



**Master Plan Amendment #2014-0010**  
**Rezoning #2014-0010**  
**Development Special Use Permit #2013-0023**  
**Transportation Management Plan SUP #2014-0105**  
**Encroachment #2014-0007**  
**513 & 515 North Washington Street – The Mill at 515**

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Application	General Data	
<b>Project Name:</b> The Mill at 515	<b>PC Hearing</b>	February 3, 2015
	<b>CC Hearing</b>	February 21, 2015
	<b>If approved, DSUP Expiration</b>	February 21, 2018 (3 years)
	<b>Plan Acreage</b>	28,879 SF (0.66 acre)
<b>Location:</b> 513 & 515 N Washington Street	<b>Zone (Existing)</b>	Lot 501 - Office/Commercial (OC) Lot 502 - Residential/Medium (RM)
	<b>Zone (Proposed)</b>	Office/Commercial (OC)
	<b>Proposed Use</b>	Multifamily Residential
	<b>Dwelling Units</b>	9 new units (34 total on site)
	<b>Gross Floor Area</b>	13,484 SF
<b>Applicant:</b> Cas Riegler, represented by Duncan Blair, Attorney	<b>Small Area Plan</b>	Old Town North
	<b>Historic District</b>	Old & Historic Alexandria
	<b>Green Building</b>	Compliance with the City's Green Building Policy

Purpose of Application
Consideration of a request for a master plan amendment, a rezoning with proffer, a development special use permit with site plan and modifications, SUP for a parking reduction, a transportation management plan and an encroachment, to construct a 9-unit residential building, with public open space and at-grade parking.
<b>Special Use Permits and Modifications Requested:</b> <ol style="list-style-type: none"> <li>1. Amendment to the Old Town North Small Area Plan to modify the land use designation from RM/Residential Medium to OC/Office Commercial;</li> <li>2. Rezoning from RM/Residential Medium to OC/Office Commercial;</li> <li>3. Amendment of proffer;</li> <li>4. Development Special Use Permit with Site Plan and Modifications, to construct a residential building;</li> <li>5. Special Use Permit for a parking reduction</li> <li>6. Special Use Permit for a Transportation Management Plan, and,</li> <li>7. Encroachment for a fence in the public right-of-way on N. Washington St,</li> </ol>

Staff Recommendation: APPROVAL WITH CONDITIONS
<b>Staff Reviewers:</b> Maya Contreras, Urban Planner, <a href="mailto:maya.contreras@alexandriava.gov">maya.contreras@alexandriava.gov</a> Dirk Geratz, Principal Planner, AICP <a href="mailto:dirk.geratz@alexandriava.gov">dirk.geratz@alexandriava.gov</a>

**PLANNING COMMISSION ACTION, FEBRUARY 3, 2015:** On a motion by Commissioner Wasowski, seconded by Commissioner Lyman, the Planning Commission voted to adopt the resolution and recommend approval of MPA#2014-0010. The motion carried on a vote of 6 to 0.

On a motion by Commissioner Wasowski, seconded by Commissioner Lyman, the Planning Commission voted to recommend approval of Rezoning #2014-0010. The motion carried on a vote of 6 to 0.

On a motion by Commissioner Macek, seconded by Commissioner Lyman, the Planning Commission voted to recommend approval of Development Special Use Permit #2013-0023 as amended, Transportation Management Plan SUP #2014-0105 and Encroachment #2014-0007. The motion carried on a vote of 6 to 0.

**Discussion:**

Commissioner Wasowski asked whether the annex building was proposed to be the same color as the existing building, requested clarification on the proposed location of the encroachment, in terms of the location and the overall length of the fence, and whether the visitor parking requirements could be amended, given potential changes to the parking standards. Staff noted that the color of the annex building will not be the same color in order to distinguish it from the historic building. The color will be approved by the OHAD BAR. Staff also noted that Councilmember Wilson suggested establishing a process as part of the parking standards amendments to reconcile existing parking with the new standards without going through a formal hearing. Staff will be exploring this option.

Commissioner Macek also asked about the location of the encroachment for the fence, particularly with regard to the proposed pocket park, and whether the mannequin would be retained in the cupola. He also noted that the 11Y express bus passes by the site, and requested that staff continue to work with WMATA to potentially add a stop at this location. Staff will follow up with WMATA.

Commissioner Brown noted that one of the trees proposed for removal, a sycamore on Pendleton Street, is located on the property line between the applicant's property and the City right-of-way. The applicant provided an assessment of the tree by an independent arborist, and Commissioner Brown requested that Council be provided with a follow-up from the City Arborist John Noelle. Staff has subsequently reviewed the tree removal and the assessment with Mr. Noelle, who has stated that he concurs with the independent assessment and does not recommend retaining the sycamore.

Commissioner Brown also expressed concern with the staff report's analysis of the rezoning request, in light of the upcoming Old Town North Small Area Plan. Acting Planning Director Moritz clarified that the rezoning may proceed since the City Council directed staff to process rezoning requests ahead of the Small Area Plan start. He noted that staff would clarify this in future staff reports.

The Commission supported staff's recommendation of the fence location, with an encroachment of no more than three feet into the public right-of-way, with the recommendation that staff and the applicant coordinate with the Old and Historic Alexandria BAR during the Final Site Plan process to determine the best location. The Commission requested that this also be coordinated with a redesign of the proposed park entrance off of N. Washington Street to make the entrance more generous and welcoming, as reflected in new condition 5g.

**[CONDITION ADDED BY PLANNING COMMISSION]:**

5(g). Refine the design of the park pathway access point on N. Washington Street to provide a welcoming and accessible entrance.

Speakers:

Duncan Blair, attorney representing the applicant, spoke on behalf of the project.

Brandon Lenk, Cooper Carry, architect for the project, spoke on behalf of the project.

MPA #2014-0010, REZ #2014-0010, DSUP #2013-0023  
TMP SUP #2014-0105, ENC #2014-0007  
513 & 515 North Washington Street



**REZ #2014-0010, MPA #2014-0010**  
**DSUP #2013-0023, TMP SUP #2014-0105**  
**513 & 515 North Washington Street**



## **I. SUMMARY**

### ***A. Recommendation***

Staff recommends **approval** of a Master Plan Amendment, rezoning with proffers and associated development applications, for a proposed nine-unit residential building adjacent to the existing historic building at 515 N. Washington Street, subject to compliance with the staff recommendations. The proposal provides a number of benefits for the City and surrounding community, including:

- Appropriate building design and high quality architecture
- Compliance with the Washington Street Standards and Guidelines and the Old Town North Urban Design Guidelines
- Streetscape improvements, including new brick sidewalks on N. Washington and Pendleton Streets and two Nostalgia streetlights
- Site landscape improvements, including retention of majority of mature on-site trees
- New publically accessible 975 square foot pocket park
- Affordable housing contribution of \$66,610
- Compliance with the City's Green Building Policy
- On-site artwork, or financial contribution of \$4,450

### ***B. Summary of Issues***

The applicant, Cas Riegler, has submitted a request for construction of a nine-unit residential building at the SE corner of N. Washington and Pendleton Streets in Old Town North. The .66 acre site is comprised of two parcels, Lots 501 and 502, which contain a five-story historic structure, and a surface parking lot, respectively.

A redevelopment proposal on Washington Street must comply with multiple design guidelines, as well as the City's development requirements. To construct the building as proposed, the applicant has requested approval of the following:

- Master Plan Amendment;
- Rezoning of Lot 502 from RM/Residential Medium to OC/Office Commercial with proffers;
- Development Special Use Permit with Site Plan and Modifications;
- Special use permits for a parking reduction and Transportation Management Plan; and,
- Encroachment for a fence.

Key issues analyzed with these applications and discussed in more detail in the report include:

- Compliance with the Master Plan and rezoning criteria;
- Compliance with the Old & Historic Alexandria and Washington Street Standards;

- Compliance with the Old Town North Urban Design Guidelines;
- Site design, including impacts on adjacent properties;
- Provision of adequate parking;
- Impact on the pedestrian environment and streetscape, including modifications, open space, and the requested encroachment.

### ***C. General Project Description***

Cas Riegler, a regional development team, and the applicant/site owner, is requesting approval of a multifamily residential building. The building is proposed at 515 and 513 N. Washington Street, a two-lot site that totals .66 acres (28,879 sq. ft.). The existing building at 515 N. Washington is a historic structure, dating back to 1847. The proposed building would be located north of the existing building, at the intersection of N. Washington and Pendleton Streets.

As designed, the new building would be four stories and 13,484 sq. ft. with nine residential units. The existing building is in the process of a by-right conversion from office to multifamily residential and contains an additional 25 units, for a total of 34 units on the site. Parking would continue to be provided in the existing rear surface lot, maintaining the current Pendleton Street access point. A publically accessible pocket park would be added to the southern end of the site.

## **II. BACKGROUND**

### ***A. Site Context***

The project site is approximately 28,879 sq. ft. (.66 acres) located at the southeast corner of N. Washington Street and Pendleton Street in the Old Town North Small Area planning district. The site is divided into two lots. Lot 501 is 22,647 sq. ft. (.52 acres), zoned OC/Office Commercial, and occupied by a five-story historic building, most recently by the International Chief of Police Association (IACP) as office space. Lot 502 is 6,232 sq. ft. (0.14 acres), zoned RM/Residential Medium, and served as a surface parking lot for the office building. Both lots are within the Old and Historic Alexandria District (OHAD).

With the exception of the former office use at 515 N. Washington, the block is exclusively residential. The 1970's era Shad Row condominium development is located on the northeast corner of the block. The residential buildings at the south end of the site, 607 and 609 Oronoco Street (the Robert E. Lee Boyhood Home, and the former Hallowell school, respectively) were constructed in the late 1700's, with subsequent work in the early 1800's.

The building at 515 N Washington was constructed in 1847 as a commercial cotton factory, and has been repurposed several times as manufacturing, residential and office uses. The opposite side of N. Washington Street is primarily townhouse structures, with a combination of residential and commercial uses. The Washington Square development (Saul Center) is north of the project, and contains office and retail, including Trader Joe's grocery store.

## ***B. Detailed Project Description***

The applicant, Cas Riegler, is in the process of renovating the historic building at 515 N. Washington into twenty-five residential units. They are proposing to construct a second building on the north end of the property that would contain nine additional units, for a total of 34 units. Parking would be provided in the existing on-site parking lot, behind the buildings, and accessed from the existing curbcut on Pendleton Street. Open space is consolidated at the northwest and southern ends of the site. A portion of the parking lot at the southern end of the existing building would be converted to a pocket park, accessible to the public.

### *Site Design*

The applicants purchased the property in Fall 2013, and began working with staff on a two-stage redevelopment process. The first is a by-right conversion of the existing building from office to residential use, which is underway. The second is the request to add additional units to the site. The applicant worked closely with staff, neighbors and the BAR to determine how and where new units could fit on to the site, given the shape of the lots, the single vehicular entry point, the historic nature of the existing building, and its neighbors, and the highly visible location on the GW Parkway.

### *Main Building*

As noted, this building is undergoing a by-right conversion from office to residential use. The applicant has been approved by the BAR to make several changes to the building, including balconies on the rear elevation, removal of the shutters, and conversion of two windows to doors on the front elevation to create small landscaped patio areas. The main entrance on N. Washington Street will be flanked by these patios, and will continue to function as the front door to the building.

The renovated building will contain eight studios, nine one-bedrooms, and eight two-bedrooms, for a total of 25 units. These units will be rental apartments for at least five years because State Historic Tax Fund Credits were used for the renovation. If the annex building were not proposed, the existing open space and on-site parking would be sufficient for this number of units.

### *Annex Building*

The proposed new construction is for a nine-unit “annex” building, designed to reference the commercial heritage of Alexandria with a contemporary industrial character. The elevations and fenestration patterns are more traditional along Pendleton and N. Washington Streets, becoming more modern and open on the elevations facing the parking area. A recessed monitor on the fourth floor and balconies on the rear elevations provide amenity space for the units. The building material is primarily brick, with a stone base at the pedestrian level.

The building is 50 feet tall and four stories, constructed over the existing driveway. Residents will drive under the building at the first level to access the surface parking lot. The second and

third levels will have three units on each floor, all one-bedrooms. The fourth floor has two one-bedroom units and one three-bedroom unit. Units in this building will be sold as condominiums.

### **III. ZONING**

#### ***A. Zoning History***

In the 1930's, the historic building was converted from industrial factory uses to a residential use, as the Belle Haven Apartments. In November, 1981, the zoning was changed from RC/Residence to C-3/Central Business District Commercial through a proffered rezoning to convert the building to office use. These proffers were intended to protect the historic homes at the southern end of the site and are discussed more fully in the next section.

The 1992 updates to the City's Master Plan and Zoning Ordinance rezoned much of Old Town North. At that time, zoning for this site was split between the two parcels. The larger parcel containing the office building was rezoned from C-3/Central Business District Commercial, to OC/Office Commercial, as the C-3 zoning was retired and the OC zone was deemed equivalent. The smaller parcel, which serves as parking for the office building, was removed from a commercial zone and became RM/Residential Medium. At that time, RM was a deemed a more appropriate zone for the lot, given its adjacency to the historic residences.

#### ***B. Proposed Zoning***

In order to accommodate the project as designed, the applicant has requested a rezoning for Lot 502 from RM to OC. They would consolidate the two lots and use the additional FAR to construct the annex building, while retaining Lot 502 as open space. Staff supports the requested rezoning because the project improves and enhances the existing site, furthers the goals of renovating Washington Street, and meets the intent to protect the historic residences at the southern end of the block, while removing the split zoning of the site.

The physical openness of the southern end of the site will be retained and enhanced through the amended proffer. This area will be visually improved because the parking lot, currently five feet from the property line, will be pulled back to 62 feet from the property line. This will remove it from public view, through the additional distance and through new landscaping, designed to complement the landscaping on the neighboring historic residential lots. The proposed project complies with the OC zone in terms of intent, permitted use, FAR and height. Finally, the overall site impact will be reduced by changing the use from a medium size office building to 34 residential units.

The table below outlines the development permitted under the OC Zone, and what the applicant has proposed.

Property Address:	515 N Washington St, Lots 501 and 502	
Total Site Area:	.66 acres (28,879 sq. ft.)	
Existing Zone:	OC/Office Commercial and RM/Residential Medium	
Proposed Zone:	OC/Office Commercial	
Current Use:	Office	
Proposed Use:	Multifamily Residential	
	Permitted/Required	Proposed
FAR	1.25 (Lot 501); .75 (Lot 502)*	1.19*
Setbacks (per OC zone)		
Front	Front property line	Front property line
Side	25'	0'
Rear	NA (corner lot)	NA (corner lot)
Parking	50 spaces	34 spaces**
Visitor	15% (5 spaces)	15% (5 spaces provided off-site)
Total:	55 spaces	39 spaces
Loading spaces:	NA	None

\* Proposed FAR anticipates approval of the requested rezoning

\*\* Parking reduction requested

## IV. STAFF ANALYSIS

### A. *Master Plan Amendment*

#### *Master Plan Amendment Criteria*

The proposal requires an amendment to the Old Town North Small Area Plan chapter of the Master Plan to change the land use and zoning designation of Lot 502 from RM/Residential Medium to OC/Office Commercial, in order to share the same zoning as Lot 501. Staff supports the requested changes to the Master Plan Amendment because the proposed project complies with the Recommended Goals in the 1992 Old Town North Small Area Plan and with the goals and guidelines for the City in the Old Town North area.

An amendment to the Master Plan requires a finding that the proposed amendment to the master plan meets the following criteria:

- The project is desirable;
- The project is beneficial to surrounding properties;
- The project is in character with the applicable small area plan;
- The project is consistent with city policy.

The Old Town North SAP includes extensive discussion of the benefits of balancing the office uses of the neighborhood with residential uses. Washington Street was once the premier residential street in the City, and the reintroduction of residents, along with well-designed open space, meets the goals and design guidelines of the SAP.

As proposed, the project is consistent with City policy by providing new residential infill development at a transit-rich location, 0.60 of a mile from the Braddock Metro, and served by several bus routes. This furthers the City's transportation and sustainability goals, with provision of a thoughtful amount of density in a walkable area, near a variety of transit options. The building will be constructed to meet the City's Green Building requirements, and will provide financial contributions to affordable housing, as well as a contribution to public art.

There has been considerable discussion about the project's desirability and whether it is beneficial to the surrounding properties. As discussed previously in the report, the conversion of the historic building from office to residential use is being done by right, as both uses are permitted in the OC zone, and the existing site meets the open space and parking requirements for 25 residential units. One option would be for the site to continue to function as it has been, with a single building wrapped by lawn and a parking lot.

However, under this scenario, a number of the proposed site improvements would not occur. These include the conversion of N. Washington and Pendleton Street sidewalks to brick and updating of the existing cobrahead streetlights to the Nostalgia streetlights, as called for in the Washington Street Standards and Guidelines. The large condenser unit on the north side of the property would not be removed, the existing parking lot entrance on Pendleton Street would continue to be unscreened, and Lot 502 would remain entirely as a parking lot. The proposed improvements increase the City's open space, continue the improvements to N. Washington Street and provide additional contributions to the City's affordable housing and public art goals.

While the proposed site improvements will result in a better design for N. Washington and Pendleton Streets, the project also must meet the stringent design goals and guidelines of the City's urban design advisory groups, especially given the prominent location of the proposed site. Further discussions of these reviews are provided later in the report. Finally, as a rough exercise, staff reviewed how much additional density is being requested.

Under the RM zone, the maximum residential FAR allowed on Lot 502 would be approximately 8,712 square feet in a maximum of four townhomes, given the lot size of 6,232 sq. ft., and the permitted FAR of 1.50. As proposed, the applicant is requesting rezoning to OC to allow multifamily residential development, which is not permitted in the RM zone, with a total site FAR of 1.19 for a 10,575 net sq. ft. building plus the existing historic building. Because this total requested FAR for the combined lots is less than the 1.50 FAR permitted in the OC and the RM zones, the request amounts to approximately 1,863 sq. ft. over what would be permitted in these zones, or about one additional townhome.

### ***B. Rezoning Request with Amended Proffer***

Staff supports the request to rezone the property because: (1) the proposal is consistent with the Master Plan vision, as discussed above; (2) the proposal meets the City's criteria for rezoning without a master plan study for the area; (3) the proposal contains an appropriate mixture of uses, density, and height for this section of N. Washington Street; and (4) the provision of excellent design while meeting multiple goals for the neighborhood at a highly visible site.

Redevelopment of this site continues the revitalization of N. Washington Street with the reintroduction of residential uses. The proposed amount of residential density is appropriate for the area given the proximity to job centers, transit and neighborhood services, and the proposed height for the annex building is within the existing height district limits. The development is respectful of the surrounding context and completes the Pendleton Street streetwall. The current proposal complies with the elements recommended within the plan as they relate to site use and design, scale, massing, and provision of on-site retail and open space.

Finally, the rezoning adheres to the criteria set forth by City Council. These criteria were established to provide guidance for rezoning applications in locations that are not designated to undergo a Small Area Plan update in the near future, and are of a lesser scale in that the proposal would not warrant a new plan or study on its own. A more thorough analysis is provided below:

*1. Consistency with Small Area Plan*

The application is consistent with the intent and goals of the Old Town North Small Area Plan, including provision of a mix of land uses that promote activity, respect for the height limit, development at a “human-scale” that is compatible with adjacent low-rise uses, and creation of an inviting streetscape.

