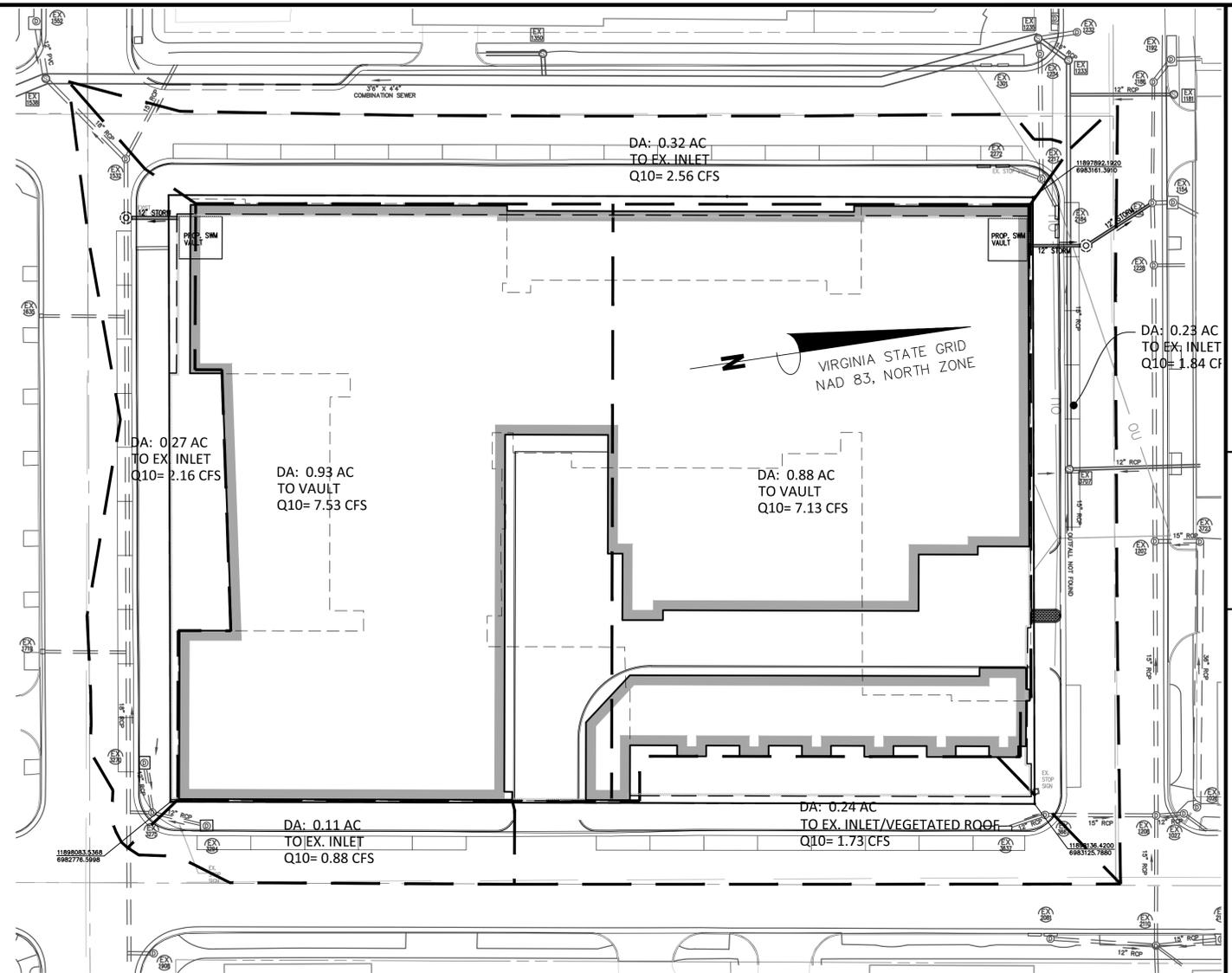
ALEXANDRIA WATER QUALITY VOLUME DEFAULT

$WQ_v = 1815 \times \text{IMPERVIOUS AREA (AC.)} \times (0.50 \text{ INCH DEPTH})$
 $WQ_v = 1815 \times 1.97 = 3,575.55 \text{ CF REQUIRED}$

FOR FLOW-THROUGH EACH BMP (1 BMP PER VAULT):

$I = 1.75 \text{ IN/HR (3-MONTH)}$
 $Q = C_p \times I \times A$
 $= 0.9 \times 1.75 \times 0.75$
 $= 1.18 \text{ CFS}$

$Q = 8.0 \text{ CFS PROVIDED (PER DOWNSTREAM DEFENDER)}$
 $Q = 8.0 \text{ CFS} > 1.30 \text{ CFS, THEREFORE QUALITY VOLUME IS MET}$



Post-ReDevelopment Project & Land Cover Information		Total Disturbed Acreage	2.00
Constants			
Annual Rainfall (inches)	43		
Target Rainfall Event (inches)	1.00		
Phosphorus EMC (mg/L)	0.26		
Target Phosphorus Target Load (lb/acre/yr)	0.41		
Pj	0.90		
Nitrogen EMC (mg/L)	1.86		
Pre-ReDevelopment Land Cover (acres)			
	A Soils	B Soils	C Soils
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00
Impervious Cover (acres)	0.00	0.00	2.00
	Total		2.00
Post-ReDevelopment Land Cover (acres)			
	A Soils	B Soils	C Soils
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.11
Impervious Cover (acres)	0.00	0.00	1.89
	Total		2.00
Area Check			
	Okay	Okay	Okay
Rv Coefficients			
	A Soils	B Soils	C Soils
Forest/Open Space	0.02	0.03	0.04
Managed Turf	0.15	0.20	0.22
Impervious Cover	0.95	0.95	0.95

Land Cover Summary	Listed	Adjusted ¹	Land Cover Summary
Pre-ReDevelopment			Post-ReDevelopment
Forest/Open Space Cover (acres)	0.00	0.00	Forest/Open Space Cover (acres)
Composite Rv(forest)	0.00	0.00	Composite Rv(forest)
% Forest	0%	0%	% Forest
Managed Turf Cover (acres)	0.00	0.00	Managed Turf Cover (acres)
Composite Rv(turf)	0.00	0.00	Composite Rv(turf)
% Managed Turf	0%	0%	% Managed Turf
Impervious Cover (acres)	2.00	2.00	ReDev. Impervious Cover (acres)
Rv(impervious)	0.95	0.95	Rv(impervious)
% Impervious	100%	100%	% Impervious
Total Site Area (acres)	2.00	2.00	Total ReDev. Site Area (acres)
Site Rv	0.95	0.95	ReDev. Site Rv

Pre-Development Treatment Volume (acre-ft)	0.1583	0.1583
Pre-Development Treatment Volume (cubic feet)	6,897	6,897
Pre-Development Load (TP) (lb/yr)	4.33	4.33

Post-Development Treatment Volume (acre-ft)	0.0000
Post-Development Treatment Volume (cubic feet)	0
Post-Development Load (TP) (lb/yr)	0.00
Maximum % Reduction Required Below Pre-ReDevelopment Load	20%
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.69
Total Load Reduction Required (lb/yr)	0.69
Post-Development Load (TN) (lb/yr)	29.74
Pre-Development Load (TN) (lb/yr)	31.00

TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	0.69
RUNOFF REDUCTION (cf)	78
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	0.70
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	3.46
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 0 LB/YEAR!!

Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practice (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed by Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
1. Vegetated Roof													
1.a. Vegetated Roof #1 (Spec #5)	acres of green roof	45% runoff volume reduction	0.45	0.05	0	78	95	0	0.00	0.11	0.05	0.06	
1.b. Vegetated Roof #2 (Spec #5)	acres of green roof	60% runoff volume reduction	0.60	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
14. Manufactured BMP													
	impervious acres draining to device	0% runoff volume reduction	0.00	1.50	0.00	0	5173	20	0.00	3.25	0.65	2.60	
	turf acres draining to device	0% runoff volume reduction	0.00	0.00	0.00	0	0	20	0.00	0.00	0.00	0.00	

Project Description

Development or	Impervious	Pervious	Total
Site Area	1.97 AC	0.03 AC	2.00 AC
On-Site Treated	0.38 AC	0.00 AC	0.38 AC
Off-Site Treated	0.00 AC	0.00 AC	0.00 AC
Total Treated	0.38 AC	0.00 AC	0.38 AC
Any On-Site Disconnected by a Vegetated Buffer (25 ft)	N/A		
Total On-Site Treated or Disconnected			0.38 AC

Water Treatment on site

BMP Type	Area treated by BMP (acres)	Impervious area treated by BMP (acres)	BMP efficiency (%)
Veg. Roof #1	0.05 AC	0.05 AC	45% Runoff Red.
BayFilter	0.33 AC	0.33 AC	50% Runoff Red.