*2. Consistency with Type of Area*

The Old Town North area is typified by a mixture of commercial and residential uses along N. Washington Street, with this mixture often extending beyond the major corridors, particularly on the eastern site. In this instance, the block would become all residential uses, with a similar residential block immediately east, and an all commercial block directly north.

The proposed building is consistent with the area in height and designed to be visually and physically subordinate to the historic structure. It is set back from N. Washington Street, creating a green space on the corner and serving as a buffer between the more urban N. Washington Street corridor and the smaller-scale residential blocks behind it.

*3. Isolated Parcel*

The rest of the block is made up of long-standing residential uses, several of which are historic structures. Future redevelopment beyond these parcels is highly unlikely.

*4. Status of Planning for Area*

The 1992 Old Town North Small Area Plan remains the governing document for the area. In June 2013, City Council approved the City’s Long Range Interdepartmental Work Program, scheduling an update to the Old Town North Small Area Plan to begin in late 2015. In the interim, it was determined that rezoning requests would be reviewed on a case-by-case basis.

*5. Application's Consistency with City Goals*

In addition to being consistent with the vision in the Old Town North Small Area Plan, this proposal meets goals articulated in other City policies, including those related to affordable housing, green building, public art, walkability and urban design.

*6. Amendment of Existing Proffers*

As noted previously, the historic structure at 515 N. Washington has served a variety of functions since its construction in 1847, including industrial, residential and most recently, office. When the site was converted to office use in the early 1980's, it was done through a proffered rezoning. This converted the property from RC/Residence to C-3/Central Business District Commercial, with a proffer governed by Ordinance #2624. This was intended to mitigate the impacts of the office building on the historic homes at the southern end of the block. The associated proffers included, among others, provision of all required parking on-site, and no above or below-grade structures on the south end of the site (*Attachment #3*).

The applicant is requesting to amend the associated proffers to include flexibility on the parking requirements and site design, while retaining the original intent of minimizing the effects of development on the surrounding block. In the amended proffer, they would be permitted a parking reduction for the proposed residential uses, subject to approval by the City Council. They have committed to retaining the area of Lot 501 as open space, but request to amend the proffer to restrict buildings on the lot, as opposed to all structures, above and below ground. This would permit retaining walls, artwork and an underground vault for mechanical equipment. They are requesting to remove all other proffers associated with use limitations, maximum floor area and required residential condo conversion relocation assistance.

***C. Compliance with the Old & Historic Alexandria District & the Washington Street Standards and Guidelines***

The proposed development is located on Washington Street and within the Old and Historic Alexandria District. A project located on Washington Street is subject to a higher level of design scrutiny to ensure that the memorial character of the George Washington Memorial Parkway is protected and maintained based on the City's 1929 agreement with the federal government. This requires that, in addition to the general BAR standards outlined in the Zoning Ordinance, the Board must also find that the Washington Street Standards (Section 10-105(A)(3) of the Zoning Ordinance) have been met. These Standards must also be considered by other advisory boards, commissions or agency for this project.

Although the project is bound in the Zoning Ordinance to the Washington Street Standards, there is a degree of flexibility and interpretation. The BAR has found that the concept submission meets the Washington Street Standards. This finding was confirmed at the January 7, 2015 BAR meeting; the applicable section of the BAR staff report is provided as Attachment 3 and outlines the specific criteria and findings.

The BAR held concept review work sessions with the applicant on March 19, June 4, 2014, and January 7, 2015 for minor exterior alterations to the historic building, as well as providing direction regarding the annex building. Additionally, the BAR approved a Permit to Demolish and a Certificate of Appropriateness for alterations to the historic building, including the replacement of the rear dormers, the addition of rear balconies and the conversion of several windows to doors (BAR Case #2014-208/209, September 3, 2014).

At the June 4, 2014, concept review work session, the BAR gave general support for the height, scale, mass and general architectural character of the annex building, and provided direction for further design refinement, particularly for the rooftop monitor element on the annex. The applicant requested to return to the BAR for a third work session to get feedback on design revisions to the rooftop monitor element on the annex. At the January 7, 2015 work session, the applicant provided two design options to the BAR. Through discussion during the meeting, the BAR, through an informal vote, endorsed a third “hybrid” option, which pulled elements from Options 1 (roof monitor design) and 2 (east (rear) elevation window configuration).

Following a City Council approval in February 2015, the applicant will return to the BAR with a formal application for a Certificate of Appropriateness. At that point, the BAR will review building materials and color, design details, and site elements, including the fence design for the requested encroachment.

#### ***D. Compliance with Urban Design Guidelines of Old Town North***

The Old Town North Urban Design Guidelines were established in 1994, and all developments occurring within the boundaries are required to comply with them. The Urban Design Advisory Committee (UDAC) was established by ordinance to review development plans for compliance with the Guidelines. A discussion of the guidelines and how this proposal complies is provided below:

##### *Sense of Place, Arrival, and Community*

The guidelines suggest that the “*buildings on Washington Street south of Madison should create a transition into the historic urban fabric of Old Town Alexandria...through scale, materials, architectural details, and compatibility with existing historic structures along Washington Street.*”

In keeping with the goal of designating buildings south of Madison Street as gateway locations, the northwest corner of this site would typically be the location of a prominent building feature. This project, however, was designed to maintain the importance of the existing historic building, as one of the iconic buildings of the Parkway. As such, the welcoming feature for this project is a corner deliberately left open and green, with both buildings pulled back from it.

The height, scale and proportions of the annex building were carefully designed to be generally consistent in style, size, and architecture with the neighborhood and the surrounding buildings. The renovation of the historic building was designed to maintain the portico entrance on N.

Washington Street as a functional entrance. The annex building residential entrance faces on Pendleton Street, to provide direct residential access on both frontages. As discussed more fully in the BAR staff report (*Attachment #4*) the proposed annex building is designed as a modern interpretation of a historic warehouse or simple industrial building, visually subordinate to the existing historic structure and stepping down to the smaller residential buildings at Shad Row to the east. The site design also preserves the southern end of the site as a landscape area, which coordinates with the gardens at the historic homes facing Oronoco Street.

#### *Orientation of Buildings to the Street*

One of the key principals of the Guidelines calls for new buildings to be oriented towards the street where they will create a built edge, framing the street. The annex building has been set back from the intersection of N. Washington and Pendleton Streets, and placed in line with the existing Shad Row condominium townhomes. This design screens the parking lot and the backs of the existing building and the annex building, and connects the Pendleton Street frontage, while allowing the historic building to stand alone. The guidelines call for architectural or landscape elements to be used when there are gaps between buildings. As noted throughout the report, the landscape areas on both ends of the site, and park at the southern end of the site provide green space and continue the connection between the site and its neighbors.

#### *Attractive Pedestrian Environment*

The proposal includes several elements to improve the streetscape at this location. Enhanced landscaping and a pedestrian-scale pocket park have been added along the N. Washington Street frontage. Prominent building entrances are encouraged, and this has been provided by maintaining the portico of the existing building as a functional entrance. The applicant has requested an encroachment for a decorative pedestrian-scale fence along the N. Washington Street frontage. Finally, the sidewalk along N. Washington and Pendleton Streets will be updated with new streetlights, brick, with protection of the existing street trees, and flush sidewalks across the project entrance.

The north side of Pendleton Street has three garage entrances for the Washington Square Development (Saul Center). Because of this condition, the Pendleton Street frontage for the annex has been designed to provide a more appealing pedestrian option. This is achieved through provision of open space at the corner, retention of the existing mature on-site trees and landscape strip, a residential-scale street entrance, a variety of building materials at the pedestrian level and attractive screening of the parking lot entrance.

#### *Compatible Development*

The guidelines highlight the importance of creating compatible development that contributes to the overall sense of community. The proposed residential uses are in keeping with the neighboring uses, and with the goals and recommended uses of the OC zone. As previously discussed, the building is within the existing height limits and has been sited to minimize impacts on the neighbors. The mechanical equipment will be to be sited on the roof, or below ground,

subject to review and approval by the Old and Historic Alexandria District BAR. Finally, the materials proposed for the annex building will be in keeping with the design quality required on Washington Street.

### UDAC

The North Old Town Urban Design Advisory Committee (UDAC) reviewed the project at meetings at their January 8<sup>th</sup> and November 5<sup>th</sup>, 2014, and January 7<sup>th</sup> and 21<sup>st</sup>, 2015 meetings. At the November 5<sup>th</sup> meeting, the Committee generally endorsed the proposed footprint for a new annex building and the proposed conceptual design for the ‘garden space’ on the south side of the property.

Upon learning that the applicant was continuing to refine the architecture of the annex building, the Committee requested another meeting in order to review a more complete conceptual design. The applicant returned January 7<sup>th</sup> and presented the updated designs, with a follow-up meeting on January 21<sup>st</sup>, 2015, which focused on the annex building.

The group gave unanimous support for the overall site design; the height, scale and mass of the annex building, and the renovation of the historic building at the November 5<sup>th</sup>, 2014 meeting. After the two January meetings, the group continued to struggle with the annex building. Two of the members expressed reservations about compatibility of the project, particularly the flat roof, the roof monitor and the masonry detailing. In the end, the group voted to endorse the project, finding it in compliance with the Old Town North Urban Design Guidelines, in a 2-1 vote, with one abstention.

## ***E. Site Design, Open Space & Public Amenities***

### *Site Design*

The two lots form a rectangle that runs parallel to N. Washington Street, approximately 231’ by 124’, with a single site access point on Pendleton Street. The existing building is nearly centered on the site, and the existing proffers and sensitivity to the historic homes prevented new structures on the southern end of the site. Because of these existing conditions, finding a reasonable location to add density to the site was challenging.

Direction provided by staff, UDAC and the Old and Historic Alexandria BAR encouraged the new structure to defer to the historic building. The proposed annex will have a footprint of approximately 65 feet by 46 feet, in contrast to the historic building with a footprint of 110 feet by 50 feet. The current location of the annex building completes the building streetwall on Pendleton Street. An added benefit of bringing the building to the street and keeping the footprint small is that it prevents the building from blocking the existing central courtyard at the neighboring Shad Row condominiums.

One unusual aspect, dictated by the existing conditions, is that the parking lot will be accessed by going under the annex building. The first floor will function as a pass-through, with storage for trash and recycling cans, and with a separate pedestrian entrance.

As noted in the design compliance discussions, the frontage along N. Washington Street will be updated per the Standards and Guidelines. This includes new brick sidewalks on N. Washington and Pendleton Street frontages, and new streetlights. The project will comply with the City's Green Building Policy for residential projects, the Public Art Policy, and provide a contribution towards affordable housing.

#### *Pedestrian & Streetscape Amenities*

As part of this development, the applicant will be providing a number of upgrades to the site and adjacent streetscape. In continuation of the ongoing improvements on Washington Street, two "Nostalgia" style streetlights will be installed to replace the existing cobra head lights. These street lights are in place at a number of redevelopment infill locations, including the PNC Bank building at 825 N. Washington, and on S. Washington Street between Gibbons Street and the Wilson Bridge.

Also in keeping with the Washington Street Standards, the sidewalk along the Washington and Pendleton Street frontages will be updated with brick. The existing street trees on N. Washington Street will be maintained and protected throughout construction. The applicant proposes to save the 32" Osage Orange and 24" Mulberry trees located at the northwest corner of the site, although there is a required water line that could potentially damage them. Staff has included a recommendation to continue review of this issue during the Final Site Plan process. If it is determined that the utility work will harm the trees, the applicant will be required to remove the trees and replant the area.

The parking lot area nearest to N. Washington Street at the south end of the existing building will be converted to a pocket park, which is described more fully in the next section.

#### *Open Space*

The OC zone requires 40 percent of the area of the lot to function as open and usable space for residents, visitors and others. The applicant proposes to meet this requirement predominantly through ground-level open space, with some additional above-ground amenity space. Table 1 provides a detailed breakdown of the proposed uses on the site:

**Table 1**

OC Zone Open Space Requirement	11,551 sf / 40%
Total Open & Amenity Space Provided	11,986 sf /42%
Ground-Level Open Space	10,504 sf (91%)
Above-Grade Amenity Space	1,482 sf (9%)
Publically Accessible Open Space	975 sf – pocket park
Private Open Space	1,482 sf – patios, roof decks & balconies

As shown in Table 1, 91% of the open space is provided at-grade, with the largest concentrations at the northern and southern ends of the site, facing N. Washington Street. The remaining 9% (1,482 sq. ft.) is located in private patios, balconies and roof decks.

One of the primary site amenities will be the publically accessible pocket park. The portion of the existing parking lot facing N. Washington Street at the southern end of the historic building will be removed and landscaped. This allows approximately 3,100 square feet of impermeable surface to be converted into green space, and places the remaining parking lot 62 feet back from the street, making it much less visible.

Approximately 1/3 of the recovered open space (975 sq. ft.) will be converted into a pocket park, which is intended to function as an outdoor room for the residents and community. This park will face N. Washington Street and will be set behind a two foot landscaped berm (see figure 6 in the Attachments). This berm will screen the parking lot, prevent headlights from extending to N. Washington Street, and provide an additional level of separation between the park and the street.

The park will include a stone dust base, seat walls, lighting and new trees. The pathway from N. Washington Street to the public area will be signed with access hours, so the community will be aware that it is accessible. Staff has included a recommendation for continued review during the final site plan process to ensure that this space will function as a true amenity.

By providing the majority of the open space at-grade, the atmosphere of the site will remain. The site also contains a number of mature trees, most of which will be retained, as well as the existing street trees. Additional landscaping will be provided within the site interior and around the perimeter of the parking lot.

***F. Requested Modifications to the Site Plan***

*Side Yard Modification*

The applicant is requesting a modification to the side yard setback (§4-806(A)(2)(a) for a 48 foot section where the annex building abuts the property line shared with the Shad Row Condominiums, located to the east of the property. The side yard setback request is required because this is a corner lot, which has two front yards and two side yards. Within the OC zone, the required setbacks for a multifamily project would include a side yard setback based on a ratio

of 1:2 and a minimum of 16 feet. This would require a 25 foot setback; the project is proposing to set the building along the property line shared with Shad Row.

Staff finds the modification request is justified because the siting of the building corresponds to the aesthetic of the neighborhood. It places density on the site at the northern end, closer to the neighboring large office buildings, while protecting the more sensitive historic residential uses at the southern end of the site. It also pulls the annex building back from the intersection, allowing the historic building to be the more prominent structure on the site.

By placing the annex building on the property line, it screens the parking lot and provides the south side of Pendleton Street with a finished street wall, as called for in the Old Town North Design Guidelines. Finally, the siting of the building will provide some visual screening for Shad Row from Washington Street, while preserving access to sunlight at the Shad Row mews, located at the center of their site.

#### *Parking Lot Islands Modification*

The City's Landscape Guidelines require a parking lot island with trees whenever there are more than 10 spaces in a row. The east side of the site has 22 spaces in a row, and the applicant is requesting relief from the provision of islands for these spaces.

Staff supports this modification because the parking lot is screened from public view, and a substantial amount of landscaping is provided within the site, including retention of many of the mature trees. The intent of the requirement was to provide shade and visual greenery for parking lots, both of which will be met by the proposed design.

Finally, inclusion of the islands would require an additional two-space parking reduction, and because of the on-site landscaping provided, staff believes the parking is a more valuable use of the space at this particular location.

### ***G. Parking***

With this application, the applicant is requesting a Special Use Permit for a parking reduction of 16 spaces. After review of the submitted parking study, recent parking reduction approvals, and alternate means of transportation within the area, staff supports the requested parking reductions, as discussed below.

For this project, the Zoning Ordinance requires a total of 50 spaces. In addition to the residential parking requirement, the City typically asks that an additional 15 percent of the residential parking supply be provided for visitor parking. Approval of the requested parking reduction would decrease the required residential spaces from 50 spaces to 34 (16 space reduction). This would provide one parking space per residential unit. The applicant proposes to provide five visitor spaces at a nearby offsite location, which is likely to be the adjacent Washington Square (Saul Center) office complex.

The subject site is located approximately .60 of a mile from the Braddock Road Metro Station and has access to bus lines, bicycle lanes and trails, Capital Bikeshare stations and car-share vehicles. It is well served by commercial uses, with restaurants, two grocery stores, a bank and other residential amenities within easy walking distance of the site. Finally, the project is a relatively small rental project, with a high percentage (74%) of studios or 1-bedrooms, increasing the likelihood that new residents may choose this location for a car-free or car-lite lifestyle.

<b><i>Parking</i></b>	<b><i>Required</i></b>	<b><i>Proposed</i></b>
<i>Residential – 34 units</i>	50 spaces	34*
<i>Studio &amp; 1 Bedroom- 25</i>	33 spaces @ 1.25/unit	25 spaces
<i>2 Bedroom - 8</i>	14 spaces @ 1.75/unit	8 spaces
<i>3 Bedroom - 1</i>	3 spaces @2.2/unit	1 space
<i>Visitor</i>	15% (5.1 spaces)	5 spaces**
<i>Total</i>	56 spaces	34 spaces + 5 visitor spaces

\* *Parking reduction SUP requested*

\*\* *Applicant proposes to provide visitor parking at an offsite location*

When reviewed under the draft Parking Standards for New Development, which was previewed by City Council in December, 2014, this project would be required to provide 28 parking spaces, inclusive of visitor parking. This is 11 fewer spaces than the 34 + 5 visitor being proposed, or and 22 fewer spaces the 50 required by the Zoning Ordinance. The parking reductions under the draft Parking Standards result from the location’s walkability, the number of bus lines serving the site, and the high percentage (>20%) of studio units.

*Parking Study*

Gorove/Slade Associates prepared a parking study, dated October 2, 2014, providing justification for the parking reduction. The Parking Study included data on the parking supply and demand for eight residential buildings in comparable locations to the site. Each of the residential buildings identified were located in urban, walkable neighborhoods near transit. The average parking supply for the residential buildings was 1.21 parking spaces per dwelling unit, but the parking demand observed was 0.95 spaces per dwelling unit. The study concluded that the parking ratio is consistent with the actual parking demand of residential buildings in comparable areas. Since release of the parking study, the building bedroom mix has been adjusted to increase the number of one-bedrooms and studios, decrease the number of two-bedrooms, and add one three-bedroom unit. This adjustment does not substantially change the findings of the study.

*The Old Town North Plan*

Wherever possible, underground parking is strongly encouraged within the City. At this location, it was not feasible, given the existing building and the narrowness of the site. In order to mitigate the visual effects of surface parking, the Old Town North SAP Urban Design Guidelines provide specific criteria for location and screening. These include confining parking to the rear of the property, screened by landscape or architectural elements, and minimizing curb cuts. As proposed, the parking area is in compliance with these design guidelines.

## ***H. Encroachment***

The applicant has requested approval of an encroachment for a decorative fence along the Washington Street frontage of the existing building. The site has an unusual condition where the property line is set back further than is visually apparent. In fact, the last few stairs at the portico entrance of the historic building extend into the public right of way. The Washington Street frontage has a four and one-half foot landscape strip, an approximately eight foot sidewalk, and nine feet of an additional landscape area, which blends into the landscape at the front of the building. The building is set back eleven and one-half feet from the property line. This condition provides a gracious and attractive setback for the building and a generous sidewalk.

The applicant requested fence placement at the inner edge of the sidewalk, which is nine feet into the public right of way (*Attachment #5*). They prefer this location because it follows the existing sidewalk and corresponds to the fence line at the historic properties at the southern end of the block.

Staff's recommendation is for the fence location to extend no more than three feet past the property line. This places the fence in the lawn, rather than at the back of the sidewalk, creating a sidewalk condition where the walkway is flanked on either side with landscape strips. This will reduce the amount of the total encroachment, while still creating the desired demarcation between the public sidewalk and private open space.

With this change, staff supports the encroachment request for practical and aesthetic reasons. The fence will serve as a decorative element and clarification of the building's change of use, as it will not encircle the property or enclose the building site. The Old Town North SAP *Urban Design Objectives and Critical Concerns* recommends sidewalk treatment on Washington Street should include "low walls, shrubbery gardens or a landscape entrance", similar to the conditions in the 500 and 600 blocks of N. Washington Street. Height will be limited to three and one-half feet tall, which is typical of fences at the front property line. Final design and materials will be subject to review and approval by the Old and Historic Alexandria District BAR.

## ***I. Project Contributions and Impacts***

### *Affordable Housing and Public Art*

A cash contribution of \$66,610 will be made to City's Affordable Housing Trust Fund in lieu of providing on-site affordable units.

Per the City's Public Art Policy, adopted December 13, 2014, the project will either provide public art within the pocket park, or a financial contribution of \$4,450 to be used for art within the Old Town North SAP. The determination will be made during the Final Site Plan process.

### *Green Building and Sustainable Design*

The City adopted the Green Building Policy in 2009 which established an expected standard for green building certification for new development. For residential developments such as this one, the Policy requires the project to be LEED Certified or an equivalent certification from another third party program. This applicant has opted to use the National Green Building Standard program by the National Association of Home Builders to comply with this policy. Final details about the certification will be reviewed during the final site plan process.

Additionally, the project is in the process of renovating an existing historic building, and will provide new residential units within a walkable neighborhood, well served by transit and amenities.

### *School Impacts*

The applicant proposes to construct 34 market-rate residential units, including 25 in the existing building and 9 in the new annex building, ranging from studio to two bedrooms. The student generation rate for new mid-rise apartments is 0.02 students per unit, or .68 for the 34 units. This project is located in the Jefferson-Houston elementary school and George Washington middle school attendance areas, and the proposed development project has been accounted for in school enrollment forecasts.

## **V. COMMUNITY**

The applicant has done extensive outreach with this proposal. As discussed, the Old and Historic Alexandria District Board of Architectural Review reviewed the annex building at public worksessions on March 19 and June 4, 2014, and January 7, 2015. The North Old Town Urban Design Advisory Committee (UDAC) reviewed the project at meetings at their January 8<sup>th</sup> and November 5<sup>th</sup>, 2014, and January 7<sup>th</sup> and 21<sup>st</sup>, 2015 meetings.

The applicant presented the project to NOTICE (North Old Town Independent Citizens Civic Association) at their June 16<sup>th</sup>, 2014 Board meeting, and at their annual meeting on November 20<sup>th</sup>, 2014. They also coordinated with the Shad Row Condominiums, and worked extensively with the neighbors on Oronoco Street, prior to commencing construction on the existing building, and throughout the design process for the annex building.

Discussion topics among the various groups included the importance of adherence to the Washington Street Standards, whether the annex building complies with the requirements and the need for high quality urban design, as required by UDAC and Old and Historic Alexandria District BAR.

As discussed in the report, the BAR found the project in general compliance with the Washington Street Standards and Guidelines on a 5-1 vote, with one recusal. Several of the UDAC members continued to struggle with whether the annex building is compatible with the site and the neighborhood. The project was endorsed on a 2-1 vote, with 1 abstention.

Concerns about construction and the ensuing impacts have also been raised. Recommendations for a construction management plan and ongoing monitoring have been placed on the project.

## **VI. CONCLUSION**

Staff recommends **approval** of the Master Plan Amendment, Map Amendment/Rezoning with amended proffer, development site plan with modifications, the TMP and the parking reduction special use permit, and the encroachment, and subject to compliance with all applicable codes and the following staff recommendations.

Staff: Dirk Geratz, Principal Planner, Development;  
Maya Contreras, Urban Planner; and,  
Catherine Miliaras, Urban Planner, Historic Preservation.

### **ATTACHMENTS**

1. Master Plan Amendment Resolution
2. Master Plan Amendment Updated Maps – Map 11
3. Amended Proffer Statement
4. OHAD BAR Staff Report#3 : Compliance with the Washington Street Standards & Guidelines
5. Encroachment Exhibit

## VII. GRAPHICS

Image 1 – Site Plan

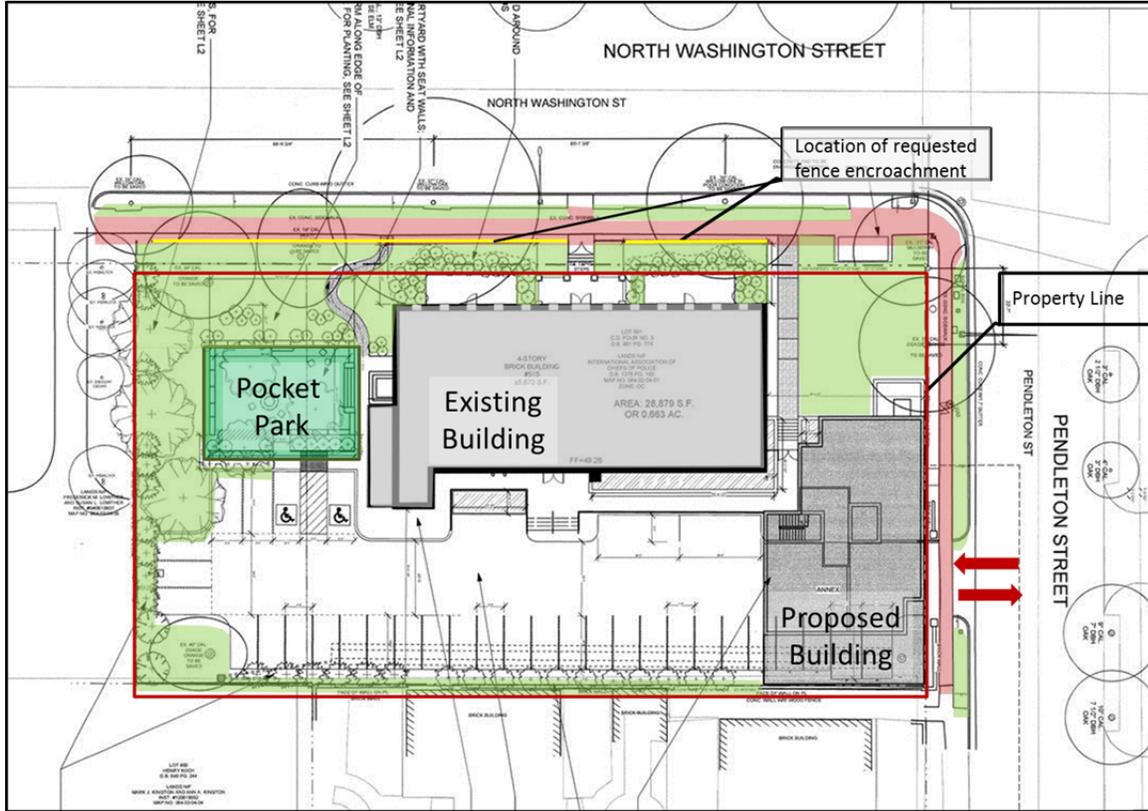


Image 2 – Aerial



Image 3 & 4- View from N. Washington St - old (color) & revised (B&W) annex building designs



*Image 5- View from Pendleton Street (old annex building design)*



*Image 6- View from Pendleton Street (revised annex building design)*



*Image 7- Detail of revised annex building design*



## **VIII. STAFF RECOMMENDATIONS**

1. The Final Site shall be in substantial conformance with the preliminary plan dated November 17<sup>th</sup>, 2014 and updated January 6th, 2015 and comply with the following conditions of approval:

### **A. *PEDESTRIAN/STREETSCAPE:***

2. Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z, RP&CA and T&ES:
  - a. Complete all pedestrian improvements prior to the issuance of a final certificate of occupancy permit for the new building.
  - b. Install ADA accessible pedestrian crossings serving the site.
  - c. Construct all sidewalks to City standards. The unobstructed width of the sidewalk on Pendleton Street shall be 6 feet, allowing for a minimum width of 4 feet if tree save requirements necessitate.
  - d. The streetscape along North Washington Street shall be improved to comply with the Washington Street Standards.
  - e. All sidewalks along property frontage shall be brick and comply with the City's Memos to Industry 05-08 and 01-13.
  - f. New brick sidewalk shall be coordinated with existing concrete sidewalk panels. The existing sidewalk can only be cut at transverse joints and the contractor shall only remove and replace full sidewalk panels.
  - g. Sidewalks shall be flush across all driveway crossings.
  - h. All below grade utilities placed within a City sidewalk shall be designed in such a manner as to integrate the overall design of the structure with the adjacent paving materials so as to minimize any potential visible impacts.  
\*\*\* (P&Z)(RP&CA)(T&ES)

### **B. *PUBLIC ART:***

3. Per the City's Public Art Policy, adopted December 13, 2014, work with City staff to determine ways to incorporate public art elements on-site, or provide an equivalent monetary contribution to be used toward public art within the Small Area Plan planning area, to the satisfaction of the Directors of RP&CA and P&Z. (RP&CA)(P&Z)
  - a. Prior to the first final site plan submission, meet with the Office of the Arts to identify the location, type and goals for public art. Prior to release of the final site plan, the applicant shall have selected the artist, have locations and medium finalized and provide a schedule for the art installation. The art shall be installed prior to the issuance of the first Certificate of Occupancy for the new building, to the satisfaction of the Directors of P&Z and/or RP&CA. (RP&CA)(P&Z) \*, \*\*\*

- b. If the developer opts not to provide art on-site, the in-lieu contribution shall be \$.30 per gross square foot for new construction, with a maximum contribution of \$75,000 per new building. The contribution shall be provided prior to the issuance of the first Certificate of Occupancy for the new building. (RP&CA)(P&Z) \*\*\*

**C. OPEN SPACE/LANDSCAPING:**

- 4. Develop, provide, install and maintain an integrated Landscape Plan with the final site plan that is coordinated with other associated site conditions to the satisfaction of the Directors of P&Z and/or RP&CA. At a minimum the Landscape Plan shall:
  - a. Provide an enhanced level of detail for plantings throughout the site (in addition to street trees). Plantings shall include a simple mixture of seasonally variable, evergreen and deciduous shrubs, ornamental and shade trees, groundcovers and perennials that are horticulturally acclimatized to the Mid-Atlantic and Washington, DC National Capital Region.
  - b. Ensure positive drainage in all planted areas.
  - c. Provide detail, section and plan drawings of tree wells showing proposed plantings and associated materials, irrigation, adjacent curb/pavement construction, including edge restraint system, dimensions, drainage, and coordination with site utilities.
  - d. Provide detail sections showing above and below grade conditions for plantings above a structure.
  - e. Provide planting details for all proposed conditions including street trees, multi-trunk trees, shrubs, perennials, and groundcovers.
  - f. Plantings shall be provided per the City's Landscape Guidelines (P&Z)(RP&CA)
  
- 5. **CONDITION AMENDED BY PLANNING COMMISSION:** The courtyard at the southern end of the existing building shall be open to the public and provide amenities to encourage its use, to the satisfaction of the Directors of P&Z and RP&CA:
  - a. A perpetual public access easement shall be granted for the courtyard. The easement and reservations shall be depicted on the easement plat and shall be approved by the City prior to the release of the final site plan.
  - b. Provide location, and specifications, and details for site furnishings within the public amenity courtyard space that depict the installation, scale, massing and character of site furnishings to the satisfaction of the Directors of RP&CA, and/or P&Z and T&ES.
  - c. Proposed fire pit shall be reviewed as part of the Final Site Plan.
  - d. At a minimum, one trash receptacle shall be provided to serve the courtyard and will be maintained by the property owner.
  - e. A decorative pedestrian-scale sign shall be added near the courtyard entrance, facing N. Washington Street. This will identify the courtyard as

public open space and identify the hours it is open, which shall be hours normally associated with parks.

- f. Courtyard signage shall be reviewed and approved by BAR staff.
  - g. **Refine the design of the park pathway access point on N. Washington Street to provide a welcoming and accessible entrance.**  
(RP&CA)(P&Z)(T&ES)(PC)
6. Provide the following modifications to the landscape plan and supporting drawings:
- a. Relocate fire service lines proposed at the NW corner of the property and shift the transformer location, as feasible, in order to protect the existing 32” Osage Orange and 24” Mulberry, proposed to be saved, to the satisfaction of the Directors of P&Z, Fire and RP&CA.
  - b. If City staff determines the proposed relocations will not be sufficient to ensure survival of the tree, or if relocation of the infrastructure is not possible, replacement tree(s) shall be required.
  - c. Plantings proposed for the east side of the parking lot shall be placed to minimize potential damage from vehicles and be protected by wheel stops, or curb.
  - d. With the first final site plan submission, provide a detail of courtyard and tree planting, including a section detail from Washington Street.  
(RP&CA)(P&Z)(T&ES)\*
7. Provide a site irrigation and/or water management plan developed installed and maintained to the satisfaction of the Directors of RP&CA, P&Z and Code Administration.
- a. Provide an exhibit that demonstrates that all parts of the site can be accessed by a combination of building mounted hose bibs and ground set hose connections.
  - b. Provide external water hose bibs continuous at perimeter of building. Provide at least one accessible, external water hose bib on all building sides at a maximum spacing of 90 feet apart.
  - c. Hose bibs, ground set water connections and FDCs must be fully accessible and not blocked by plantings, site utilities or other obstructions.
  - d. Install all lines beneath paved surfaces as sleeved connections.
  - e. Locate water sources and hose bibs in coordination with City Staff. (Code Administration) (P&Z)(RP&CA)\*
8. Provide material, finishes, and architectural details for all retaining walls, seat walls, decorative walls, and screen walls. Indicate methods for grade transitions, handrails, if required by code, directional changes, above and below grade conditions. Coordinate with adjacent conditions. Design and construction of all walls shall be to the satisfaction of the Directors of RP&CA, and/or P&Z, and T&ES. (RP&CA)(P&Z)(T&ES)

9. Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the open space and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the final site plan, the consultant shall provide text and graphics for the interpretive elements subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z and/or RP&CA.\* (Arch)(P&Z)(RP&CA)

**D. TREE PROTECTION AND PRESERVATION:**

10. Provide, implement and follow a tree conservation and protection program that is developed per the City of Alexandria Landscape Guidelines and to the satisfaction of the Directors of P&Z, and/or RP&CA and the City Arborist. This shall include existing street trees and all trees proposed to be saved on the property. (P&Z)(RP&CA)\*
11. Removal of the concrete sidewalks and installation of the brick sidewalks shall be coordinated with existing trees and the tree conservation and protection program to minimize disturbance to roots and protect the trees to the maximum possible extent, to the satisfaction of the Directors of P&Z, and/or RP&CA and the City Arborist. (P&Z)(RP&CA)\*
12. A fine shall be paid by the applicant in an amount not to exceed \$10,000 for each tree that is destroyed and/or the City may request that replacement trees of similar caliper and species be provided for damaged trees if the approved tree protection methods have not been followed. The replacement trees shall be installed and if applicable the fine shall be paid prior to the issuance of the last certificate of occupancy permit. \*\*\* (P&Z)(RP&CA)
13. The area of the limits of disturbance and clearing for the site shall be limited to the areas as generally depicted on the preliminary site plan dated November 17<sup>th</sup> and updated January 6<sup>th</sup>, 2015, and reduced if possible to retain existing trees and grades. (P&Z)(RP&CA)

**E. BUILDING:**

14. The building design, including the quality of materials, final detailing, and site improvements shall be consistent with the elevations reviewed by the Old & Historic Alexandria Board of Architecture at the January 7, 2015 meeting and the following conditions. (P&Z)
15. Provide the following building refinements to the satisfaction of the Director of P&Z:
  - a. All wall mounted vents shall be flush mounted and architecturally integrated with the building design with regard to placement and color.
  - b. No vents on street facing elevations. (P&Z)

16. Provide detailed drawings (enlarged plan, section and elevation studies) in color to evaluate the building base, entrance canopy, stoops, window and material details including the final detailing, finish and color of these elements during the final site plan review. Separate design drawings shall be submitted for each building typology at a scale of ¼" = 1'. (P&Z)
17. Building materials, finishes, and relationships shall be subject to review and approval by the Department of Planning and Zoning for substantial conformance to the preliminary plan. The following submissions shall be provided to review the materials, finishes and architectural details, prior to selection of final building materials:
  - a. Provide a materials board that includes all proposed materials and finishes at first final site plan. \*
  - b. The materials board shall remain with the Department of Planning and Zoning until the final certificate of occupancy, upon which all samples shall be returned to the applicant.\*\*\*
  - c. Provide drawings of a mock-up panel that depict all proposed materials, finishes, and relationships as part of the first final site plan. \*
  - d. Construct an on-site, mock-up panel of proposed materials, finishes, and relationships for review and approval prior to final selection of building materials. The mock-up panel shall be constructed and approved prior to vertical (above-grade) construction and prior to ordering final building materials. \*\*
  - e. The mock-up panel shall be located such that it shall remain on-site in the same location through the duration of construction until the first certificate of occupancy. \*\*\* (P&Z)
18. Building materials, finishes and architectural details shall be subject to review and approval by the Old and Historic Alexandria District Board of Architectural Review. A materials board shall be submitted as part of the Certificate of Appropriateness approval (BAR)
19. Per the City's Green Building Policy adopted April 18, 2009, achieve a green building certification level of Bronze under the National Green Building Standard (or an equivalent program and certification) to the satisfaction of the Directors of P&Z and T&ES. Diligent pursuance and achievement of this certification shall be monitored through the following:
  - a. Provide evidence of the project's registration with the National Green Building Standard program (or equivalent) with the submission of the first final site plan and provide a draft checklist showing how the project plans to achieve the certification.\*
  - b. Provide evidence of submission of materials for certification to the National Green Building Standard program (or equivalent) prior to issuance of a certificate of occupancy. \*\*\*

- c. Provide documentation of Bronze Certification from the National Green Building Standard (or equivalent) within two years of obtaining a final certificate of occupancy.
  - d. Failure to achieve certification will be evaluated by City staff, and if staff determines that a good faith, reasonable, and documented effort was not made to achieve these certification levels, then any City-wide Green Building policies existing at the time of staffs' release of Final Site Plan will apply. (P&Z)(T&ES)
20. The applicant shall work with the City for recycling and/or reuse of the existing building materials as part of the demolition process, including leftover, unused, and/or discarded building materials. (T&ES)(P&Z)
21. Energy Star labeled appliances shall be installed in all multi-family residential units. (T&ES)

**F. SIGNAGE:**

22. All permanent signage require review and approval by the Old and Historic Alexandria BAR or BAR staff. \*(P&Z)
23. Install a temporary informational sign on the site prior to the approval of the final site plan for the project. The sign shall be displayed until construction is complete or replaced with a contractor or real estate sign incorporating the required information; the sign shall notify the public of the nature of the upcoming project and shall provide a phone number for public questions regarding the project.\* (P&Z)(T&ES)

**G. HOUSING:**

24. A voluntary contribution of \$4.94 on the gross new square footage (13,484 SF), for a total contribution of \$66,610 shall be consistent with the conclusion of the Developer Housing Contribution Work Group, accepted by the Alexandria City Council on December 13, 2013. (Housing)

**H. PARKING:**

25. Locate a minimum of 34 parking spaces on-site for residents. (P&Z)(T&ES)
26. Provide 12 bicycle parking space(s) per Alexandria's current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: [www.alexandriava.gov/bicycleparking](http://www.alexandriava.gov/bicycleparking). (T&ES)
27. Five visitor spaces shall be provided in an off-site facility. Verification of the off-site arrangement and plan for how it will be managed shall be submitted with Final Site Plan.\* (T&ES)