Miscellaneous

Total WQV treated: yes no
 Detention on site: yes no
 Project is within which watershed? Combined Sewer Area
 Project discharges to which body of water? Potomac River

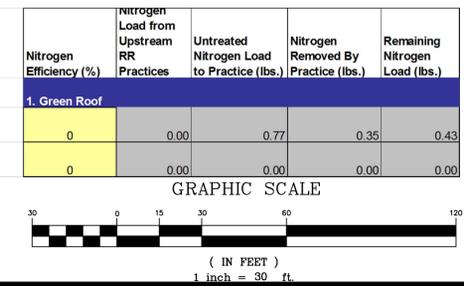
SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.7	2.7	5.2	5.2
CN	98.00	97.00	98.00	97.00
S=1000/CN-10	0.20	0.31	0.20	0.31
0.2S	0.04	0.06	0.04	0.06
$RV=(P-0.2S)^2/(P-0.2S)+S$	2.47	2.36	4.96	4.85

$Q_{Post Development} \leq I.F. * (Q_{pre-development} * RV_{pre-development}) / RV_{Developed}$

I.F.	0.8
CHANNEL PROTECTION	
Qpre-development	6.82
QPost Development	6.68
RVPost Development (with runoff reduction)	2.35
Qallowable	5.73
Qallowable/QPost Development	0.86
Vs/Vr	0.18
Vs	0.42
Storage required (cf)	3071

FLOOD CONTROL	
Qpre-development	13.30
QPost Development	13.22
RVPost Development (with runoff reduction)	4.84
Qallowable	13.64
Qallowable/QPost Development	1.03
Vs/Vr	0.18
Vs	0.87
Storage required (cf)	6325



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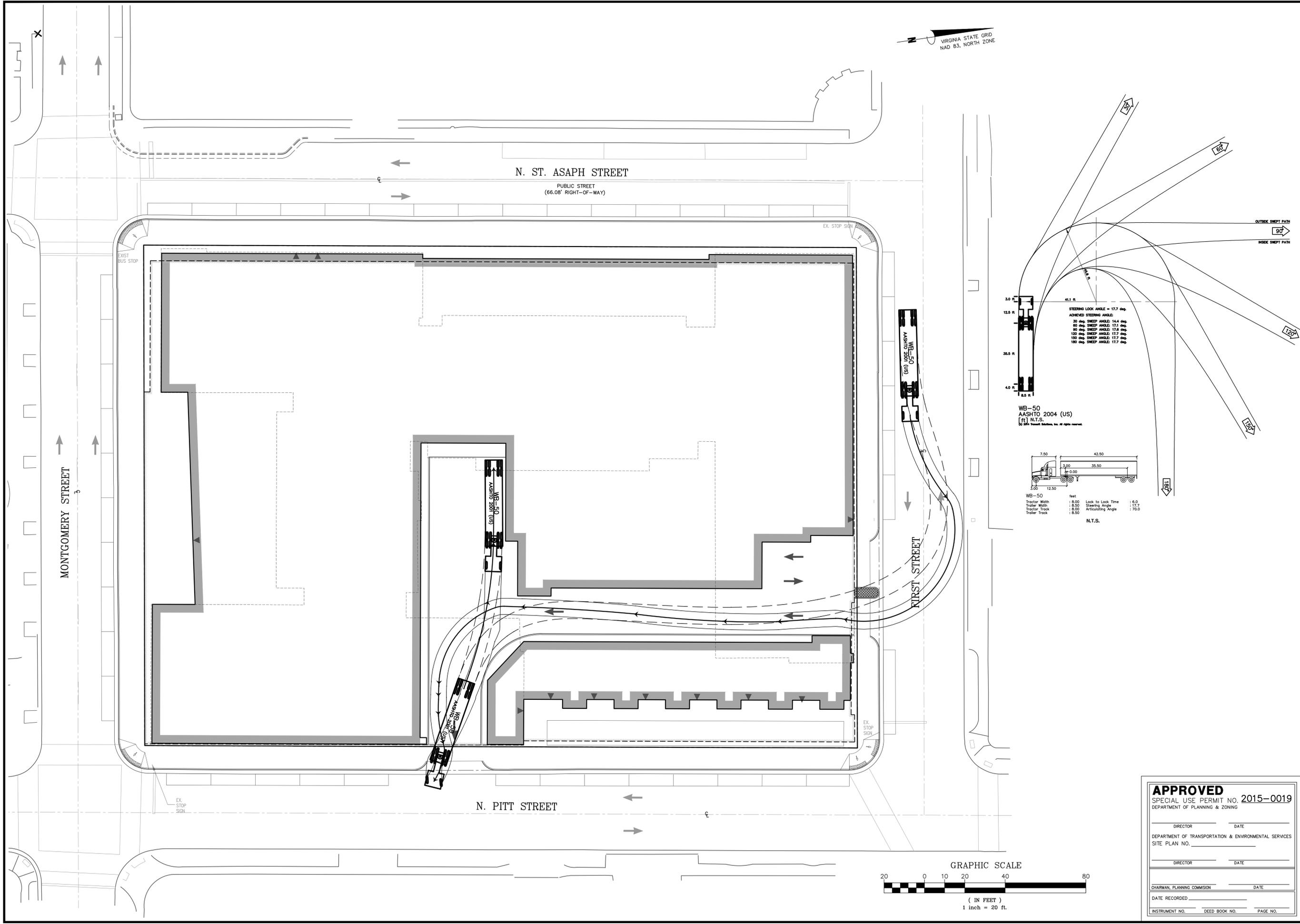
DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 SCALE: H: 1" = 30'
 V: _____
 DIRECTOR _____ DATE _____
 CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Bowman CONSULTING
 Stormwater Management Plan & Details
 530 FIRST STREET
 DEVELOPMENT PRELIMINARY SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA
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 Alexandria, Virginia 22151
 Phone: (703) 464-1000
 Fax: (703) 461-9720
 www.bowmanconsulting.com
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PROFESSIONAL ENGINEER
 STEVEN T. LIAM
 Lic. No. 40224
 12/14/15

PLAN STATUS
 10/30/15 1ST SUBMISSION
 12/14/15 2ND SUBMISSION

FILE No. 8476-D-PR-001
 SHEET C8.20



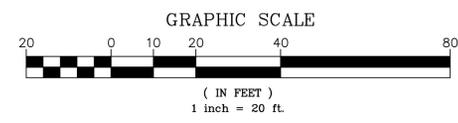
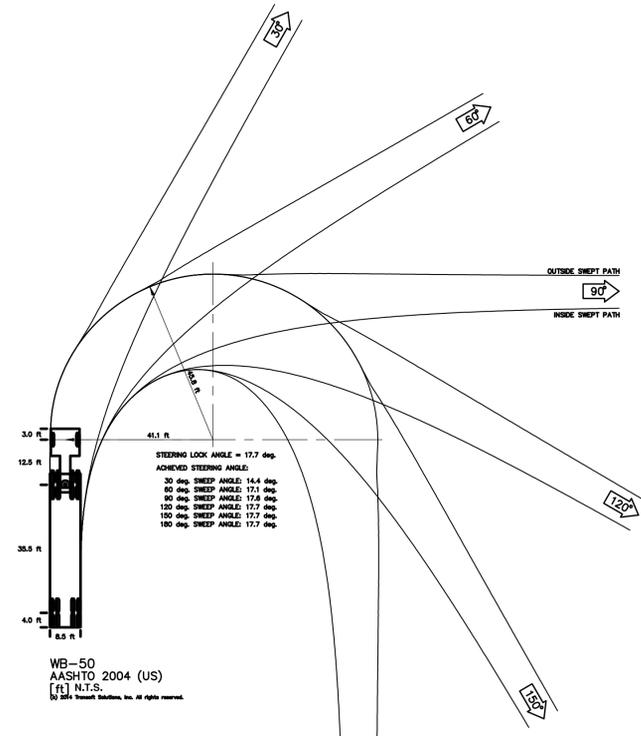
VIRGINIA STATE GRID
NAD 83, NORTH ZONE