28. Off-site visitor parking spaces shall be advertised to residents and visitors. The location of the off-site facility for visitor parking shall be indicated on signage visible from the garage entrance. Information regarding off-site visitor parking spaces shall be provided in the lease/purchase agreements. \*\*\* (T&ES)
29. All on-street parking controls and restrictions within the project area shall be determined by the City. Any such controls and restrictions which the applicant desires shall be shown on the final site plan. (P&Z)(T&ES)

***I. TRANSPORTATION MANAGEMENT PLAN:***

30. According to Article XI, Section 11-700 of the City's Zoning Ordinance, a Transportation Management Plan is required to implement strategies to encourage residents and employees to take public transportation, walk, bike or share a ride, as opposed to being a sole occupant of a vehicle. (T&ES)
31. A TMP Coordinator shall be designated for the entire project prior to release of the first certificate of occupancy. The name, location, email and telephone number of the coordinator will be provided to the City at the time, as well as any changes occurring subsequently. This person will be responsible for assisting the City in implementing and facilitating the TMP on site. The coordinator must provide City staff access to the property and tenants/residents in order to implement TDM measures such as surveys, mailings and hosting events to encourage participation and inform residents and tenants about benefits available to them. \*\*\* (T&ES)
32. The TMP shall be required to make a monetary payment twice per year to the Citywide TDM Fund. TMP funds shall be deposited to the Citywide TDM Fund on January 15 and July 15 of each year. The annual base assessment rate for this development shall be \$82.42 per residential unit. The base assessment rate will be adjusted on an annual basis on July 1 of each year in accordance with the Consumers Price Index (CPI-U) as reported by the United States Department of Labor, Bureau of Labor Statistics. The base assessment rate in effect at the time of the project's first certificate of occupancy permit (CO) is the applicable rate when TMP reporting begins.
33. As set forth in section 11-711(B) in the Ordinance, civil penalties shall be assessed to the governing entity for lack of timely compliance with the conditions of this TMP SUP. If after assessment of three civil penalties, any use continues to fail to comply with a condition of its approved TMP, the property may be subject to increased review and reporting requirements, and may be subject to a staff recommendation for action by the city council to revoke the TMP SUP pursuant to section 11-205 of the Ordinance.
34. Prior to any lease/purchase agreements, the applicant shall prepare appropriate language to inform tenants/owners of the transportation management plan special use permit and conditions therein, as part of its leasing/purchasing agreements;

such language to be reviewed and approved by the City Attorney's office.  
(T&ES)

**J. BUS STOPS AND BUS SHELTERS:**

35. Remove existing Metrobus shelter and install a new City standard bus shelter and a new bus shelter pad for the stop on northbound North Washington Street at Pendleton Street. Install electric conduit and connections from the site to the bus shelter for bus shelter illumination during evening/night hours. Show improvements on the first final site plan submission. (T&ES)
36. Show all existing and proposed bus stops with associated features, to include shelters, canopies, and benches in the vicinity of the site on the final site plan. Any proposed features shall be ADA compliant; all bus shelters shall include a bench, illumination (solar or electric), and the ability to accommodate future real time bus information LED screens and electric connections to the satisfaction of the Director of T&ES. The final bus shelter, bus canopy, and bus stop bench design shall meet City standards and the approval of the Director of T&ES. Design and specifications for the City standard bus shelter can be found at <https://www.alexandriava.gov/tes/info/default.aspx?id=6548>. (T&ES)
37. Make bus stops on northbound North Washington Street at Pendleton Street ADA compliant.
  - a. Install an unobstructed eight (8) foot wide, parallel to the roadway, by eight (8) foot wide, perpendicular to the curb, bus stop passenger loading pad. The loading pad shall be at the same grade as the sidewalk, connect the curb to the sidewalk, and the pad's surface material shall match the sidewalk. The loading pad's cross slope shall be less than 2%. The exiting width of the sidewalk may be counted towards the 8 foot wide perpendicular to the curb area. Passenger loading pads shall never be placed on storm drain inlets, catch basins, and other obstacles that would make the bus stop and bus stop loading pad inaccessible. See attached standard details.
  - b. Create a 120 foot "No Parking, Bus Stop Zone" for the bus stop located on northbound North Washington Street at Pendleton Street. (T&ES)
38. New street trees in close proximity to bus stop approaches or directly adjacent to travel lanes shall be:
  - a. Located to avoid conflict with vehicles, specifically:
    - i. New trees shall be excluded from a 40 ft. zone which represents the length of the bus as it is serving the stop.
    - ii. New trees within both the 10 ft. departure zone and the 20 ft. approach zone (on either side of the 40 ft. zone) shall be selectively located to minimize conflict with vehicles and to allow direct line of sight for approaching buses.

- b. Subject to the character of the adjacent area and relevant design guidelines for spacing, distance from the curb and species selection. In general, trees shall be of the same species along the entire block face.
- c. selected from upright branching species in areas where relevant design guidelines do not otherwise specify
- d. Installed with a minimum six feet of clear stem and gradually pruned to reduce conflict with vehicles, under consultation from a certified arborist. Pruning of street trees is part of the regular maintenance required of applicants under the City's bond for public improvements.
- e. Set back from the curb edge where the width of sidewalk and adjacent conditions allow. (T&ES)

**K. *SITE PLAN:***

- 39. Per Section 11-418 of the Zoning Ordinance, the development special use permit shall expire and become null and void, unless substantial construction of the project is commenced within 36 months after initial approval and such construction is thereafter pursued with due diligence. The applicant shall provide a written status report to staff 18 months after initial approval to update the City Council on the project status if substantial construction has not commenced at such time. (P&Z)
- 40. Submit the plat of consolidation and all applicable easements prior to the final site plan submission. The plat(s) shall be approved prior to the release of the final site plan.\* (P&Z)(T&ES)
- 41. The plat shall be recorded and a copy of the recorded plat, dedications and deeds shall be submitted with the first request for a building permit.\*\* (P&Z)
- 42. Coordinate location of site utilities with other site conditions to the satisfaction of the Directors of P&Z and/or RP&CA, and T&ES. These items include:
  - a. Location of site utilities including above grade service openings and required clearances for items such as transformers, telephone, HVAC units and cable boxes.
  - b. Minimize conflicts with plantings, pedestrian areas and major view sheds.
  - c. Do not locate above grade utilities in dedicated open space areas and tree wells.
  - d. If applicable, all utilities shall be screened from the public ROW to the satisfaction of the Director of P&Z. (P&Z)(T&ES)(RP&CA)(BAR)
- 43. Provide a lighting plan with the final site plan to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of T&ES, P&Z, and/or RP&CA in consultation with the Chief of Police and shall include the following:
  - a. Clearly show location of all existing and proposed street lights and site lights, shading back less relevant information.

- b. Determine if existing lighting meets minimum standards within the City right-of-way adjacent to the site. If lighting does not meet minimum standards, additional lighting shall be provided to achieve City standards or to the satisfaction of the Director of T&ES.
  - c. Street light(s) on North Washington Street shall be the Washington Street decorative light fixture (Nostalgia) which was approved by the City and National Park Service.
  - d. A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts.
  - e. The decorative Nostalgia lights shall be metered and the applicant shall work with the City to finalize the location and design of the pedestal meter during the final site plan. The applicant shall bear all costs for installation of the meter.
  - f. Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s) and security lighting.
  - g. A photometric plan with lighting calculations that include all existing and proposed light fixtures, including any existing street lights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way. Show existing and proposed street lights and site lights.
  - h. Photometric site lighting plan shall be coordinated with architectural/building mounted lights, site lighting, street trees and street lights to minimize light spill into adjacent residential areas.
  - i. Provide location of conduit routing between site lighting fixtures so as to avoid conflicts with street trees.
  - j. Detail information indicating proposed light pole and footing in relationship to adjacent grade or pavement. All light pole foundations shall be concealed from view.
  - k. The lighting for the areas not covered by the City of Alexandria' standards shall be designed to the satisfaction of Directors of T&ES and P&Z.
  - l. Provide numeric summary for various areas (i.e., roadway, walkway/sidewalk, alley, and parking lot, etc.) in the proposed development.
  - m. Light fixtures for open canopies shall be recessed into the ceiling for any areas that can be seen from the public ROW.
  - n. Full cut-off lighting shall be used at the development site to prevent light spill onto adjacent properties. (P&Z)(T&ES)(RP&CA)(Police)(BAR)
44. Provide a unit numbering plan for each floor of a multi-unit building with the first final site plan submission. The unit numbers should comply with a scheme of 100 level numbers on the first floor, 200 level numbers on the second floor, and 300 level numbers for third floor and continue in this scheme for the remaining floors. Indicate unit's use (i.e.: Residential, Retail, Office) if known. (P&Z)

45. The Emergency Vehicle Easement (EVE) shall not be painted. When an EVE is shared with a pedestrian walkway or consists of grasscrete or a similar surface treatment, the EVE shall be defined in a manner that is compatible with the surrounding ground plane. (P&Z)

**L. ENCROACHMENT:**

46. The requested fence encroachment shall be reduced to a maximum distance of 3 feet from the property line along N. Washington Street. (T&ES)
47. The applicant (and his/her successors, if any) must obtain and maintain a policy of general liability insurance in the amount of \$1,000,000, which will indemnify the applicant (and his /her successors, if any) and the City of Alexandria, as an additional named insured, against all claims, demands, suits, etc., and all costs related thereto, including attorney fees, relating to any bodily injury or property damage which may occur as a result of the granting of this encroachment. (T&ES)
48. Neither the City nor any Private utility company will be held responsible for damage to the private improvements in the public right-of-way during repair, maintenance or replacement of any utilities that may be located within the area of the proposed encroachment. (T&ES)
49. The owner or any successor in interest shall remove the encroachment if the City has need for the area of the proposed encroachment, or if the City determines that the encroachment interferes with public access or is otherwise inconsistent with the public welfare. In such case, the City shall provide the owner or successor in interest with written notice of the need to remove the encroachment at least 10 days prior to the date on which the removal must be completed. If the owner or successor in interest cannot be found, or fails to remove the encroachment within the time specified, the City shall have the right to remove the encroachment, at the expense of the owner or successor, and shall not be liable for any loss or damage to the encroaching structure that may occur as a result of the removal. (T&ES)

**M. CONSTRUCTION MANAGEMENT:**

50. Submit a construction phasing plan to the satisfaction of the Director of T&ES, for review, approval and partial release of Erosion and Sediment Control for the final site plan.\* (T&ES)
51. Submit a construction management plan to the Directors of P&Z, T&ES and Code Administration prior to final site plan release. The plan shall:
  - a. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed.
  - b. Include an overall proposed schedule for construction;
  - c. Include a plan for temporary pedestrian circulation;

- d. Include a preliminary Maintenance of Traffic Plan (MOT) as part of the construction management plan for informational purposes only, to include proposed controls for traffic movement, lane closures, construction entrances and storage of materials.
  - e. Include a phasing plan to determine when occupancy of the existing building may be feasible, given construction of the new building;
  - f. Copies of the plan shall be posted in the construction trailer and given to each subcontractor before they commence work. (P&Z)(T&ES)
52. Provide off-street parking for all construction workers without charge to the construction workers. Construction workers shall not be permitted to park on-street. For the construction workers who use Metro, DASH, or another form of mass transit to the site, the applicant shall subsidize a minimum of 50% of the fees for mass transit. Compliance with this condition shall be a component of the construction management plan, which shall be submitted to the Department of P&Z and T&ES prior to final site plan release. This plan shall:
- a. Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.
  - b. Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes.
  - c. If the off-street construction workers parking plan is found to be violated during the course of construction, a correction notice will be issued to the developer. If the violation is not corrected within five (5) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. \* (P&Z)(T&ES)
53. The sidewalks shall remain open during construction or pedestrian access shall be maintained to the satisfaction of the Director of T&ES throughout the construction of the project. (T&ES)
54. No major construction staging shall be allowed within the public right-of-way on North Washington Street. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. \*\* (T&ES)
55. Any structural elements that extend into the public right of way, including but not limited to footings, foundations, tie-backs etc., must be approved by the Director of T&ES as a part of the Sheeting and Shoring Permit. (T&ES)
56. A "Certified Land Disturber" (CLD) shall be named in a letter to the Division Chief of Construction Management & Inspection prior to any land disturbing activities. If the CLD changes during the project, that change must be noted in a

letter to the Division Chief. A note to this effect shall be placed on the Phase I Erosion and Sediment Control sheets on the site plan. (T&ES)

57. Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall be notified of the date of the meeting before the permit is issued. (P&Z)(T&ES)
58. Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or and T&ES. (P&Z)(T&ES)
59. Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. (T&ES)
60. Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan Coordinator prior to requesting a certificate of occupancy permit. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. \*\*\* (P&Z) (T&ES)
61. Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)
62. If there are outstanding performance, completion or other bonds for the benefit of the City in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in

ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met and the bond(s) released by the City. (T&ES)

**N. WASTEWATER / SANITARY SEWERS:**

63. The project lies within the Combined Sewer System (CSS) area district, therefore, stormwater management and compliance with the state stormwater quality and quantity requirements and the City's Alexandria Water Quality Volume Default shall be coordinated with the City's CSS Management Policy. (T&ES)
64. The project lies within the Combined Sewer System (CSS) area; therefore, the applicant shall be required to comply with the CSS Management Policy requirements set forth in Memo to Industry 07-14, effective July 1, 2014. Provide full separation of sanitary and/or storm sewer to comply with the policy. \*(T&ES)

**O. SOLID WASTE:**

65. Provide \$896 per receptacle to the Director of T&ES for purchase and installation of one (1) Victor Stanley Ironsites Series model SD-42 receptacle with Dome Lid dedicated to trash collection. The receptacle(s) shall be placed in the public right of way. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan.\* (T&ES)
66. Provide \$996 per receptacle to the Director of T&ES for the purchase and installation of one (1) Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid dedicated to recycling collection. The receptacle(s) shall be placed in the public right of way. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES)

**P. STREETS / TRAFFIC:**

67. If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the applicant shall be responsible for construction/ installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)
68. A pre-construction walk/survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff to document existing conditions prior to any land disturbing activities. (T&ES)
69. Show turning movements of standard vehicles in the parking lot. Turning movements shall meet AASHTO vehicular guidelines and shall be to the satisfaction of the Director of T&ES. (T&ES)

70. Furnish and install two 4" conduits with pull wires, and junction boxes located at a maximum interval of 300' underneath the sidewalks along North Washington Street. These conduits shall terminate in an underground junction box at each end of the property along Washington Street. The junction box cover shall have the word "TRAFFIC" engraved in it. (T&ES)
71. All 90 degree vehicle parking spaces adjacent to a sidewalk less than seven feet shall have wheel stops. (T&ES)

***Q. UTILITIES:***

72. Locate all private utilities without a franchise agreement outside of the public right-of-way and public utility easements. (T&ES)

***R. WATERSHED, WETLANDS, & RPAs:***

73. The stormwater collection system is located within the Potomac River watershed. All on-site stormwater curb inlets and public curb inlets within 50 feet of the property line shall be duly marked using standard City markers, or to the satisfaction of the Director of T&ES. (T&ES)

***S. STORMWATER MANAGEMENT:***

74. The City of Alexandria's stormwater management regulations regarding water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. The Alexandria Water Quality Volume Default, as determined by the site's post-development impervious area shall be treated in a Best Management Practice (BMP) facility. (T&ES)
75. Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance. The project must use hydrologic soil group "D" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES)
76. The stormwater Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director of T&ES that the BMPs are:
  - a. Constructed and installed as designed and in accordance with the approved Final Site Plan.

- b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. \*\*\*\*\*(T&ES)
77. Provide recent inspection report(s) to demonstrate that the existing stormwater quality BMP and the detention system has been properly maintained and is functioning as designed prior to release of the final site plan. The existing facility shall also be recertified by the design professional prior to bond release. \*,\*\*\*\*(T&ES)
78. Surface-installed stormwater Best Management Practice (BMP) measures, i.e. Bio-Retention Filters, Vegetated Swales, etc. that are employed for this site, require installation of descriptive signage to the satisfaction of the Director of T&ES. (T&ES)
79. Submit two originals of the stormwater quality BMP Maintenance Agreement, to include the BMP Schedule and Guidelines Addendum with the City to be reviewed as part of the Final #2 Plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the final site plan.\* (T&ES)
80. The Applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the homeowner's association (HOA), if applicable, or until sale to a private owner. Prior to transferring maintenance responsibility for the BMPs to the HOA or owner, the Applicant shall execute a maintenance service contract with a qualified private contractor for a minimum of three years, and transfer the contract to the HOA or owner. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. \*\*\*\*\*(T&ES)
81. If units will be sold as individual units and a homeowner's association (HOA) established, the following two conditions shall apply:
  - a. The Applicant shall furnish the Homeowner's Association with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) used on site. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including any mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City.
  - b. The Developer shall furnish each home purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the

responsibilities of the homeowners and the Homeowners Association (HOA) with respect to maintenance requirements. Upon activation of the HOA, the Developer shall furnish five copies of the brochure per unit to the HOA for distribution to subsequent homeowners.

Otherwise the following condition applies:

82. The Developer shall furnish the owners with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) on the project. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. (T&ES)
83. Submit a copy of the Operation and Maintenance Manual to the Office of Environmental Quality on digital media prior to release of the performance bond. \*\*\*\*(T&ES)
84. Prior to release of the performance bond, the Applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required in order to make this certification, provide a description of the maintenance measures performed. \*\*\*\*(T&ES)

**T. CONTAMINATED LAND:**

85. Indicate whether or not there is any known soil and groundwater contamination present as required with all preliminary submissions. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. (T&ES)

**U. NOISE:**

86. All exterior building-mounted loudspeakers shall be prohibited and no amplified sound shall be audible at the property line. (T&ES)
87. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)

**V. AIR POLLUTION:**

88. If fireplaces are utilized in the development, the Applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. (T&ES)

**W. ARCHAEOLOGY:**

89. Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the open space and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the final site plan, the consultant shall provide text and graphics for the signage subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z and/or RP&CA.\* (Arch)(P&Z)(RP&CA)

90. EHT Tracerics has produced a historical overview report for the property (dated September 2013). The document is an excellent overview consisting mainly of maps and photographs of the primary building on the property, but it does not adequately address the archaeological integrity or potential contexts of the Cotton Factory.

Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. *Alexandria Archaeology generated a Scope of Work dated April 23, 2014 as a guide for the required Documentary Study and Archaeological Evaluation.*\* (Archaeology)

91. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological fieldwork has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. \* (Archaeology)

92. Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.\*\*\* (Archaeology)

93. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of

artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

94. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
95. The Mount Vernon Cotton Factory was built on the property in 1847. Over the next 50 years it passed through the hands of several different owners. During the Civil War the Union Army commandeered the building for use as a military prison. Immediately to the south of the Cotton Factory structure, on the lot at 513 N. Washington (also part of this proposed project) stood an office complex and barracks. In 1903 the Portner Brewing Company acquired the property and converted the main building into a bottling factory which operated for approximately a decade. In 1918 the building was transformed into a spark plug factory. In 1935 the building was renovated into an apartment complex, which was changed yet again into office space in the early 1980s. Given the history of the lots at 513 and 515 N. Washington Street, the properties have the potential to contain significant archaeological resources pertaining to the industrial growth of the City of Alexandria.
96. If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.
97. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

**X. DISCLOSURE REQUIREMENTS:**

98. In the event that the project is converted to condominiums, the Condominium / Homeowners Association (HOA) documents shall incorporate language that requires the following elements and other restrictions deemed necessary by the City Attorney to ensure that the trees proposed to be saved are retained including:
  - a. Require property owners to sign a disclosure statement acknowledging the presence and required protection of the trees.
  - b. The trees to be protected as depicted on the approved site plan shall be required to be retained unless otherwise permitted to be removed by the City Arborist due to the health and safety of the tree.