N. ST. ASAPH STREET
PUBLIC STREET
(66.08' RIGHT-OF-WAY)

MONTGOMERY STREET

N. FIRST STREET

N. PITT STREET



Bowman

C O N S U L T I N G

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TRUCK TURNING MOVEMENT ENTER
530 FIRST STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA



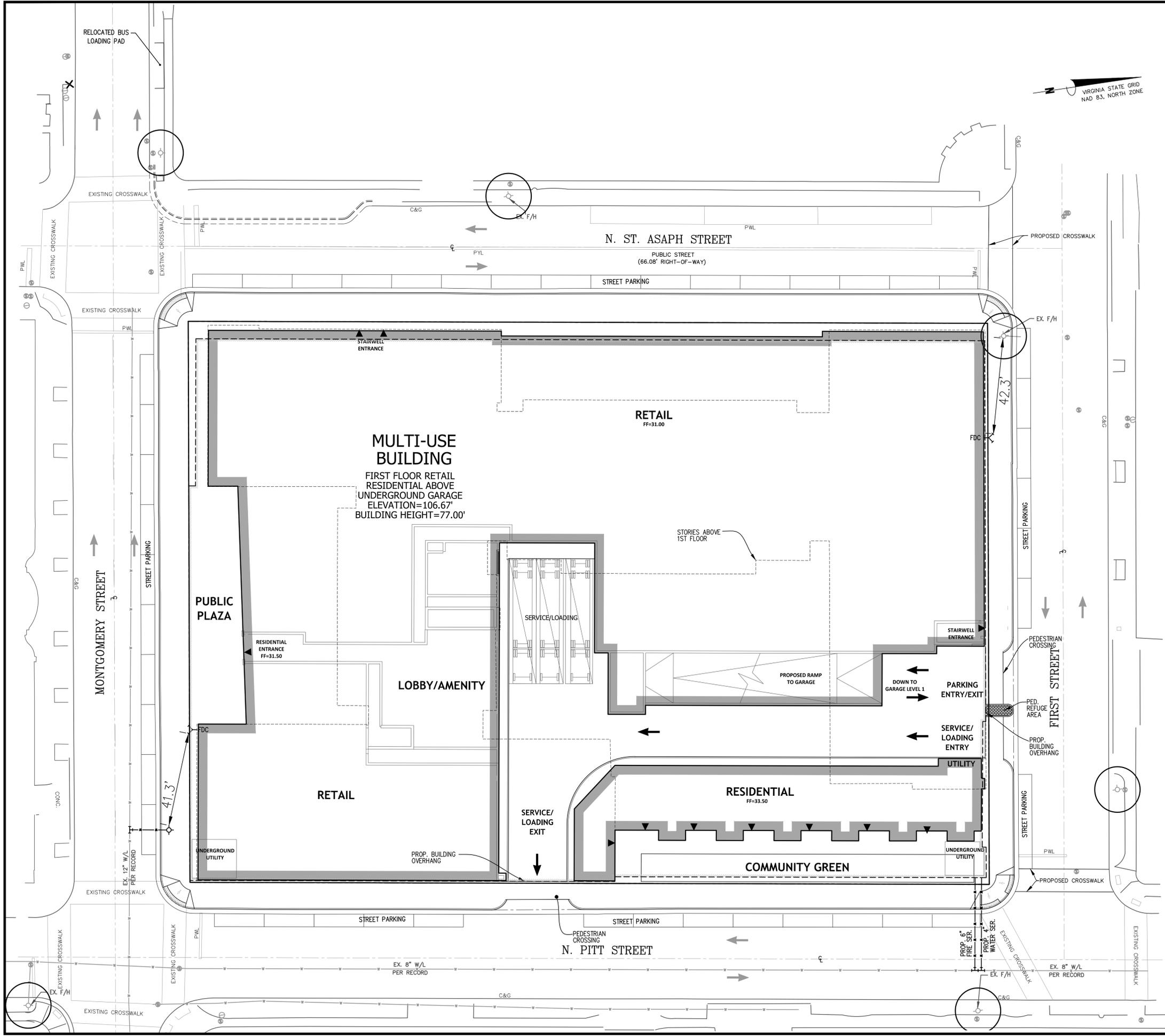
PLAN STATUS	
10/30/15	1ST SUBMISSION
12/14/15	2ND SUBMISSION

APPROVED
SPECIAL USE PERMIT NO. 2015-0019
DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DATE	DESCRIPTION
DP DESIGN	DP DRAWN SL CHKD
SCALE: H: 1" = 20'	
JOB No. 8476-01-001	
DATE: DECEMBER, 2015	
FILE No. 8476-D-PR-001	
SHEET C9.00	

Code file name: P:\8476 - Genl ABC Site\8476-01-001 (ENG) - USIP (West) Engineering\Engineering Plans\USIP\8476-01-PR-001-C9.00-VEHICLE TURNING.dwg



Fire Lane Designations

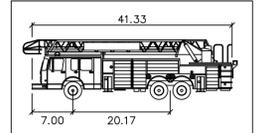
1. **Fire Lanes**
Emergency vehicle easements shall be a minimum of 22 feet across the travel lane. The emergency vehicle easement shall provide access to strategic areas of the building and fire protection systems as designated by the Director of Code Enforcement. Curbing and street components shall conform to the standards established by Transportation and Environment Services for emergency vehicle easements.

2. **Sign Specifications**
Fire lane signs shall be metal construction, 12 inches wide and 18 inches in height. Provide red letters on reflective white background with a 3/8-inch red trim strip around the entire outer edge of the sign.
The lettering shall be "NO PARKING FIRE LANE." Placed as shown in Figure 3. Lettering size shall be as follows: "NO PARKING" - 2 inches, "FIRE LANE" - 2-1/2 inches. Arrows (where applicable) - 1 inch by 6 inches solid shaft with solid head 1-1/2 inches wide and 2 inches deep.
Signs shall be mounted with the bottom of the sign 7 feet above the roadway, and shall be properly attached to a sign post or other approved structure as designated by the Director of Code Enforcement. Posts for signs, when required, shall be metal and securely mounted.



FIGURE 3 - FIRE LANE SIGN

Signs shall face in the direction of vehicle travel. In areas where fire lanes involve two-way traffic, double mounted signs shall be provided. The maximum distance between signs shall be 100 feet. Other special signs or modifications to fire lane signs shall be approved by the Fire Marshal.

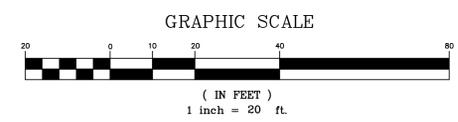


REAR MNT LADDER

feet

Width	: 9.00
Treck	: 9.00
Lock to Lock Time	: 6.00
Steering Angle	: 33.30

NOTE: NO FIRE TRUCK TURNS ARE ON THE SITE. ALL FIRE ACCESS IS ALONG THE STREET FRONTAGE.