- c. Any proposal to remove a tree that is designated to be retained on the approved site plan for reasons other than health or safety shall require unanimous approval by the Homeowners Association and a site plan amendment. (P&Z)
99. In the event that the project is converted to condominiums, all condominium association covenants shall be reviewed by the Director of P&Z and the City Attorney to ensure inclusion of all the conditions of this DSUP prior to applying for the first certificate of occupancy permit for the project. The association covenants shall include the conditions listed below, which shall be clearly expressed in a separate section of the covenants. The language shall establish and clearly explain that these conditions cannot be changed except by an amendment to this development special use permit approved by City Council.
- a. The principal use of the parking spaces shall be for passenger vehicle parking only; storage which interferes with the use of a parking space for a motor vehicle is not permitted.
  - b. One parking space shall be assigned to a specific residential unit until all settlement on the units is complete.
  - c. All landscaping and open space areas, including the publically accessible courtyard, within the development shall be maintained by the Homeowners' and/or Condominium Owners' Association.
  - d. Exterior building improvements or changes by future residents shall require the approval of the City Council, as determined by the Director of P&Z.
  - e. Five required visitor parking spaces will be provided off-site. Locating and leasing/purchasing these spaces is the responsibility of the Homeowners' and/or Condominium Owners' Association
  - f. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit. \*\*\*(P&Z)
100. Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Director of P&Z and the City Attorney:
- a. That Washington Street is a major arterial and that future traffic is expected to increase as development along Washington Street continues. (P&Z)(T&ES)

### **CITY DEPARTMENT CODE COMMENTS**

Legend: C - Code Requirement R - Recommendation S - Suggestion F – Finding

#### **Planning and Zoning**

- C - 1 The existing building address shall remain as 515 N. Washington Street. The annex building, if approved, shall be addressed on Pendleton Street.

- C - 2 As-built documents for all landscape and irrigation installations are required to be submitted with the Site as-built and request for Performance Bond release. Refer to City of Alexandria Landscape Guidelines, Section III A & B. \*\*\*\* (P&Z) (T&ES)
- C - 3 The landscape elements of this development shall be subject to the Performance and Maintenance bonds, based on criteria established by the City and available through T&ES. Release of Performance and Maintenance Bonds are subject to inspections by City staff per City Code requirements. A final inspection for landscaping is also required three years after completion. \*\*\*\* (P&Z) (T&ES)
- C - 4 No permits shall be issued prior to the release of the Certificate of Appropriateness from the Board of Architectural Review. (BAR)

**Transportation and Environmental Services**

- F - 1. The Cover Sheet lists the project at 0.663 acres and Sheet C 3.0 lists the limits of disturbance at 0.75 acres. The VRMM worksheets use 0.53 as the disturbed area. Computations for the water quality and water quantity requirements must be based on the total land-disturbing acreage to design facilities and determine compliance. (Storm)
- F - 2. The project site is less than 1 acre and does not have to seek coverage under the VPDES Construction General Permit by submitting a SWPPP for review and approval. However, the project should employ best practices for pollution prevention from construction sites in order to prohibit and/or mitigate discharges from construction-related activities. Failure to do so may result in being cited during construction inspections. (Storm)
- F - 3. The project is located in the Pendleton Combined Sewer System (CSO) area and must demonstrate compliance with Memo to Industry 07-14 regarding CSS Management. (Storm)
- F - 4. Existing bus shelter adjacent to the site on northbound N Washington at Pendleton Street contains rust. This shelter is not ADA compliant. Applicant has noted the location of the replacement shelter. However, the applicant needs to illustrate the location of the electric conduit and connections from the site to the bus shelter for bus shelter illumination. (Transit)
- F - 5. Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall show the true north arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward, preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&ES)

- F - 6. The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City's following web address:

<http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%202009.pdf>

- F - 7. The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)
- F - 8. The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)
- F - 9. Include all symbols, abbreviations, and line types in the legend. (T&ES)
- F - 10. Asphalt patches larger than 20% of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration (T&ES)
- F - 11. All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18" in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15". The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES)
- F - 12. All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10" in the public Right of Way and sanitary lateral 6" for all commercial and institutional developments; however, a 4" sanitary lateral will be acceptable for single family residences. The acceptable pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12" or larger diameters); Class III

may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured “Y” or “T” or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured “Y” or “T”, or else install a manhole. (T&ES)

- F - 13. Lateral Separation of Sewers and Water Mains: A horizontal separation of 10’ (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18” above of the top of the sewer. If both the horizontal and vertical separations cannot be achieved then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation.(T&ES)
- F - 14. Crossing Water Main Over and Under a Sanitary or Storm Sewer: When a water main over crosses or under crosses a sanitary / storm sewer then the vertical separation between the bottom of one (i.e., sanitary / storm sewer or water main) to the top of the other (water main or sanitary / storm sewer) shall be at least 18” for sanitary sewer and 12” for storm sewer; however, if this cannot be achieved then both the water main and the sanitary / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing and the pipes shall be pressure tested in place without leakage prior to installation. Sewers crossing over the water main shall have adequate structural support (concrete pier support and/or concrete encasement) to prevent damage to the water main. Sanitary sewers under creeks and storm sewer pipe crossings with less than 6” clearance shall be encased in concrete. (T&ES)
- F - 15. No water main pipe shall pass through or come in contact with any part of sanitary / storm sewer manhole. Manholes shall be placed at least 10 feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, the manhole shall be of watertight construction and tested in place. (T&ES)
- F - 16. Crossing Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and electrical duct banks shall be crossed maintaining a minimum of 12” of separation or clearance with water main, sanitary, or storm sewers. If this separation cannot be achieved then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for a distance of 10 feet on each side of the point of crossing and pressure tested in place without leakage prior to installation. Sanitary / storm sewers and water main crossing over the utilities shall have adequate structural support (pier support and/or concrete encasement) to prevent damage to the utilities. (T&ES)
- F - 17. Show the drainage divide areas on the grading plan or on a sheet showing reasonable information on topography along with the structures where each sub-area drains. (T&ES)

- F - 18. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. (T&ES)
- F - 19. All the existing and proposed public and private utilities and easements shall be shown on the plan and a descriptive narration of various utilities shall be provided. (T&ES)
- F - 20. A Maintenance of Traffic Plan shall be provided within the Construction Management Plan and replicate the existing vehicular and pedestrian routes as nearly as practical and the pedestrian pathway shall not be severed or moved for non-construction activities such as parking for vehicles or the storage of materials or equipment. Proposed traffic control plans shall provide continual, safe and accessible pedestrian pathways for the duration of the project. These sheets are to be provided as "Information Only." (T&ES)
- F - 21. The following notes shall be included on all Maintenance of Traffic Plan Sheets:
- a. The prepared drawings shall include a statement "FOR INFORMATION ONLY" on all MOT Sheets.
  - b. Sidewalk closures will not be permitted for the duration of the project. Temporary sidewalk closures are subject to separate approval from Transportation and Environmental Services (T&ES) at the time of permit application.
  - c. Contractor shall apply for all necessary permits for uses of the City Right of Way and shall submit MOT Plans with the T&ES Application for final approval at that time. \* (T&ES)
- F - 22. Add complete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)
- C - 5 The disturbed area of the site is greater than 50% of the parcel. Per Sec. 13-103(KK), for projects disturbing greater than or equal to 50% of the tax parcel, the entire tax parcel shall constitute the site. (T&ES)
- C - 6 Per the requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the pre-development flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)
- C - 7 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, the applicant shall comply with the peak flow requirements and prepare a Stormwater Management Plan so that from the site, the post-development peak runoff rate from a two-year storm and a ten-year storm, considered individually, shall not exceed their respective predevelopment rates. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. If the project site lies within the Braddock-West watershed then the applicant shall provide

an additional 10% storage of the pre-development flows in this watershed to meet detention requirements. (T&ES)

- C - 8 Per the requirements of Article 13-113 (d) of the AZO, all stormwater designs that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems shall be signed and sealed by a professional engineer, registered in the Commonwealth of Virginia. The design of storm sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analyses that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)
- C - 9 The proposed development shall conform to all requirements and restrictions set forth in Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the City of Alexandria Zoning Ordinance. (T&ES)
- C - 10 Location of customer utility services and installation of transmission, distribution and main lines in the public rights of way by any public service company shall be governed by franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 and Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be located outside of the public right of way. (T&ES)
- C - 11 (a) Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexandria Code, all new customer utility services, extensions of existing customer utility services and existing overhead customer utility services supplied by any existing overhead facilities which are relocated underground shall, after October 15, 1971 be installed below the surface of the ground except otherwise exempted by the City Code and to the satisfaction of the Director, Department of Transportation and Environmental Services.  
(b) Per the requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to be used to transmit or distribute any service such as electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam or petroleum, whether or not on the streets, alleys, or other public places of the City shall, after October 15, 1971, be installed below the surface of the ground or below the surface in the case of bridges and elevated highways except otherwise exempted by the City Code and to the satisfaction of Director, Department of Transportation and Environmental Services. (T&ES)
- C - 12 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable after treating for water quality as per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)
- C - 13 In compliance with Title 5: Transportation and Environmental Services, Section 5-1-2(12b) of the City Charter and Code, the City of Alexandria shall provide solid waste

collection services to the condominium townhomes portion of the development. All refuse / recycling receptacles shall be placed at the City Right-of-Way. (T&ES)

- C - 14 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Section A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provide a total turning radius of 25 feet to the satisfaction of Directors of T&ES and Office of Building and Fire Code Administration and show turning movements of standard vehicles in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)
- C - 15 The applicant shall provide required storage space for both trash and recycling materials containers as outlined in the City's "Solid Waste and Recyclable Materials Storage Space Guidelines", or to the satisfaction of the Director of Transportation & Environmental Services. The plan shall show the turning movements of the collection trucks and the trucks shall not back up to collect trash or recycling. The City's storage space guidelines are available online at: [www.alexandriava.gov/solidwaste](http://www.alexandriava.gov/solidwaste) or by contacting the City's Solid Waste Division at 703-746-4410, or via email at [commercialrecycling@alexandriava.gov](mailto:commercialrecycling@alexandriava.gov). (T&ES)
- C - 16 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)
- C - 17 The applicants shall submit a Recycling Implementation Plan (RIP) form to the Solid Waste Division, as outlined in Article H of Title 5 (Ordinance Number 4438), which requires all commercial properties to recycle. Instructions for how to obtain a RIP form can be found at: [www.alexandriava.gov/solidwaste](http://www.alexandriava.gov/solidwaste) or by calling the Solid Waste Division at 703.746.4410 or by e-mailing [CommercialRecycling@alexandriava.gov](mailto:CommercialRecycling@alexandriava.gov). (T&ES)
- C - 18 All private streets and alleys shall comply with the City's Minimum Standards for Private Streets and Alleys. (T&ES)
- C - 19 Bond for the public improvements must be posted prior to release of the site plan.\* (T&ES)
- C - 20 The sewer tap fee must be paid prior to release of the site plan.\* (T&ES)
- C - 21 All easements and/or dedications must be recorded prior to release of the site plan.\* (T&ES)
- C - 22 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan.\* (T&ES)

- C - 23 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)
- C - 24 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)
- C - 25 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)
- C - 26 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)
- C - 27 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)
- C - 28 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)
- C - 29 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)
- C - 30 The applicant shall comply with the City of Alexandria’s Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C - 31 The applicant shall comply with the Article XIII of the City of Alexandria Zoning Ordinance, which includes requirements for stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default and stormwater quantity management. (T&ES)

- C - 32 The applicant shall comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. (T&ES)
- C - 33 All required permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, and/or Virginia
- C - 34 Marine Resources shall be in place for all project construction and mitigation work prior to release of the final site plan. \*(T&ES)

**VAWC Comments:**

VAWC has no comments

**AlexRenew Comments:**

AlexRenew has no comments.

**Fire Department**

- F - 23. All new fire hydrants on private property shall be City owned and maintained with the appropriate easements granted to the City for access, inspection, testing, maintenance and service.

**Code Administration (Building Code)**

- F - 24. The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact the Code Administration Office, Plan Review Supervisor at 703-746-4200.
- C - 35 New construction or alterations to existing structures must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C - 36 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) total floor area per floor; e) height of structure f) non-separated or separated mixed use g) fire protection system requirements.
- C - 37 A soils report must be submitted with the building permit application for all new and existing building structures.
- C - 38 The most restrictive type of construction shall apply to the structure for height and area limitations for non-separated uses.
- C - 39 Where required per the current edition Virginia Uniform Statewide Building Code exits, parking, and facilities shall be accessible for persons with disabilities.
- C - 40 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to the Department of Code Administration that will

outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

- C - 41 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C - 42 A wall location plat prepared by a land surveyor is required to be submitted to the Department of Code Administration prior to any building framing inspection.

### **Police**

#### Parking Garage Recommendations

- R - 1. It is recommended that the doors in the garage (garage level only) leading into the stairwell have controlled electronic access.
- R - 2. Only residents with proper electronic access cards should be able to enter into the stairwells from the parking area. This makes the stairwells safer for residents.
- R - 3. The controlled electronic access should not interfere with the emergency push-bar release located on the inside of the stairwell door that allows for emergency exit of the building.

#### Landscape Recommendations

- R - 4. The proposed shrubbery should have a natural growth height of no more than 2 ½ to 3 feet with a maximum height of 36 inches when it matures and should not hinder the unobstructed view of patrolling law enforcement vehicles.

#### Open Space

- R - 5. It is recommended that the applicant choose a style bench that has an armrest in the middle of the bench to deter unwanted sleeping and skateboarding on the benches.

#### Miscellaneous

- R - 6. It is recommended that the buildings have an address number which is contrasting in color to the background, at least 3 inches high, reflective, and visible from the street placed on the front and back of each home. It is strongly suggested that no brass or gold colored numbers are used. This aids in a timely response from emergency personnel should they be needed.
- R - 7. It is recommended that all of the ground floor level windows be equipped with a device or hardware that allows windows to be secured in a partially open position. This is to negate a “breaking and entering” when the windows are open for air.

R - 8. It is recommended that a “door-viewer” (commonly known as a peep-hole) be installed on all doors on the ground level that lead directly into an apartment. This is for the security of the occupant.

**Archaeology**

F - 25. If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

C - 43 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Asterisks denote the following:

- \* Condition must be fulfilled prior to release of the final site plan
- \*\* Condition must be fulfilled prior to release of the building permit
- \*\*\* Condition must be fulfilled prior to release of the certificate of occupancy
- \*\*\*\* Condition must be fulfilled prior to release of the bond

## **IX. ATTACHMENTS**

### **ATTACHMENT #2: RESOLUTION NO. MPA 2014-0010**

WHEREAS, under the Provisions of Section 9.05 of the City Charter, the Planning Commission may adopt amendments to the Master Plan of the City of Alexandria and submit to the City Council such revisions in said plans as changing conditions may make necessary; and

WHEREAS, an application for amendment to the Old Town North Small Area Plan section of the 1992 Master Plan was filed with the Department of Planning and Zoning on November 17, 2014 for changes in the land use designations to the parcel located at 513 North Washington Street; and

WHEREAS, the Department of Planning and Zoning has analyzed the proposed revision and presented its recommendations to the Planning Commission; and,

WHEREAS, a duly advertised public hearing on the proposed amendment was held on February 3, 2015 with all public testimony and written comment considered; and,

WHEREAS, the Planning Commission finds that:

1. The proposed amendment is in keeping with the character of the Old Town North Small Area Plan;
2. The proposed amendment will meet the goals for the area and the Alexandria Open Space Plan; and;
3. The proposed amendment is generally consistent with Planning Commission's long-range recommendations for the general development of the Old Town North Small Area Plan.

Based on the foregoing findings and all other facts and circumstances of which the Planning Commission may properly take notice in making and adopting a master plan for the City of Alexandria, adoption of the amendment to the Old Town North Small Area Plan section of the 1992 Master Plan will, in accordance with present and probable future needs and resources, best promote the health, safety, morals, order, convenience, prosperity and general welfare of the residents of the City.

RESOLUTION NO. MPA 2014-0010

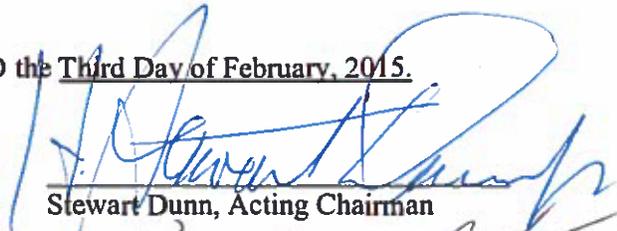
Page 2

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Alexandria that:

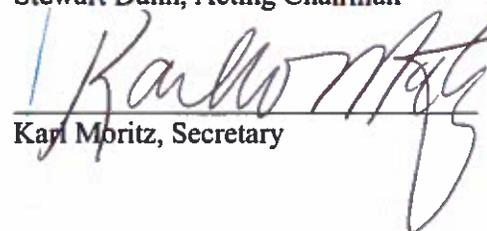
1. The following amendment is hereby adopted in its entirety as an amendment to the Old Town North Small Area Plan section of the 1992 Master Plan of the City of Alexandria, Virginia in accordance with Section 9.05 of the Charter of the City of Alexandria, Virginia:
  - a. Amend Map 11 / Proposed Land Use to note that the applicable parcels are zoned to OC/Office Commercial

This resolution shall be signed by the Chairman of the Planning Commission and attested by its secretary, and a true copy of this resolution forwarded and certified to the City Council.

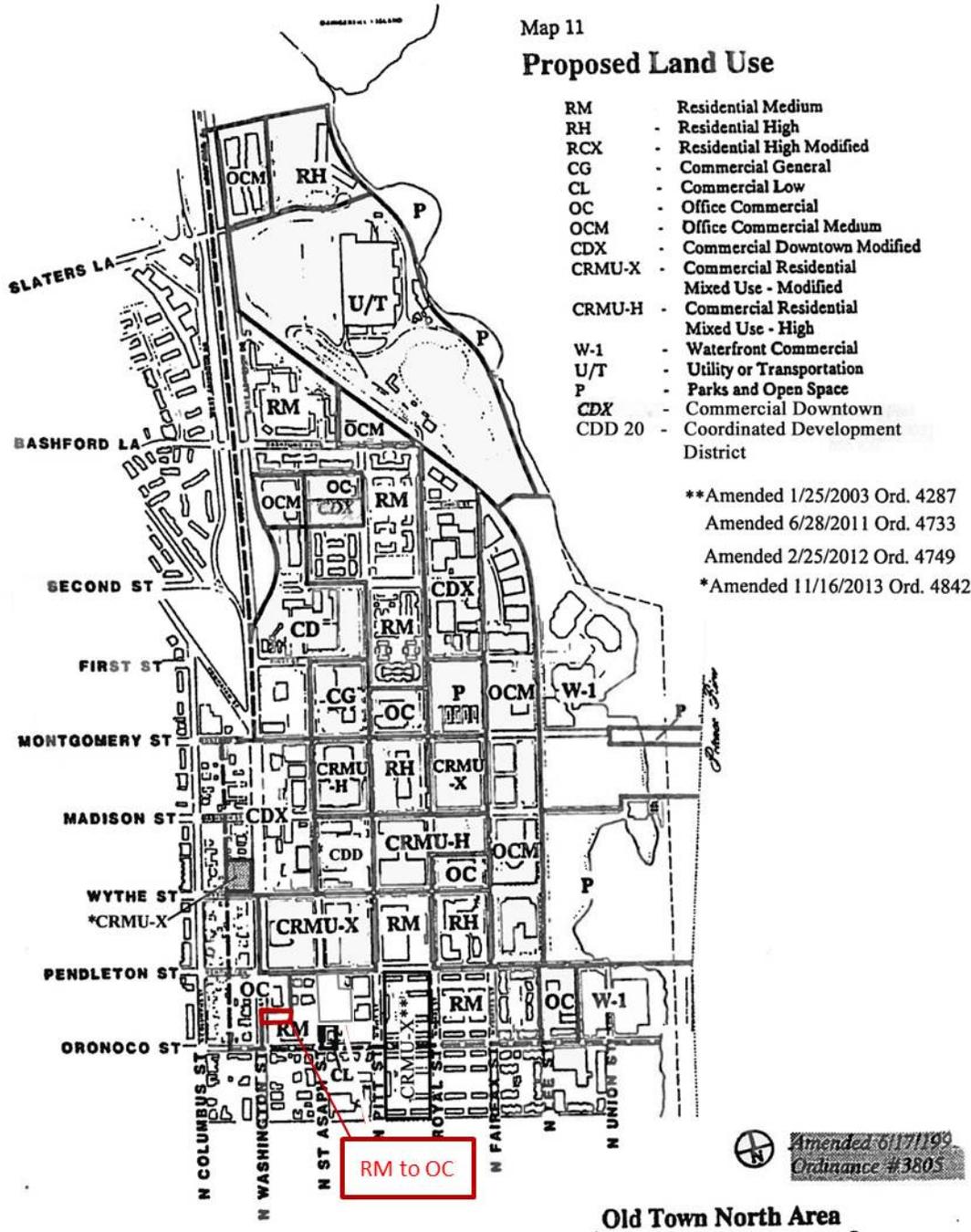
ADOPTED the Third Day of February, 2015.

  
Stewart Dunn, Acting Chairman

ATTEST:

  
Karl Moritz, Secretary

Attachment #2B: Master Plan Amendment Updated Maps – Map 11



**PROFFER STATEMENT  
PROPOSED DEVELOPMENT CONDITION  
RZ 2014-0010**

Pursuant to the provision of §11-804 of the Alexandria Zoning Ordinance, 1992, as amended (the “**Ordinance**”), J. River 513-515 N. Washington Street, LLC, a Virginia limited liability company (“**J. River**”), the owner of the property known as 513-515 N. Washington Street, Alexandria, Virginia, also known as City of Alexandria Tax Parcel Map 064.02 Block 04 Lot 06 and 01 (the “**Property**”) and the applicant requesting a map amendment rezoning of the Property to remove existing proffered conditions contained in Ordinance 2624 and to proffer amended conditions does hereby proffer in writing the provision of reasonable conditions to be applied to and be part of the rezoning.

J. River voluntarily and in writing prior to the scheduled public hearing proffers:

1. The proffered conditions in Section One of Ordinance No. 2624 are amended as follows:

- (1) Any above-ground parking structure shall be located behind the rear line of the main building, all motor vehicle access to such parking shall be limited to Pendleton Street.
- (2) The buildings shall be limited to residential and office uses.
- (3) The maximum floor area ratio shall be 1.5.
- (4) No building shall be allowed or located south of a line extending from Washington Street along the south side of the main building as it presently exists to the east property line; provided, however, that the portion of the property located south of this line may be used for surface parking. If the Bryant property located at 501 North Washington Street is rezoned to a use other than residential, then restriction shall be null and void as of the effective date of the rezoning.
- (5) The residential condominium conversion relocation assistance program for this property, approved by City Council on February 24, 1981, shall remain in effect for any reuse or conversion of the building.

2. These proffers are submitted in accord with §11-804 of the Ordinance and shall be governed and construed in accordance with §11-804 of the Ordinance.

3. Kevin R. Riegler, its Member Manager, represents that he is authorized to execute and deliver this Proffer and this Proffer is voluntarily entered into by J. River.

These proffers are the only proffers on this Zoning Map Amendment. In the event the rezoning is not approved and associated approvals MPA 2014-0010, DSUP 2013-0023, TMP SUP 2014-0105 and Encroachment 2014-0007, these proffers shall be of no binding effect.

J. River 513-515 N. Washington Street, LLC  
a Virginia limited liability company

By:   
Kevin R. Riegler, its Member Manager  
January 27, 2015

**Attachment 4: BAR Case# 2014-0038, January 7, 2015**

**IV. COMPLIANCE WITH THE WASHINGTON STREET STANDARDS**

*Standards to Consider for a Certificate of Appropriateness on Washington Street*

As discussed in the previous two work sessions, the BAR must also find that the Washington Street Standards are met, in addition to the general BAR standards outlined in the Zoning Ordinance and the BAR's *Design Guidelines*. A project located on Washington Street is subject to a higher level of design scrutiny to ensure that the memorial character of the George Washington Memorial Parkway is protected and maintained based on the City's 1929 agreement with the federal government. Although the project is bound in the Zoning Ordinance to the Washington Street Standards, there is a degree of flexibility and interpretation, as noted by former BAR member Mr. Smeallie at the first concept review when he stated that some of the Washington Street Standards are not mandates because they do not have objective measurability.

Staff has included the additional standards for Washington Street in italics below. Staff's comments as to how the Standards are now satisfied, are noted below each standard.

*Washington Street Standards*

*Alexandria Zoning Ordinance Sec. 10-105(A)(3): Additional standards—Washington Street.*

*(a) In addition to the standards set forth in section 10-105(A)(2), the following standards shall apply to the construction of new buildings and structures and to the construction of additions to buildings or structures on lots fronting on both sides of Washington Street from the southern city limit line north to the northern city limit line:*

*(1) Construction shall be compatible with and similar to the traditional building character, particularly including mass, scale, design and style, found on Washington Street on commercial or residential buildings of historic architectural merit.*

*i. Elements of design consistent with historic buildings which are found on the street shall be emphasized.*

Staff's comments from the two previous memos remain the same with respect to this Standard. The design intent for the proposed annex is a modern interpretation of a historic warehouse or simple industrial building. As the annex is adjacent to a large-scale factory building from the mid-19<sup>th</sup> century, and there were similar structures on this same site at one time, it is an appropriate design approach. The previous additions occurred over a period of years, which provides flexibility to interpret a range of historic industrial styles. Staff supports the design concept which features a later industrial annex subservient to the historic four-and-one-half story factory. Furthermore, the proposed design uses a flat roof and a triple window configuration that echoes the historic double-hung window size on the existing building and is found on numerous early 20<sup>th</sup> century Colonial Revival commercial and multifamily buildings on the Parkway.

- ii. *New buildings and additions to existing buildings shall not, by their style, size, location or other characteristics, detract from, overwhelm, or otherwise intrude upon historic buildings which are found on the street.*

The proposed annex is smaller, set back farther from Washington Street and is clearly deferential to the historic cotton factory building. As the previously proposed metal connector beams were eliminated, the historic building now remains entirely freestanding.

- iii. *The design of new buildings and additions to existing buildings shall be complementary to historic buildings which are found on the street.*

Staff was previously concerned that the previous design competed with, rather than complemented, the historic building. The subsequent revisions, including the current roof monitor redesigns, address prior concerns and now result in an annex that will complement the historic building.

- iv. *The massing of new buildings or additions to existing buildings adjacent to historic buildings which are found on the street shall closely reflect and be proportional to the massing of the adjacent historic buildings.*

As noted by the BAR members at the first two concept reviews, the massing is generally appropriate. The location of the annex will allow the historic factory building to retain visual prominence from Washington Street as a freestanding 19<sup>th</sup> century building.

- v. *New buildings and additions to existing buildings which are larger than historic buildings which are found on the street shall be designed to look separate and shall not give the impression of collectively being more massive than such historic buildings. This design shall be accomplished through differing historic architectural designs, facades, setbacks, roof lines and styles. Buildings should appear from the public right-of-way to have a footprint no larger than 100 feet by 80 feet. For larger projects, it is desirable that the historic pattern of mid-block alleys be preserved or replicated.*

The proposed annex will have a footprint of approximately 65 feet by 46 feet, in contrast to the historic building with a footprint of 110 feet by 50 feet. The annex is clearly separated from the historic building. The annex will have a flat roof and different fenestration, reflecting a slightly later architectural period, but will retain a historic industrial character.

- vi. *Applications for projects over 3,000 square feet, or for projects located within 66 feet of land used or zoned for residential uses, shall include a building massing study. Such study shall include all existing and proposed buildings and building additions in the six block area as follows: the block face containing the project,*

*the block face opposite, the two adjacent block faces to the north and the two adjacent block faces to the south.*

Staff's comments from the two previous memos remain the same with respect to this Standard. The applicant has included digital massing models of the surrounding blocks. This particular block features a mix of late 18<sup>th</sup> century dwellings on Oronoco Street, 2 ½ story 1970s Colonial Revival mews-style townhouses to the east, and the very large contemporary commercial use of the Saul Center to the north. Therefore, there is a wide range of building masses in the area. The annex has been carefully sited to align with and preserve the light and views from the mews in Shad Row. The annex is also located on the northern part of the site to maintain the open and heavily landscaped character of the historic townhouses fronting on Oronoco Street with large rear yards. Because of the setback from Washington Street, staff does not believe the annex will have a significant visual effect on the two and three story buildings on the west side of Washington Street.

- vii. *The massing and proportions of new buildings or additions to existing buildings designed in an historic style found elsewhere in along Washington Street shall be consistent with the massing and proportions of that style.*

Staff's comments from the two previous memos remain the same with respect to this Standard. The proposed scheme generally maintains appropriate massing and proportions for historic industrial buildings.

- viii. *New or untried approaches to design which result in new buildings or additions to existing buildings that have no historical basis in Alexandria or that are not consistent with an historic style in scale, massing and detailing, are not appropriate.*

Staff's comments from the two previous memos remain the same with respect to this Standard. The proposed design references the historic architecture found in the Old and Historic Alexandria District and specifically on Washington Street, though many of the historic industrial buildings it references in this area have been demolished. The flat roof and triple ganged windows are found in numerous historic buildings on the Parkway. Staff finds the proposed design to be grounded in the design vocabulary of historic commercial, industrial, and multifamily residential buildings in Alexandria.

- (2) *Facades of a building generally shall express the 20- to 40-foot bay width typically found on early 19th century commercial buildings characteristic of the Old and Historic Alexandria District, or the 15- to 20-foot bay width typically found on townhouses characteristic of the Old and Historic Alexandria District. Techniques to express such typical bay width shall include changes in material, articulation of the wall surfaces,*

*changes in fenestration patterns, varying roof heights, and physical breaks, vertical as well as horizontal, within the massing.*

Staff's comments from the two previous memos remain the same with respect to this Standard. The annex features historically appropriate bay widths for commercial buildings with respect to the proposed fenestration, pilasters and roof monitor.

- (3) *Building materials characteristic of buildings having historic architectural merit within the district shall be utilized. The texture, tone and color of such materials shall display a level of variety, quality and richness at least equal to that found abundantly in the historic setting.*

The applicant's images indicate that the proposed annex will feature high-quality, historically-appropriate materials, including a fieldstone foundation, red brick walls, metal windows and a wood garage door.

- (4) *Construction shall reflect the traditional fenestration patterns found within the Old and Historic Alexandria District. Traditional solid-void relationships exhibited within the district's streetscapes (i.e., ratio of window and door openings to solid wall) shall be used in building facades, including first floor facades.*

The applicant has selected a fenestration which features traditional solid-void relationships within a load-bearing masonry construction form. The first floor Pendleton Street elevation is much improved with the addition of windows and a pedestrian entrance. The top-level roof monitor reads as a true monitor element—common on industrial and multifamily buildings—with substantial glazing and multi-light windows. Staff notes that this element will not be prominent and is pleased with the proposed refinements, particularly as shown on Option 1, noting that the increased glazing results in a visually lighter element.

- (5) *Construction shall display a level of ornamentation, detail and use of quality materials consistent with buildings having historic architectural merit found within the district. In replicative building construction (i.e., masonry bearing wall by a veneer system), the proper thicknesses of materials shall be expressed particularly through the use of sufficient reveals around wall openings.*

The Board's final approval of a Certificate of Appropriateness will require that high-quality materials and appropriate detailing be used consistently throughout the project. The concept plans indicate that this will be fully met.

- (b) *No fewer than 45 days prior to filing an application for a certificate of appropriateness, an applicant who proposes construction which is subject to this section 10-105(A)(3), shall meet with the director to discuss the application of these standards to the proposed development; provided, that this requirement for a preapplication conference shall apply only to the*

*construction of 10,000 or more square feet of gross building area, including but not limited to the area in any above-ground parking structure.*

- (c) No application for a certificate of appropriateness which is subject to this section 10-105(A)(3) shall be approved by the Old and Historic Alexandria District board of architectural review, unless it makes a written finding that the proposed construction complies with the standards in section 10-105(A)(3)(a).*
- (d) The director may appeal to city council a decision of the Old and Historic Alexandria District board of architectural review granting or denying an application for a certificate of appropriateness subject to this section 10-105(A)(3), which right of appeal shall be in addition to any other appeal provided by law.*
- (e) The standards set out in section 10-105(A)(3)(a) shall also apply in any proceedings before any other governmental or advisory board, commission or agency of the city relating to the use, development or redevelopment of land, buildings or structures within the area subject to this section 10-105(A)(3).*
- (f) To the extent that any other provisions of this ordinance are inconsistent with the provisions of this section 10-105(A)(3), the provisions of this section shall be controlling.*
- (g) The director shall adopt regulations and guidelines pertaining to the submission, review and approval or disapproval of applications subject to this section 10-105(A)(3).*
- (h) Any building or addition to an existing building which fails to comply with the provisions of this paragraph shall be presumed to be incompatible with the historic district and Washington Street standards, and the applicant shall have the burden of overcoming such presumption by clear and convincing evidence.*
- (i) The applicant for a special use permit for an increase in density above that permitted by right shall have the burden of proving that the proposed building or addition to an existing building provides clearly demonstrable benefits to the historic character of Washington Street, and, by virtue of the project's uses, architecture and site layout and design, materially advances the pedestrian-friendly environment along Washington Street.*

#### Next Steps

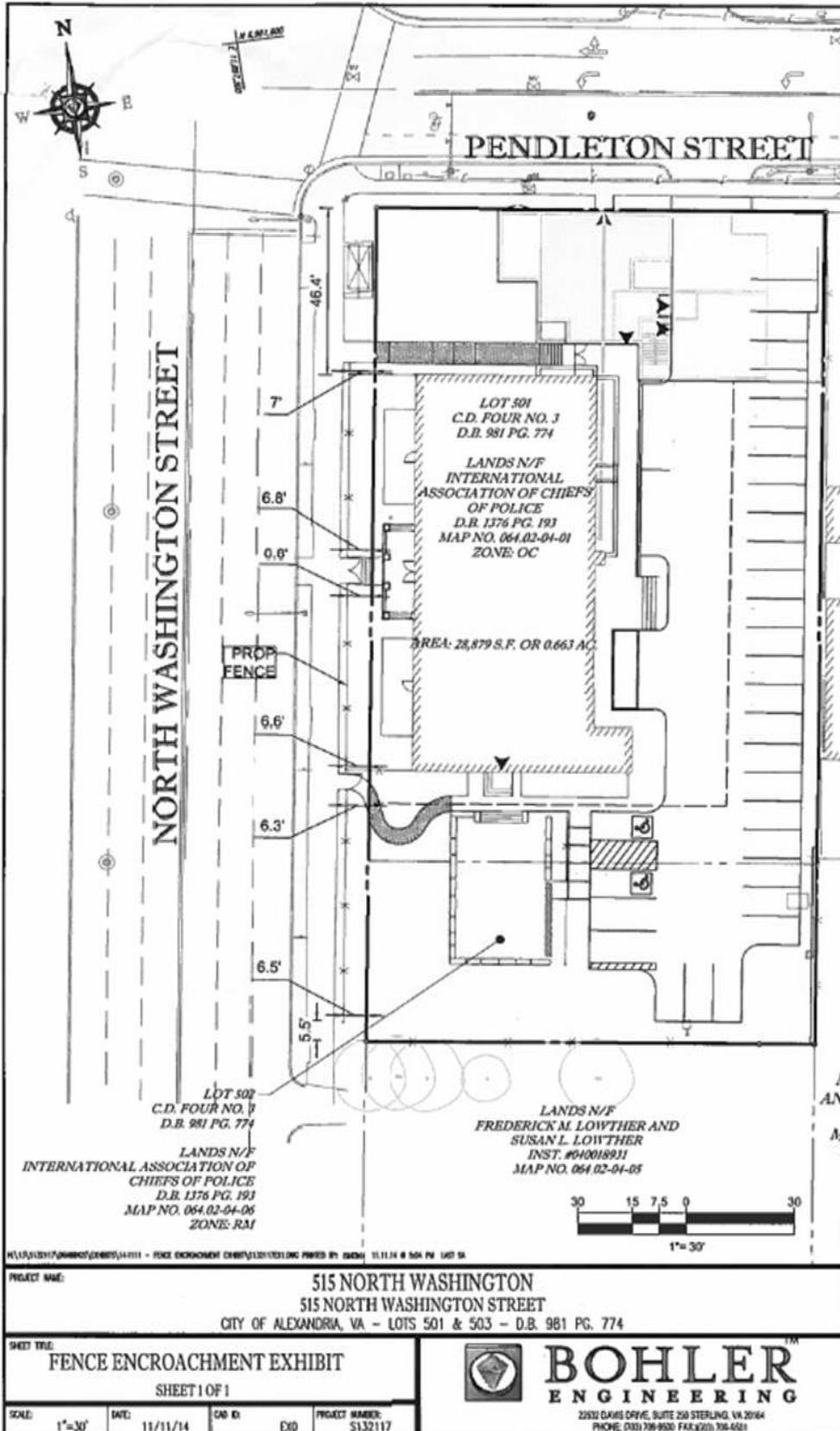
At this time, it is anticipated that the proposal will be reviewed by Planning Commission and City Council in February 2015. Following City Council approval, the applicant would then return to the BAR with a formal application for a Certificate of Appropriateness. At that point, the BAR will review materials, color, design details, site elements and the like.

#### **IV. STAFF RECOMMENDATION**

Staff recommends that the BAR find Option 1, with an amended east elevation, appropriate with respect to the height, scale, mass and general architectural character of the Old and Historic Alexandria District and in compliance with the Washington Street Standards.

MPA #2014-0010, REZ #2014-0010, DSUP #2013-0023  
TMP SUP #2014-0105, ENC2014-0007  
513 & 515 North Washington Street

**Attachment 5:** *Encroachment Exhibit*



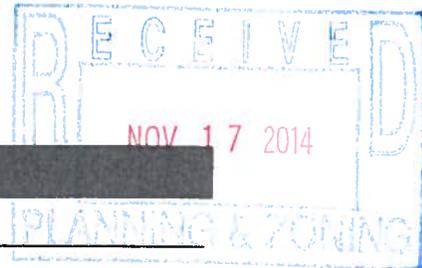


**APPLICATION**

**DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN**

**DSUP #** 2013-0023

**Project Name:** The Mill at 515



**PROPERTY LOCATION:** 513-515 N. Washington Street Alexandria, VA 22314

**TAX MAP REFERENCE:** 064.02-04-06 & 064.02-04-01

**ZONE:** RM & OC

**APPLICANT:**

Name: J. River 513-515 N. Washington Street LLC

Address: 1010 Wisconsin Ave, NW, Suite 600 Washington, DC 20007

**PROPERTY OWNER:**

Name: J. River 513-515 N. Washington Street LLC

Address: 1010 Wisconsin Ave, NW, Suite 600, Washington, DC 20007

**SUMMARY OF PROPOSAL** Development Special Use Permit with Site Plan to construct an nine (9) unit multifamily building as an annex to the historic Cotton Factory building at 513-515 N. Washington Street and associated site improvements.