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DIRECTOR	DATE	
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Bowman CONSULTING

Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Alexandria, Virginia 22151
Phone: (703) 464-1000
Fax: (703) 461-9720
www.bowmanconsulting.com
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FIRE SERVICE PLAN
530 FIRST STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA

COMMONWEALTH OF VIRGINIA
STEVEN T. LIAM
Lic. No. 40224
12/14/15
PROFESSIONAL ENGINEER

PLAN STATUS	
10/30/15	1ST SUBMISSION
12/14/15	2ND SUBMISSION

DATE	DESCRIPTION	
DP	DP	SL
DESIGN	DRAWN	CHKD
SCALE	H: 1" = 20'	
JOB No.	8476-01-001	
DATE	DECEMBER, 2015	
FILE No.	8476-D-PR-001	

SHEET C10.00

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OWNER
Edens
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 p. 301.652.7400

530 FIRST STREET
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no. date revision

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530 FIRST STREET

Project Number
215041.00

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12.14.2015

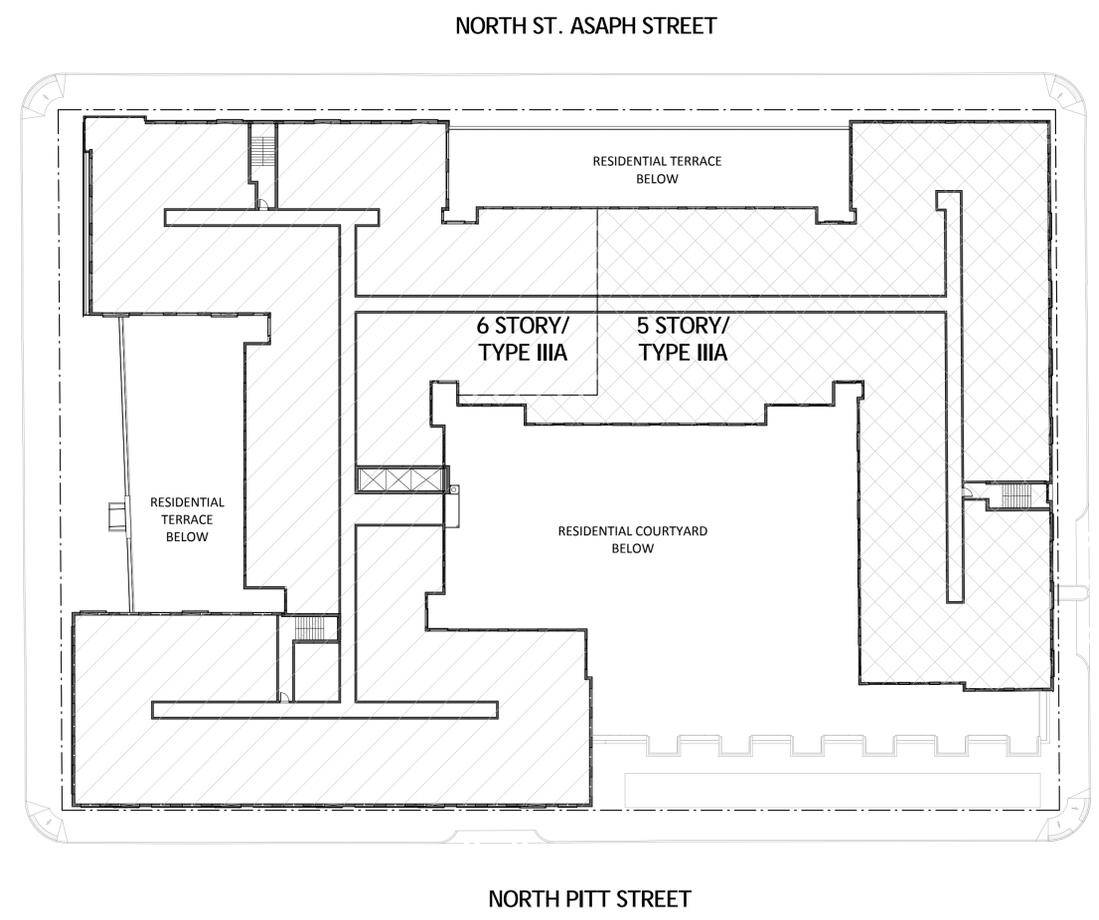
Scale
 As indicated

Drawing
BUILDING CODE ANALYSIS

A0.1

NOT FOR CONSTRUCTION
DSUP SUBMISSION

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BUILDING CODE ANALYSIS

APPLICABLE CODES (City of Alexandria)

2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2012 International Code Council Family of Codes w/ incorporated USBC amendments)

FLOOR	Area (SF)	Use Group	Type of Construction	Allowable No. of Stories	Allowable Height (FT)	Allowable Area per Floor (SF)**	Fire Protection
LEVEL 6	31,221	R2/A	IIIA	5*	85*	72,000	NFPA 13
LEVEL 5	52,535	R2	IIIA			72,000	NFPA 13
LEVEL 4	52,535	R2	IIIA			72,000	NFPA 13
LEVEL 3	52,535	R2	IIIA			72,000	NFPA 13
LEVEL 2	52,535	R2/A	IIIA			72,000	NFPA 13
HORIZONTAL BUILDING SEPERATION (3 HOUR FIRE RATED)							
MEZZANINE	5,820	R2	IA	UL	UL	UL	NFPA 13
LEVEL 1	75,621	M/R2/S2	IA	UL	UL	UL	NFPA 13
GARAGE LEVEL 1	83,301	S2	IA	UL	UL	UL	NFPA 13
GARAGE LEVEL 2	83,301	S2	IA	UL	UL	UL	NFPA 13

*ALLOWABLE HEIGHT IS INCREASED BY 20 FEET AND THE NUMBER OF STORIES INCREASES BY 1 FOR A BUILDING EQUIPPED WITH A NFPA13 SPRINKLER SYSTEM
 **ALLOWABLE AREA INCREASE OF 200% PER USE OF NFPA 13 SPRINKLER SYSTEM

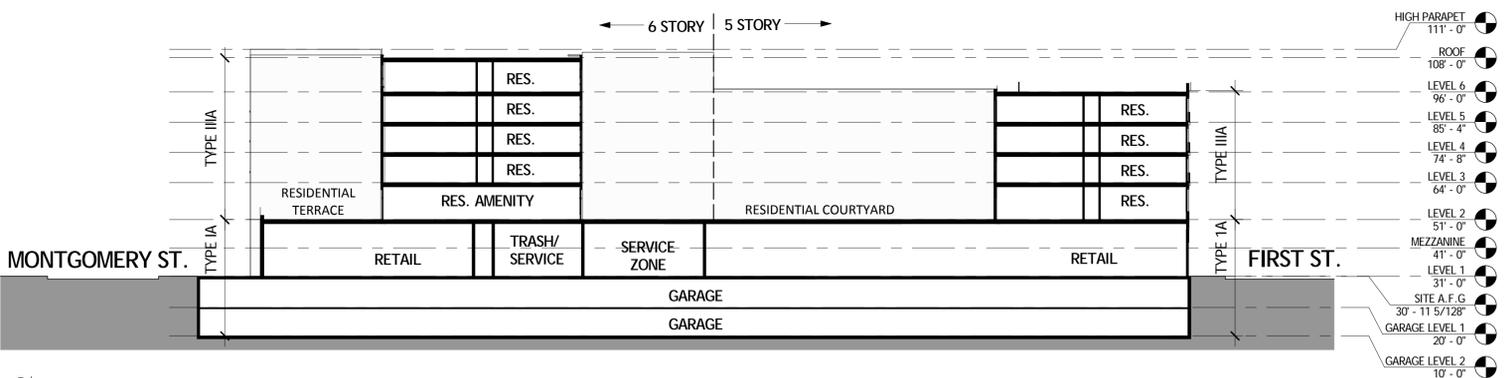
BUILDING USE AND OCCUPANCY

Separated Mixed Uses	
R2	Residential with Separated A2
Non-Separated Mixed Uses	
R2	Residential
M	Mercantile
S2	Storage (Parking Garage)

BUILDING CODE ANALYSIS

1 CODE PLAN

A0.1 A0.1 1" = 30'-0"



2 BUILDING SECTION - NORTH-SOUTH - CODE ANALYSIS

A1.5 A0.1 1" = 30'-0"





2 EAST ELEVATION

A2.2 A4.0 1" = 20'-0"



3 WEST ELEVATION

A2.2 A4.0 1" = 20'-0"



1 SOUTH ELEVATION

A2.2 A4.0 1" = 20'-0"



4 NORTH ELEVATION

A2.2 A4.0 1" = 20'-0"