**MODIFICATIONS REQUESTED** Reduction of the required open space requirement of the OC zone regulations.

**SUP's REQUESTED** A Parking Reduction Special Use Permit pursuant to Section 8-200 of the Alexandria Zoning Ordinance.

**THE UNDERSIGNED** hereby applies for Development Site Plan with Special Use Permit approval in accordance with the provisions of Section 11-400 of the Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED** also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Duncan Blair

Print Name of Applicant or Agent

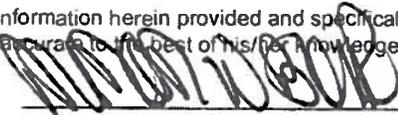
524 King Street

Mailing/Street Address

Alexandria, VA 22314

City and State

Zip Code

  
Signature

703-836-1000

Telephone #

703-549-3335

Fax #

dblair@landcarroll.com

Email address

11/13/2014

Date

**DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY**

Application Received: \_\_\_\_\_

Received Plans for Completeness: \_\_\_\_\_

Fee Paid and Date: \_\_\_\_\_

Received Plans for Preliminary: \_\_\_\_\_

ACTION - PLANNING COMMISSION: \_\_\_\_\_

ACTION - CITY COUNCIL: \_\_\_\_\_

**ALL APPLICANTS MUST COMPLETE THIS FORM.**

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

**1. The applicant is: (check one)**

- the Owner
- Contract Purchaser
- Lessee or
- Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than ten percent.

CASR 513/515 N. Washington Holdings, LLC

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If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes.** Provide proof of current City business license.
- No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. CASR 513/515 N. Washington Holdings, LLC	1010 Wisconsin Ave, NW, Suite 600 Washington, DC 20007	80%
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 515-513 N. Washington Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. J. River 513-515 N. Washington Street LLC	1010 Wisconsin Ave, NW, Suite 600 Washington, DC 20007	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. CASR 513/515 N. Washington Holdings, LLC	None	CC and PH
2.		
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

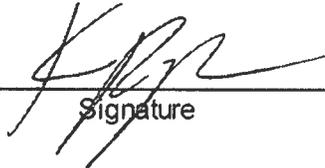
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11/14/2014

Date

Kevin Riegler

Printed Name

  
 Signature



**3. How many patrons, clients, pupils and other such users do you expect?**

Specify time period (i.e., day, hour, or shift).

Not Applicable.

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**4. How many employees, staff and other personnel do you expect?**

Specify time period (i.e. day, hour, or shift).

Not Applicable.

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**5. Describe the proposed hours and days of operation of the proposed use:**

Day	Hours	Day	Hours
Not Applicable.			

**6. Describe any potential noise emanating from the proposed use:**

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Not Applicable.

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B. How will the noise from patrons be controlled?

Not Applicable.

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**7. Describe any potential odors emanating from the proposed use and plans to control them:**

Not Applicable.

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**8. Provide information regarding trash and litter generated by the use:**

- A. What type of trash and garbage will be generated by the use?  
The type of trash and garbage will be that generally associated with residential use.
- B. How much trash and garbage will be generated by the use?  
The volume of trash and garbage will be that generally associated with residential use.
- C. How often will trash be collected?  
Trash, garbage and recyclable materials will be collected by commercial trash collectors contracted by the building management.
- D. How will you prevent littering on the property, streets and nearby properties?  
Not applicable.

**9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?**

Yes.       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

Small quantities of cleaning solvents generally recognized to be appropriate for residential use will be stored, used as solvents and disposed of in accordance with applicable regulations.

**10. Will any organic compounds (for example: paint, ink, lacquer thinner, or cleaning or degreasing solvent) be handled, stored, or generated on the property?**

Yes.       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

Small quantities of cleaning solvents generally recognized to be appropriate for residential use will be stored, used as solvents and disposed of in accordance with applicable regulations.

**11. What methods are proposed to ensure the safety of residents, employees and patrons?**

Not Applicable.

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**ALCOHOL SALES**

**12. Will the proposed use include the sale of beer, wine or mixed drinks?**

Yes.       No.

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

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**PARKING AND ACCESS REQUIREMENTS**

**13. Provide information regarding the availability of off-street parking:**

A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance?

See zoning tabulations on Development Site Plan.

B. How many parking spaces of each type are provided for the proposed use:

- Standard spaces
- Compact spaces
- Handicapped accessible spaces
- Other

- C. Where is required parking located? (check one)  on-site  off-site

If the required parking will be located off-site, where will it be located?

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Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the **Parking Reduction Supplemental Application**.

**14. Provide information regarding loading and unloading facilities for the use:**

- A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance? Not Applicable.

- B. How many loading spaces are available for the use? Not Applicable.

- C. Where are off-street loading facilities located?

Not Applicable.

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- D. During what hours of the day do you expect loading/unloading operations to occur? Not Applicable.
- 

- E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate? Not Applicable.
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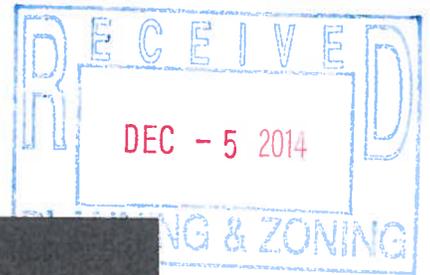
**15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?**

Street access to the property is adequate.

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**APPLICATION**  
**SPECIAL USE PERMIT**



**SPECIAL USE PERMIT #**2014-00105

**PROPERTY LOCATION:** 513-515 N. Washington Street Alexandria VA 22314

**TAX MAP REFERENCE:** 064.02-04-06 & 064.02-04-01 **ZONE:** RM & OC

**APPLICANT:**

Name: J. River 513-515 N. Washington Street LLC

Address: 513-515 N. Washington Street

**PROPOSED USE:** Tier One Transportation Management Plan Special Use Permit (DSUP 2013-0023)

**THE UNDERSIGNED**, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

**THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED**, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Duncan W. Blair, Esq.

12/1/2014

Print Name of Applicant or Agent

Signature

Date

524 King Street

703-836-1000

703-549-3335

Mailing/Street Address

Telephone #

Fax #

Alexandria, VA 22314

dblair@landcarroll.com

City and State

Zip Code

Email address

**ACTION-PLANNING COMMISSION:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**ACTION-CITY COUNCIL:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

SUP # \_\_\_\_\_

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner of 513-515 N. Washington Street, I hereby  
(Property Address)  
grant the applicant authorization to apply for the SUP Transportation Management Plan use as  
(use)  
described in this application.

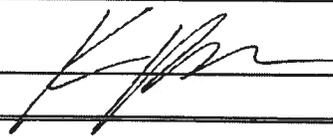
Name: Kevin Riegler

Phone: 202-506-5595

Please Print

Address: 1010 Wisconsin Ave, NW, Suite 600, Washington, DC 20007

Email: Kevin@casriegler.com

Signature: 

Date: 11/14/2014

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

Required floor plan and plot/site plan attached.

Requesting a waiver. See attached written request.

2. The applicant is the (check one):

Owner

Contract Purchaser

Lessee or

Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent.

CASR 513/515 N. Washington Holdings, LLC

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SUP # \_\_\_\_\_

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner of 513-515 N. Washington Street, I hereby  
(Property Address)  
grant the applicant authorization to apply for the SUP Transportation Management Plan use as  
(use)  
described in this application.

Name: Kevin Riegler

Phone: 202-506-5595

Please Print  
Address: 1010 Wisconsin Ave, NW, Suite 600, Washington, DC 20007

Email: Kevin@casriegler.com

Signature: \_\_\_\_\_

Date: 11/14/2014

**1.** Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

**Required floor plan and plot/site plan attached.**

**Requesting a waiver. See attached written request.**

**2.** The applicant is the (check one):

Owner

Contract Purchaser

Lessee or

Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent.

CASR 513/515 N. Washington Holdings, LLC

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. CASR 513/515 N. Washington Holdings, LLC	1501 11th Street, NW Washington, DC 20001	80%
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 513-515 N. Washington Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. J. River 513-515 N. Washington Street LLC	1501 11th Street, NW Washington, DC 20001	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. CASR 513/515 N. Washington Holdings, LLC	None	CC and PH
2.		
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

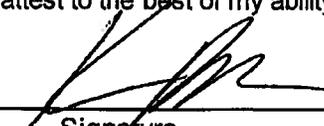
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/2/2014

Date

Kevin Riegler

Printed Name

  
 Signature



**USE CHARACTERISTICS**

4. The proposed special use permit request is for (*check one*):
- a new use requiring a special use permit,
  - an expansion or change to an existing use without a special use permit,
  - an expansion or change to an existing use with a special use permit,
  - other. Please describe: Tier One Transportation Management Plan Special Use Permit.

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).  
Not Applicable

B. How many employees, staff and other personnel do you expect?  
Specify time period (i.e., day, hour, or shift).  
Not Applicable

6. Please describe the proposed hours and days of operation of the proposed use:

Day:  
Not Applicable

Hours:  
\_\_\_\_\_

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.  
Not Applicable

B. How will the noise be controlled?  
Not Applicable

SUP # \_\_\_\_\_

**8.** Describe any potential odors emanating from the proposed use and plans to control them:

Not Applicable

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**9.** Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

Not Applicable

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B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

Not Applicable

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C. How often will trash be collected?

Not Applicable

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D. How will you prevent littering on the property, streets and nearby properties?

Not Applicable

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**10.** Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes.

No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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SUP # \_\_\_\_\_

**11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes.       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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**12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?  
Not Applicable

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**ALCOHOL SALES**

**13.** A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes       No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

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SUP # \_\_\_\_\_

**PARKING AND ACCESS REQUIREMENTS**

14. A. How many parking spaces of each type are provided for the proposed use:  
**See Zoning tabulations on Development Site Plan.**

- \_\_\_\_\_ Standard spaces
- \_\_\_\_\_ Compact spaces
- \_\_\_\_\_ Handicapped accessible spaces.
- \_\_\_\_\_ Other.

Planning and Zoning Staff Only

Required number of spaces for use per Zoning Ordinance Section 8-200A \_\_\_\_\_

Does the application meet the requirement?  
 Yes  No

B. Where is required parking located? *(check one)*  
 on-site  
 off-site

If the required parking will be located off-site, where will it be located?

**PLEASE NOTE:** Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

**Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use? Not Applicable

Planning and Zoning Staff Only

Required number of loading spaces for use per Zoning Ordinance Section 8-200 \_\_\_\_\_

Does the application meet the requirement?  
 Yes  No

SUP # \_\_\_\_\_

B. Where are off-street loading facilities located? Not Applicable

\_\_\_\_\_

C. During what hours of the day do you expect loading/unloading operations to occur?  
Not Applicable

\_\_\_\_\_

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?  
Not Applicable

\_\_\_\_\_

\_\_\_\_\_

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Not Applicable

\_\_\_\_\_

**SITE CHARACTERISTICS Not Applicable**

17. Will the proposed uses be located in an existing building?  Yes  No

Do you propose to construct an addition to the building?  Yes  No

How large will the addition be? \_\_\_\_\_ square feet.

18. What will the total area occupied by the proposed use be? **Not Applicable**

\_\_\_\_\_ sq. ft. (existing) + \_\_\_\_\_ sq. ft. (addition if any) = \_\_\_\_\_ sq. ft. (total)

19. The proposed use is located in: (check one) **Not Applicable**

a stand alone building

a house located in a residential zone

a warehouse

a shopping center. Please provide name of the center: \_\_\_\_\_

an office building. Please provide name of the building: \_\_\_\_\_

other. Please describe: \_\_\_\_\_

**End of Application**



**APPLICATION**

**Master Plan Amendment MPA#** 2014-00010

**Zoning Map Amendment REZ#** 2014-00010

**PROPERTY LOCATION:** 513-515 N. Washington Street Alexandria, VA 22314

**APPLICANT**

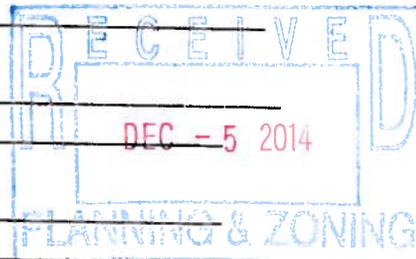
Name: J. River 513-515 N. Washington Street LLC

Address: 524 King Street Alexandria, VA 22314

**PROPERTY OWNER:**

Name: J. River 513-515 N. Washington Street LLC

Address: 1010 Wisconsin Ave, NW, Washington DC 20007



**Interest in property:**

- Owner       Contract Purchaser
- Developer     Lessee                       Other \_\_\_\_\_

If property owner or applicant is being represented by an authorized agent such as an attorney, a realtor, or other person for which there is some form of compensation, does this agent or the business in which they are employed have a business license to operate in Alexandria, VA:

yes: If yes, provide proof of current City business license.

no: If no, said agent shall obtain a business license prior to filing application.

**THE UNDERSIGNED** certifies that the information supplied for this application is complete and accurate, and, pursuant to Section 11-301B of the Zoning Ordinance, hereby grants permission to the City of Alexandria, Virginia, to post placard notice on the property which is the subject of this application.

Duncan W. Blair, Esq.

Print Name of Applicant or Agent

Signature

524 King Street

Mailing/Street Address

703-836-1000

Telephone #

703-549-3335

Fax #

Alexandria, VA

City and State

22314

Zip Code

12/1/2014

Date

**DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY**

Application Received: \_\_\_\_\_

Fee Paid: \$ \_\_\_\_\_

Legal advertisement: \_\_\_\_\_

ACTION - PLANNING COMMISSION \_\_\_\_\_

ACTION - CITY COUNCIL: \_\_\_\_\_

<b>MPA #</b> _____
<b>REZ #</b> _____

**SUBJECT PROPERTY**    See attached.

Provide the following information for each property for which an amendment is being requested. (Attach separate sheets if needed.)

Address Tax Map - Block - Lot	Land Use	Master Plan	Zoning	Frontage (ft.)
	Existing - Proposed	Designation	Designation	Land Area (acres)
Existing - Proposed	Existing - Proposed	Existing - Proposed	Existing - Proposed	
1 _____ _____	_____	_____	_____	_____
2 _____ _____	_____	_____	_____	_____
3 _____ _____	_____	_____	_____	_____
4 _____ _____	_____	_____	_____	_____

**PROPERTY OWNERSHIP**

Individual Owner                       Corporation or Partnership Owner

Identify each person or individual with ownership interest. If corporation or partnership owner, identify each person with more than 10% interest in such corporation or partnership.

- Name: CASR 513/515 N. Washington Holdings, LLC                      Extent of Interest: 80%  
 Address: 1501 11th St NW Washington, DC 20001
- Name: \_\_\_\_\_                      Extent of Interest: \_\_\_\_\_  
 Address: \_\_\_\_\_
- Name: \_\_\_\_\_                      Extent of Interest: \_\_\_\_\_  
 Address: \_\_\_\_\_
- Name: \_\_\_\_\_                      Extent of Interest: \_\_\_\_\_  
 Address: \_\_\_\_\_

**513-515 North Washington Street.**

**Master Plan Rezoning Application**

**Subject Property**

<b>Address</b>	<b>Land Use</b>	<b>MP Designation</b>	<b>Zone Designation</b>	<b>Frontage</b>
<b>Tax Map-Blk-Lot</b>	<b>Existing / Proposed</b>	<b>Existing / Proposed</b>	<b>Existing / Proposed</b>	<b>(Sq. feet) (acres)</b>
513 N. Washington St.	Vacant Vacant	OC OC	RM* OC**	
Tax Map 64.02 04 01				
515 N. Washington Street	Office Residential	OC OC	RM* OC**	
Tax Map 64.02 04 01				

\* WITH PROFFER

\*\* WITH AMENDED PROFFER

<b>MPA #</b> _____
<b>REZ #</b> _____

**JUSTIFICATION FOR AMENDMENT See attached.**

(attach separate sheets if needed)

- 1. Explain how and why any proposed amendment(s) to the Master Plan are desirable, beneficial to surrounding properties, in character with the applicable Small Area Plan and consistent with City policies:

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- 2. Explain how and why the proposed amendment to the Zoning Map(s) is consistent with the proposed amendment to the Master Plan, or, if no amendment to the Master Plan is being requested, how the proposed zoning map amendment is consistent with the existing Master Plan:

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- 3. Explain how the property proposed for reclassification will be served adequately by essential public facilities and services such as highways, streets, parking spaces, police and fire, drainage structures, refuse disposal, water and sewers, and schools.

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- 4. If this application is for conditional zoning approval pursuant to Section 11-804 of the Zoning Ordinance, identify all proffered conditions that are to be considered part of this application (see Zoning Ordinance Section 11-804 for restrictions on conditional zoning):

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513-515 N. Washington Street Alexandria, VA 22314

Justification for Amendment.

1. Explain how and why any proposed amendment to the Master Plan are desirable, beneficial to the surrounding properties, in character with the applicable Small Area Plan and consistent with City policies.

Goals for the Old Town North Small Area Plan (SAP) is to protect and preserve the “viable, attractive urban neighborhood – with strong residential and commercial residential and commercial components and to increase the quality of life for the people who live, work, shop and recreate in Old Town North. The Applicant acquired the Cotton Factory building with the purpose of converting the office use of the Property returning it to residential use and constructing an annex reminiscent of the out buildings long associated with prior industrial and penal uses of the property. This new residential component will further strengthen the urban fabric of Old Town North.

The Master Plan Amendment is needed to amend existing maps to reflect that 513 N. Washington Street is being rezoned for the RM zone to the OC zone.

2. Explain how and why any proposed amendment to the Zoning Map(s) is consistent with the proposed amendment to the Master Plan, or, if no amendment to the Master Plan is being requested, how the proposed zoning map amendment is consistent with the existing Master Plan.

The Applicant is requesting that the property at 513 N. Washington Street is rezoned from the RM zone to the OC zone. The requested amendment unites 513 and 515 N. Washington Street into one zone classification and amendments to the existing proffers that govern the use and development of 513 and 515 North Washington Street (Ordinance 2624). The requested amendments will permit the conversion of the property from a commercial office use to a residential development that will strengthen the urban fabric of Old Town North and advance the goals of the SAP as articulated in the response 1. above.

3. Explain how the property proposed for reclassification will be served adequately by essential public facilities and services such as highways, streets, parking spaces, police and fire, drainage structures, refuse disposal, water and sewers, and schools.

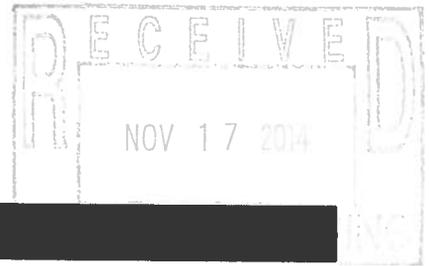
The Applicant has filed an application for a Development Special Use Permit (DSUP 2014 -0007) to construct the residential multifamily use project on the Property. The site plan filed with that application demonstrates that the property is adequately served by public facilities.