EXTERIOR ELEVATION KEYNOTE LEGEND	
4.1A	BRICK VENEER - TYPE 1
4.1B	BRICK VENEER - TYPE 2
4.1C	BRICK VENEER - TYPE 3
4.1D	BRICK VENEER - TYPE 4
4.1E	BRICK VENEER - TYPE 5
4.1F	BRICK VENEER - TYPE 6
7.1	FIBER CEMENT PANEL - TYPE 1
7.2	FIBER CEMENT PANEL - TYPE 2
7.3	PANELIZED FACADE - WOOD APPEARANCE
7.4	FIBER CEMENT PANEL - TYPE 3
7.5	PREFINISHED METAL COPING
8.1	ALUMINUM WINDOWS AND/OR DOORS
8.2	CONTINUOUS LOUVER BAND
8.3	ALUMINUM STOREFRONT SYSTEM
8.4	EXTERIOR BUILDING LIGHTING

NOTE:
 -RETAIL STOREFRONT INDICATED WITH DASHED LINES IS FOR CHARACTER AND SCALE REFERENCE ONLY. FINAL DESIGN TO BE COORDINATED WITH RETAIL TENANT.
 -BUILDING LEVELS REFERENCE HEIGHT ABOVE SEA LEVEL. PLEASE REFER TO THE DIMENSIONS FOR BUILDING HEIGHT.

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Project Number
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Date
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Scale
 1" = 20'-0"

Drawing
BUILDING ELEVATIONS

A4.0

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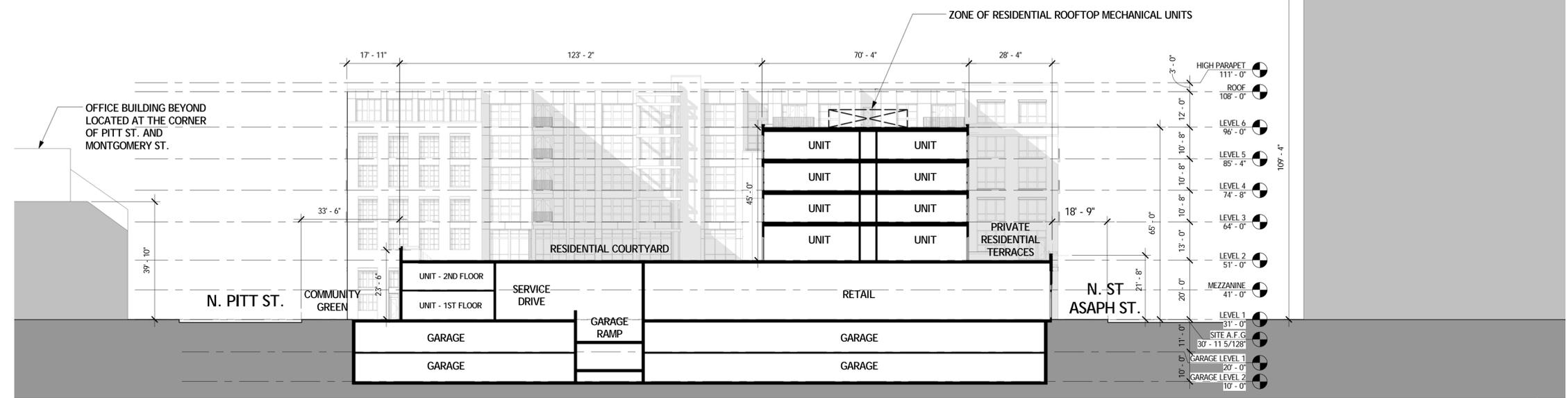
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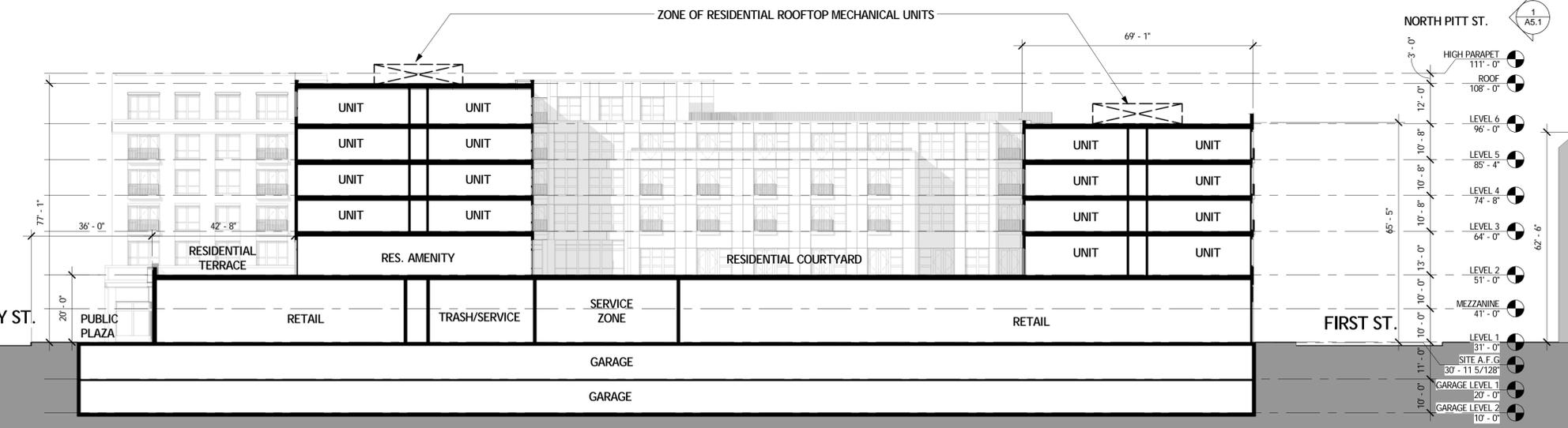
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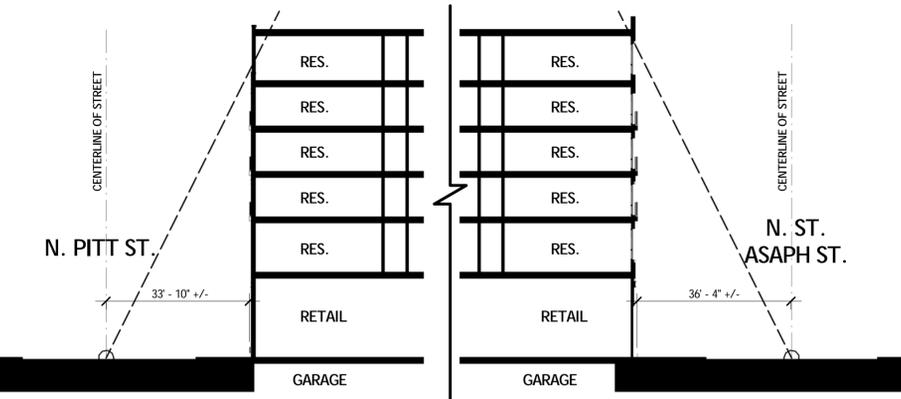
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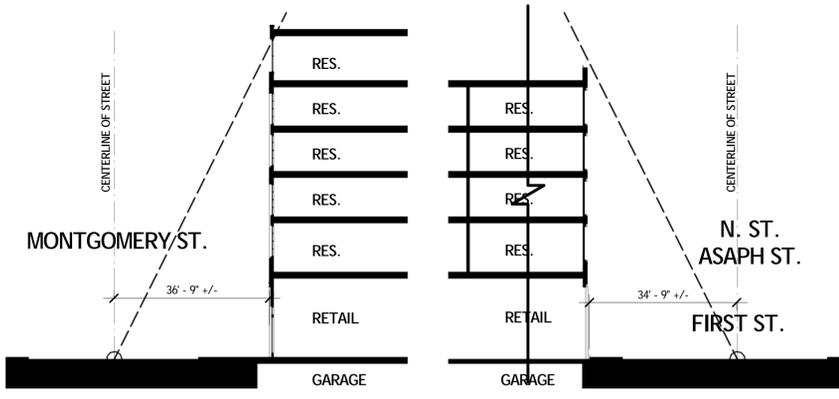
1 BUILDING SECTION - EAST-WEST
 A1.5 A5.0 1" = 20'-0"



2 BUILDING SECTION - NORTH-SOUTH
 A1.5 A5.0 1" = 20'-0"

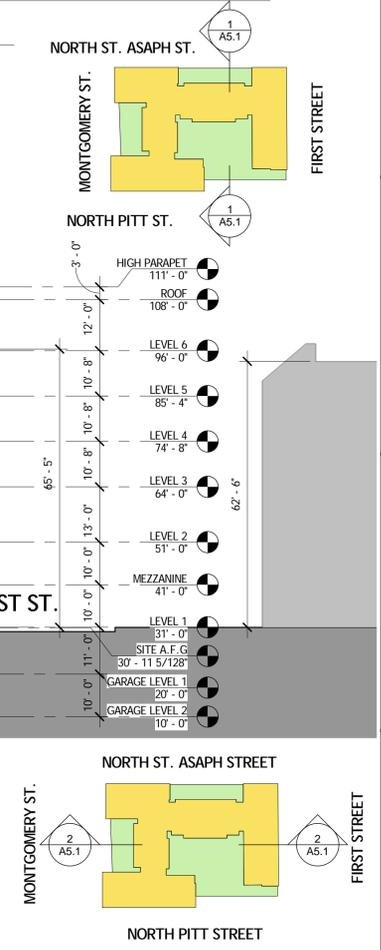


3 BUILDING SECTION - EAST-WEST SETBACK DIAGRAM
 A1.5 A5.0 1" = 20'-0"



4 BUILDING SECTION - NORTH-SOUTH SETBACK DIAGRAM
 A1.5 A5.0 1" = 20'-0"

NOTE: BUILDING LEVELS REFERENCE HEIGHT ABOVE SEA LEVEL. PLEASE REFER TO THE DIMENSIONS FOR OVERALL BUILDING HEIGHT.



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530 FIRST STREET

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BUILDING SECTION

A5.0

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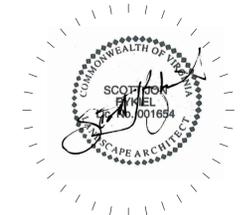
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 530 FIRST STREET

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 15066

Date
 12.14.2015

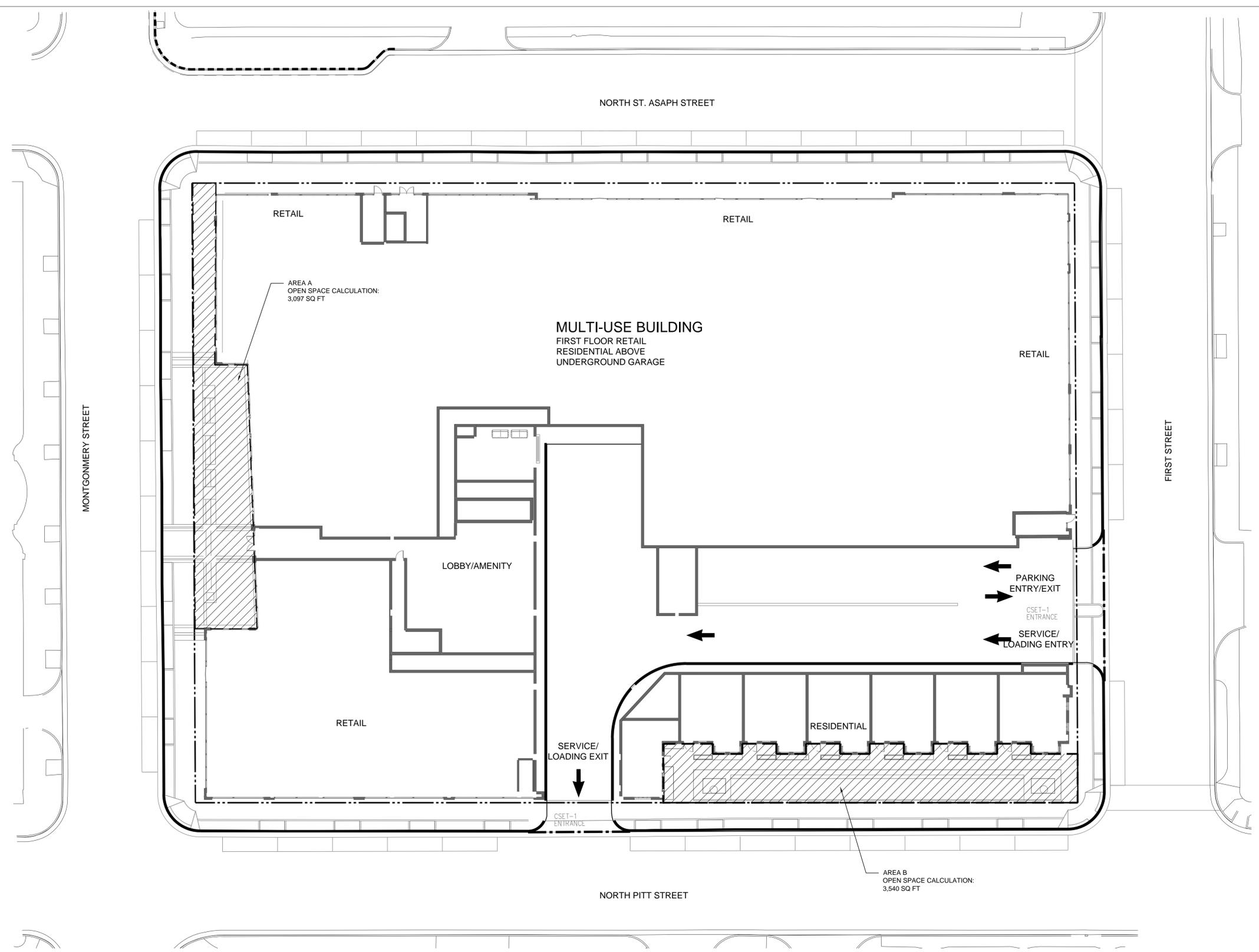
Scale
 SEE PLAN

Drawing
 GROUND LEVEL
 OPEN SPACE PLAN

L1.02

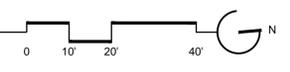
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1 Ground Level- Open Space Plan
 1"=20'-0"

OPEN SPACE CALCULATIONS
 OPEN SPACE A = 3,097 SQ FT
 OPEN SPACE B = 3,540 SQ FT
 TOTAL = 6,637 SQ FT



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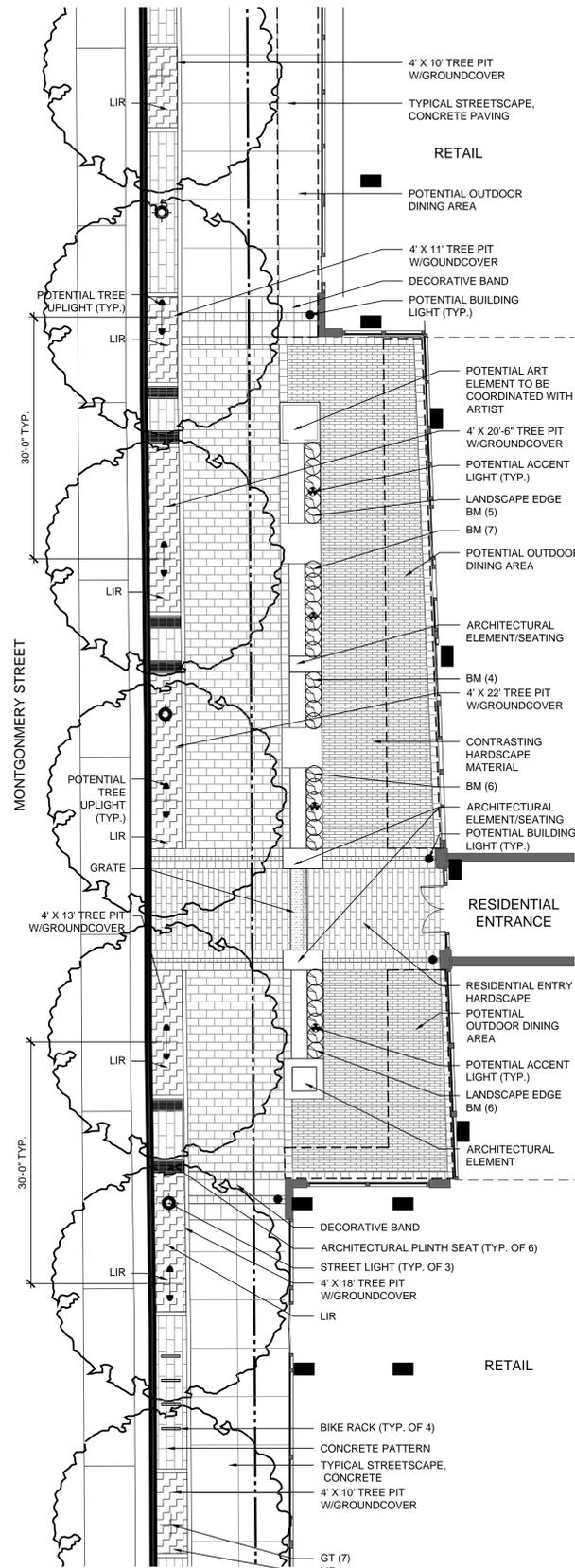
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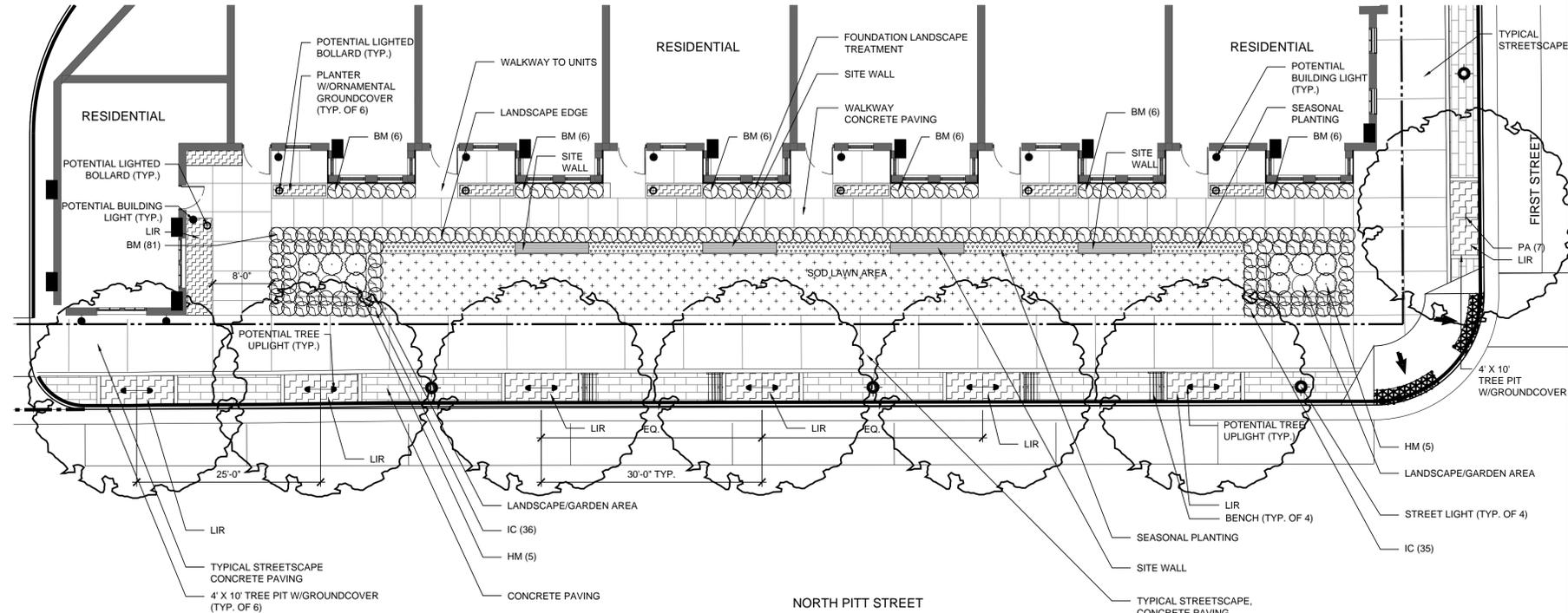
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1 Public Plaza Enlargement Plan
1"=10'-0"



2 Community Green Enlargement Plan
1"=10'-0"

GENERAL NOTES:

- All protection and preservation measures for existing vegetation, including maintenance shall be approved by the City Arborist in-field prior to commencement of any site disturbing activity.
- Specification for all plantings shall be in accordance with the current and most up to date edition of ANSI-Z60.1, *The American Standard for Nursery Stock* as produced by the American Association of Nurserymen, Washington, DC.
- The applicant has made suitable arrangements for pre-selection tagging, pre-contract growing, or is undertaking specialized planting stock development with a nursery or grower that is conveniently located to the project site, other procedures that will ensure availability of specified materials. In the event that shortages and/or inability to obtain specified plantings occurs, remedial efforts including species changes, additional plantings and modification to the landscape plan shall be undertaken by the applicant. All remedial efforts shall, with prior approval by the city, be performed to the satisfaction of the Directors of Planning & Zoning, Recreation, Parks & Cultural Activities and Transportation & Environmental Services.
- In lieu of more strenuous specifications, all landscape related work shall be installed and maintained in accordance with the current and most up-to-date edition (at time of construction) of *Landscape Specification Guidelines* as produced by the Landscape Contractors Association of Maryland, District of Columbia and Virginia, Gaithersburg, Maryland.
- Prior to commencement of landscape installation/planting operations, a pre-installation/construction meeting will be scheduled with the City's Arborist and Landscape Architects to review the scope of installation procedures and processes.
- Maintenance for this project shall be performed in perpetuity, in compliance with City of Alexandria Landscape Guidelines and/or as conditioned by project approval.
- A certification letter for tree wells, tree trenches and plantings above structure shall be provided by the project's Landscape Architect. The letter shall certify that all below grade construction is in compliance with approved drawings and specifications. The letter shall be submitted to the City Arborist and approved prior to approval of the last and final Certificate of Occupancy for the project. The letter shall be submitted by the owner/applicant/successor and sealed and dated as approved by the project's Landscape Architect.
- As-built drawings for this landscape and/or irrigation/water management system will be provided in compliance with City of Alexandria Landscape Guidelines. As-built drawings shall include clear identification of all variation(s) and changes from approved drawings including location, quantity and specification of all project elements.
- Exact layout, paving patterns, plant selection and details subject to change; however, it is indicative of the concept and general character of the final design. Amounts may vary.

TREE CANOPY COVERAGE NOTES

TOTAL LOT AREA (AFTER R.O.W. DEDICATION):	87,171 SF
TOTAL REQUIRED CANOPY COVERAGE = 25% NET LOT AREA:	21,792 SF
TOTAL CANOPY PROVIDED:	452 SF

PLANT LIST

QUANTITY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS	CANOPY EACH	TOTAL
SHADE TREES							
15	PA	Platanus x acerifolia London Plane	3" Cal.	B&B	Central Leader, 6' Branching Ht. Matched, Full Crown	N/A	
18	GT	Gleditsia triacanthos var. inermis Thornless Honeylocust	3" Cal.	B&B	Central Leader, 6' Branching Ht. Matched, Full Crown	N/A	
SHRUBS (Alternative)							
10	HM	Hydrangea macrophylla 'Bailmer' Bigleaf Hydrangea	#5	Cont.	36" Spd. Matched, Full	2 SF	20 SF
145	BM	Buxus microphylla var. japonica 'Jim Stauffer' Boxwood	#5	Cont.	24" Spd. Matched, Full	2 SF	290 SF
71	IC	Ilex crenata 'Soft Touch' Soft Touch Japanese Holly	#5	Cont.	24" Spd. Matched, Full	2 SF	142 SF
GROUNDCOVERS, PERENIALS, GRASSES (Alternative)							
LIR		Liriope spicata Creeping Lilyturf	#1	Cont.	12" O.C. Matched, Full		

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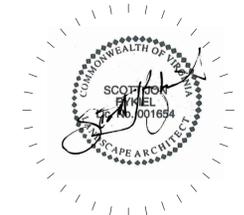
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530 FIRST STREET

Project Number
15066

Date
12.14.2015

Scale
SEE PLAN

Drawing
ENLARGEMENT PLAN

L2.01
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PRODUCT INFORMATION:
 COMPANY NAME: LANDSCAPE FORMS
 MODEL NAME: METRO 40 RIDE
 INFO: SURFACE MOUNT OR EMBEDDED TO CONCRETE SURFACE. STAINLESS STEEL LEVELING GUIDES
 WEBSITE: landscapeforms.com
 CONTACT: 703.648.0848



PRODUCT INFORMATION:
 COMPANY NAME: COUNTRY CASUAL
 MODEL NAME: COVENTRY 4FT. BENCH
 INFO: FLAT BACK RAIL, FLAT ARMS, 17-1/2" DEEP SEAT
 WEBSITE: countrycasual.com
 CONTACT: 800-289-8325 / 301-926-9195

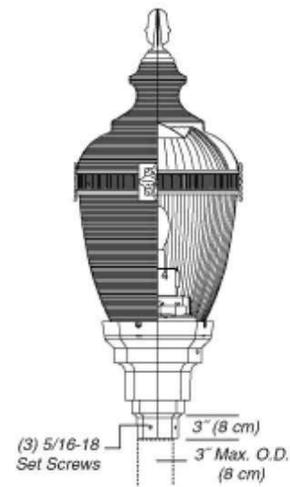


PRODUCT INFORMATION:
 COMPANY NAME: EQUIPARC
 MODEL NAME: EP 3990 WASTE RECEPTACLE
 INFO: FRAME MADE OF ALUMINUM, PAINTED CONTAINER.
 WEBSITE: equiparc.com
 CONTACT: 416-293-2290

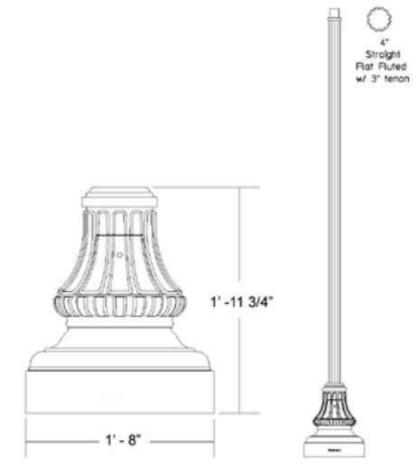
1 BIKE RACK
N.T.S.

2 BENCH
N.T.S.

3 TRASH RECEPTACLE
N.T.S.

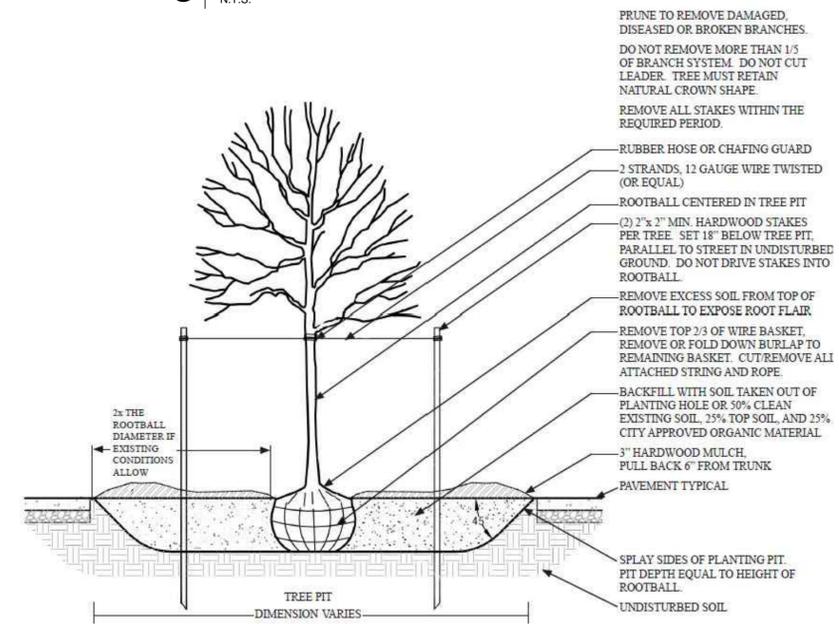


Street light fixture (1)

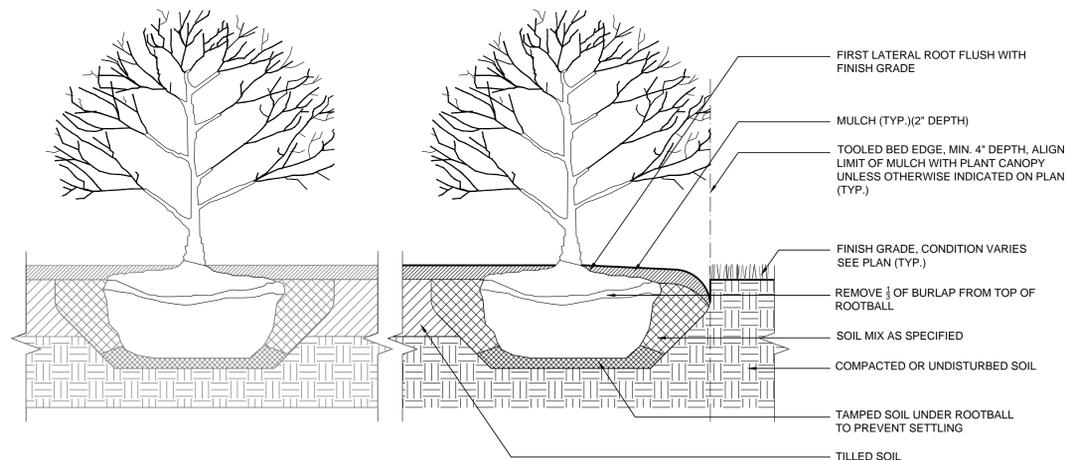


Virginia Dominion Power - Fiberglass fluted street pole (2)

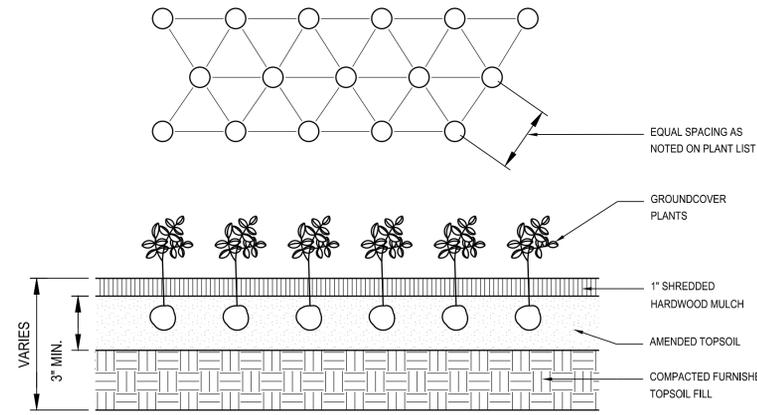
4 STREET LIGHT (ACORN)
N.T.S.



5 STREET TREE PLANTING DETAIL
N.T.S.



6 SHRUB PLANTING DETAIL
N.T.S.



7 GROUND COVER PLANTING DETAIL
N.T.S.

GENERAL NOTES:
 The information shown on this sheet is conceptual and subject to change during the design phase; however, it is indicative of the concept and general character of the final design. Amounts may vary.

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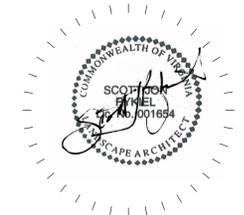
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 PLANNING
 INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NUMBER: _____
 EXPIRATION DATE: _____

no.	date	revision

Project Name
530 FIRST STREET

Project Number
15066

Date
12.14.2015

Scale
SEE PLAN

Drawing
SITE DETAILS

L4.02

NOT FOR CONSTRUCTION

PDSUP SUBMISSION