4. If this application is for conditional zoning approval pursuant to Section 11-804 of the Zoning Ordinance, identify all proffered conditions that are to be considered part of this application (see Zoning Ordinance Section 11-804 for restrictions on conditional zoning):

The Applicant is requesting amendments to the existing proffer contained in Ordinance 2624. The amendments are set forth on Exhibit A



**APPLICATION  
ENCROACHMENT**



ENC# \_\_\_\_\_

**PROPERTY LOCATION:** 513-515 N. Washington Street Alexandria VA 22314

**TAX MAP REFERENCE:** 064.02-04-06 & 064.02-04-01 **ZONE:** \_\_\_\_\_

**APPLICANT**

Name: J. River 513-515 N. Washington Street LLC

Address: 1010 Wisconsin Ave, NW, Suite 600, Washington, DC 20007

**PROPERTY OWNER**

Name: J. River 513-515 N. Washington Street LLC

Address: 1010 Wisconsin Ave, NW, Suite 600, Washington, DC 20007

**PROPOSED USE:** Proposed perimeter fence along the west property line and encroaching the public right of way. The fence is encroaching approximately 46 feet off the NW property corner to 5 feet off the southwest property corner with a maximum encroachment of 7 feet.

**INSURANCE CARRIER** (copy attached) Hanover Insurance **POLICY #** 54637

A certificate of general liability insurance in the amount of \$1,000,000 which will indemnify the owner and names the city as an additional insured must be attached to this application.

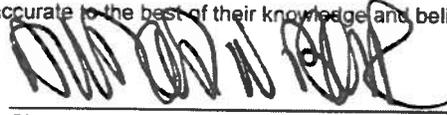
**THE UNDERSIGNED** hereby applies for an Encroachment Ordinance in accordance with the provisions of Section 8-1-16 and Sections 3-2-82 and 85 of the Code of the City of Alexandria, Virginia.

**THE UNDERSIGNED** hereby applies for an Administrative Use Permit in accordance with the provisions of Article VI, Section 6-600 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED** I so attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of their knowledge and belief.

Duncan W. Blair, Esq.  
Print Name of Applicant or Agent  
524 King Street  
Mailing/Street Address  
Alexandria, VA 22314  
City and State Zip Code

  
Signature  
703-836-1000 703-549-3335  
Telephone # Fax #  
d Blair@landcarroll.com  
Email address  
11/14/2014  
Date

Application Received: \_\_\_\_\_ Date and Fee Paid: \$ \_\_\_\_\_  
ACTION - PLANNING COMMISSION: \_\_\_\_\_ ACTION - CITY COUNCIL: \_\_\_\_\_

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. CASR 513/515 N. Washington Holdings, LLC	1010 Wisconsin Ave, NW, Suite 600 Washington, DC 20007	80%
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 515-513 N. Washington Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. J. River 513-515 N. Washington Street LLC	1010 Wisconsin Ave, NW, Suite 600 Washington, DC 20007	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. CASR 513/515 N. Washington Holdings, LLC	None	CC and PH
2.		
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11/14/2014  
Date

Kevin Riegler  
Printed Name

  
Signature

# NORTH WASHINGTON COTTON FACTORY

515 NORTH WASHINGTON ST.  
ALEXANDRIA, VA 22314

RESIDENTIAL RE-USE

11/14/2014

DSUP COMPLETENESS SUBMISSION



## ZONING TABULATIONS

1. ZONE OF THE SITE: EXISTING: OC (LOT 501) & RM (LOT 502) PROPOSED: OC
2. USE: EXISTING: OFFICE PROPOSED: RESIDENTIAL
- TOTAL LOT AREA: 28,879 SF OR 0.66 AC MINIMUM LOT AREA: 27,200 SF OR 0.62 AC  
 LOT 501: 22,647 SF OR 0.520 AC  
 LOT 502: 6,232 SF OR 0.143 AC
3. NUMBER OF DWELLING UNITS: 34
4. UNITS PER ACRE: ALLOWED: 54.45 PROPOSED: 51.52
5. FLOOR AREA:
- | BUILDING TYPE                   | NUMBER OF UNITS | GROSS FLOOR AREA | NET FLOOR AREA |
|---------------------------------|-----------------|------------------|----------------|
| EXISTING BUILDING (RESIDENTIAL) | 25              | 32,763 SF        | 23,895 SF      |
| NORTH ANNEX (RESIDENTIAL)       | 9               | 13,484 SF        | 10,575 SF      |
| TOTAL                           | 34              | 46,247 SF        | 34,470 SF      |
6. FLOOR AREA RATIO: PERMITTED: 1.25 PROPOSED: 1.19
7. OPEN SPACE: REQUIRED: 11,551 SF (40%) PROPOSED: 11,986 SF (42%)  
 GROUND LEVEL: 10,504 SF  
 ABOVE GRADE (ROOF/DECK): 1,482 SF  
 TOTAL: 11,986 SF
8. AVERAGE FINISHED GRADE: LOT 501: 46.26 LOT 502: N/A
9. HEIGHT: ALLOWED: 50' PROVIDED: 50' MAX
10. YARDS: REQUIRED FRONT: N/A PROVIDED FRONT: 0'  
 REAR: N/A SIDE: 16' OR 1:2 SETBACK RATIO REAR: N/A  
 \*WAVES REQUIRED
12. FRONTAGE: REQUIRED: 50' PROPOSED: 125'
13. TRIP GENERATION: EXISTING: 385 ADT PROPOSED: 226 ADT
14. PARKING TABULATION: PARKING REQUIRED: 50 SPACES  
 PARKING PROVIDED: 34 SPACES
15. SITE PLAN AREA: 0.663 AC (28,879 SF)  
 AREA IN TAX PARCELS 064-02-04-(01 & 06): 0.663 AC (28,879 SF)
16. EXISTING IMPERVIOUS ON 0.663 ACRES (28,879 SF): 0.53 AC (23,000 SF)  
 PROPOSED IMPERVIOUS ON 0.663 ACRES (28,879 SF): 0.50 AC (21,666 SF)
17. DISTURBED AREA: 10.75 AC (432,670 SF)

DRAWING INDEX - DSUP	
SHEET NO.	SHEET NAME
G 1.00	COVER SHEET
G 2.00	PROJECT DATA
C-1.0	GENERAL NOTES & LEGEND
C-1.1	GENERAL NOTES & LEGEND
C-1.2	CITY OF ALEXANDRIA CONSTRUCTION NOTES
C-2.0	EXISTING CONDITIONS
C-3.0	PROPOSED SITE PLAN
C-3.1	DIMENSION PLAN
C-4.0	UTILITY PLAN
C-5.0	GRADING PLAN
C-5.1	SIGHT DISTANCE PROFILE
C-6.0	FIRE SAFETY PLAN
C-7.0	PRE DEVELOPMENT DRAINAGE MAP
C-7.1	PRE DEVELOPMENT DRAINAGE MAP
C-7.2	ADEQUATE OUTFALL SECTIONS
C-7.3	APPROVED FINAL SITE PLAN (FOR REFERENCE ONLY)
C-8.0	BMP PLAN
C-8.1	STORMWATER WRRM SPREADSHEETS
C-8.2	STORMWATER WRRM SPREADSHEETS
C-9.0	SANITARY OUTFALL ANALYSIS
C-9.1	SANITARY OUTFALL ANALYSIS
C-10.0	CONTEXTUAL SITE PLAN
L1	EXISTING CONDITIONS PLAN
L2	LANDSCAPE PLAN
L3	SCHEMATIC SITE PLAN - 20 SCALE
L4	SITE SECTIONS
L5	SCHEMATIC LIGHTING PLAN
A 1.01	ARCHITECTURAL CONCEPT PLANS
A 1.02	ARCHITECTURAL CONCEPT ELEVATIONS
A 1.03	ARCHITECTURAL CONCEPT - MATERIALS
A 1.04	ARCHITECTURAL CONCEPT - MATERIALS
A 1.05	ARCHITECTURAL CONCEPT - CONTEXT AERIALS
A 2.01	AREA CALCULATIONS - PLANS

### REQUESTS:

- Master Plan Amendment to the Old Town North Small Area Plan (amending the maps that show the Land-use Designation and Zoning for Lot 502).
- Map Amendment Rezoning to change the zoning classification of the parcels from OC with proffers and RM with proffers, respectively, to OC.
- Development Special Use Permit with Site Plan ("and modifications to open space requirements") to construct a multifamily residential building.
- Parking Reduction Special Use Permit.
- Transportation Management Plan (Tier 1)
- Modification of secondary front yard requirement and side yard requirement for the annex building. (0' provided for annex building instead of 20' required)

### LOCATION MAP



### COMPLETENESS REVIEW - BRIEF NARRATIVE

11/14/2014

The property is currently improved by a five story structure built in 1847 as a commercial cotton factory. Over the years, the building has been adaptively reused as a brewery, sparkplug factory, an apartment building, and most recently commercial offices.

A substantial portion of the property outside of the building footprint is an on grade asphalt surface parking lot supporting the office use. The property consists of two legal lots of ground.

515 N. Washington Street (64.02.04.01) is the office building parcel and is zoned OC. The second lot is 513 N Washington Street (64.02.04.06) is used for parking and is zoned RM. The combined property is approximately 28,879 square feet of land.

The Proposal is to return the historic building to residential drawing upon the rich history of the site and construct an annex to the historic building also to be used for residential units. 34 residential units are proposed, 25 units in the historic Mill Building and 9 units in the Annex addition. In order to redevelop the site with this density, the property will need to be rezoned.

For this submission, the new annex building has been modified to reduce its overall footprint while enlarging the spaces in between it and the existing historic structure. Building connection points have been minimized or eliminated to protect the quality and character of the cotton factory. The annex building now tiers down to the neighboring buildings to the East as well as moving balconies further from the property line to protect both neighbors and users' privacy.

Additionally, the loft level of the annex building has been moved further back from the rest of the building facade on both the Pendleton and Washington St. sides to reduce the scale and visual impact of the element from street views of the site. An increased connection between the southern park space and adjoining properties has also been a focus. Balconies on the Eastern Roof of the existing historic structure have been moved inboard of the roofs eave line to minimize obtrusive additions to the building's facade.

### OWNER

CAS RIEGLER  
1501 11th St NW  
Washington, DC 20001  
tel: 202-506-5595  
www.casriegler.com

### ARCHITECT

Cooper Carry  
625 N. Washington St.  
Suite 200  
Alexandria, VA 22314  
tel: 703-519-6152  
www.coopercarry.com

### CIVIL

Bohler Engineering  
22636 Davis Drive  
Suite 250  
Sterling, VA 20164  
tel: 703-483-9500  
www.bohlerengineering.com

### STRUCTURAL

Structura Inc.  
111 Rockville Pike  
Suite 950  
Rockville, MD 20850  
tel: 301-987-9234  
www.structura-inc.com

### MEP

Jordan & Skala Engineers, Inc.  
14500 Avion Parkway  
Suite 110  
Chantilly, VA 20151  
tel: 703-483-3730  
www.jordanskala.com

### ATTORNEY

Land Clark Carroll Mendelson & Blair, PC  
524 King Street  
Alexandria, VA 22314  
tel: 703-836-1000  
www.landcarroll.com

ATLANTA NEW YORK WASHINGTON

© 2013 COOPER CARRY

### SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

### ISSUANCES

No.	Drawing Issue Description	Date
1	CONCEPT 3	06/20/2014
2	DSUP	10/03/2014
3	PER CITY COMMENTS	11/14/2014



### APPROVED

SPECIAL USE PERMIT NO. #2014-0006

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: DATE:

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: DATE:

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

515 NORTH WASHINGTON  
REUSE RESIDENTIAL

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

COVER SHEET

DAVID KITCHENS, AIA

Principal in Charge

Project No.

10/03/2014

Date

Project Manager

BRANDON R. LENK

Project Architect

Staff Architect

G 1.00

Drawing No.

NOT ISSUED FOR CONSTRUCTION



SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES table with columns: No., Drawing Issue Description, Date



APPROVED SPECIAL USE PERMIT NO. #2014-0006 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

515 NORTH WASHINGTON REUSE RESIDENTIAL

515 NORTH WASHINGTON ST, ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

PROJECT DATA

DAVID KITCHENS, AIA 20130161 Principal-in-Charge Project No. DAVID KITCHENS, AIA 10/03/2014 Project Manager Date BRANDON R. LENK, AIA Project Architect Author Staff Architect

G 2.00

Main project data table with sections: OCCUPANCY CLASSIFICATIONS - ANNEX, OCCUPANCY CLASSIFICATIONS - MILL, BUILDING DATA, BUILDING AREAS, BUILDING HEIGHTS, FIRE RESISTANCE RATINGS, MIXED OCCUPANCY SEPARATION

AREA - OPEN SPACE table with columns: Area, Name, Level, Comments, Number. Includes levels 1A, 2A, 3A, LOFTA & 4, 5.

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL SHEET NUMBER: G 2.00 - PROJECT DATA P:\2013\20130161\1d-7 drawings\1d-7 drawings\1d-7\_1 rev\Users\20130161\_2013\_lenk.rvt 11/11/2014 4:36:52 PM

## GENERAL NOTES:

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- SURVEY - "515 NORTH WASHINGTON STREET" BY BOHLER ENGINEERING, 10/08/2013; REV. 2-ADDITIONAL ROAD TOPOGRAPHY 09/24/2014.
- ARCHITECTURAL PLAN BY COOPER CARRY, 05/19/2014.
- LANDSCAPE ARCHITECTURE PLAN BY LILA FENDRICK LANDSCAPE ARCHITECTURE AND GARDEN DESIGN, 09/24/2014.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

- ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

- THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE ACQUISITION OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER (IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, OF ANY DISCREPANCIES OR VARIATIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

- ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR WRITING NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

- CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME, INCLUDING, BUT NOT BE LIMITED TO, REVISIONS, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION MUST RESTORE SUCH CONSTRUCTION TO A CONDITION AT LEAST EQUAL TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

- ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

- ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST OWN THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

- BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH CONTRACTOR IS REQUIRED TO SUBMIT, ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION AND SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

- NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCES, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN,

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT OR TO THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN FROM AND FROM ALL FEES, ATTORNEY'S FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

- ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

- ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

- OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

- ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

- ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

- CONTRACTOR AND OWNER MUST INSTALL, ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

- CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS THROUGHOUT THE PROJECT. THE CONTRACTOR MUST NOTIFY THE ENGINEER (IN WRITING, IF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

- IF AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

## GENERAL DEMOLITION NOTES:

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

BOHLER ENGINEERING  
515 NORTH WASHINGTON STREET  
LOTS 501 & 503  
D.B. 981 PG. 774  
CITY OF ALEXANDRIA  
JOB#R: SS132117

- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONSTRUCTION WORK OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES. CONTRACTOR MUST BE AWARE THAT THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.

- CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRAVELING, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
- LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.

- DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)

- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.

- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.

- IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

## GENERAL GRADING & UTILITY NOTES

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST BE IMMEDIATELY REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE AS ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

- THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

- THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND BE RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

- THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE UTILITY SERVICE CONTRACTOR'S RESPONSIBILITY TO COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE, WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL UTILITY CONNECTION POINTS DIFFER. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

- SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. THE ARCHITECT WILL DETERMINE UTILITY SERVICE CONTRACTOR'S RESPONSIBILITY TO COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE, WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL UTILITY CONNECTION POINTS DIFFER. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

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- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTH-WORK BALANCE.

- THE CONTRACTOR MUST COMPLY TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

- PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUILT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

- DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATION THAT DEVIATES FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. RECORDS MUST BE KEPT ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

- WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2x4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

- THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES), TO PREVENT PONDS. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.

- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

- REFER TO SITE PLAN FOR ADDITIONAL NOTES.

- IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

- CONTRACTOR MUST REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.

- WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND SHALL BE DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

- STORM DRAINAGE PIPE:

- UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE IN THE PUBLIC RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP) OF 24" CLASS B, MINIMUM WALL THICKNESS 2.0" ONSTE PRIVATE RCP PIPE MAY BE 18" WHEN 18" DIAMETER POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE 5 (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

- SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 26 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

- STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

- STORMWATER ROOF DRAIN LOCATIONS ARE BASE

**STANDARD DRAWING LEGEND**

FOR ENTIRE PLAN SET  
(NOT TO SCALE)

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE										
---	ONSITE PROPERTY LINE / R.O.W. LINE	---										
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---										
---	EASEMENT LINE	---										
---	SETBACK LINE	---										
<table border="1"> <thead> <tr> <th colspan="2">CURB AND GUTTER</th> </tr> </thead> <tbody> <tr> <td></td> <td>CONCRETE CURB &amp; GUTTER</td> </tr> <tr> <td></td> <td>SPILL CURB</td> </tr> <tr> <td></td> <td>TRANSITION CURB</td> </tr> <tr> <td></td> <td>DEPRESSED CURB AND GUTTER</td> </tr> </tbody> </table>			CURB AND GUTTER			CONCRETE CURB & GUTTER		SPILL CURB		TRANSITION CURB		DEPRESSED CURB AND GUTTER
CURB AND GUTTER												
	CONCRETE CURB & GUTTER											
	SPILL CURB											
	TRANSITION CURB											
	DEPRESSED CURB AND GUTTER											
	UTILITY POLE WITH LIGHT											
	POLE LIGHT											
	TRAFFIC LIGHT											
	UTILITY POLE											
	TYPICAL LIGHT											
	ACORN LIGHT											
	TYPICAL SIGN											
	PARKING COUNTS											
	CONTOUR LINE											
	SPOT ELEVATIONS											
	SANITARY LABEL											
	STORM LABEL											
	SANITARY SEWER LATERAL											
	UNDERGROUND WATER LINE											
	UNDERGROUND ELECTRIC LINE											
	UNDERGROUND GAS LINE											
	OVERHEAD WIRE											
	UNDERGROUND TELEPHONE LINE											
	UNDERGROUND CABLE LINE											
	STORM SEWER											
	SANITARY SEWER MAIN											
	HYDRANT											
	SANITARY MANHOLE											
	STORM MANHOLE											
	WATER METER											
	WATER VALVE											
	GAS VALVE											
	GAS METER											
	TYPICAL END SECTION											
	HEADWALL OR ENDWALL											
	YARD INLET											
	CURB INLET											
	CLEAN OUT											
	ELECTRIC MANHOLE											
	TELEPHONE MANHOLE											
	ELECTRIC BOX											
	ELECTRIC PEDESTAL											
	MONITORING WELL											
	TEST PIT											
	BENCHMARK											
	BORING											

**STANDARD ABBREVIATIONS**

FOR ENTIRE PLAN SET

AC	ACRES	POG	POINT OF GRADE
ADA	AMERICANS WITH DISABILITY ACT	PROP	PROPOSED
ARCH	ARCHITECTURAL	PT	POINT OF TANGENCY
BC	BOTTOM OF CURB	PTCR	POINT OF TANGENCY, CURB RETURN
BF	BASEMENT FLOOR	PVC	POLYVINYL CHLORIDE PIPE
BK	BLOCK	PVI	POINT OF VERTICAL INTERSECTION
BL	BASELINE	PVT	POINT OF VERTICAL TANGENCY
BLDG	BUILDING	R	RADIUS
BM	BUILDING BENCHMARK	RCP	REINFORCED CONCRETE PIPE
BRL	BUILDING RESTRICTION LINE	RET WALL	RETAINING WALL
CF	CUBIC FEET	R/W	RIGHT OF WAY
CL	CENTERLINE	S	SLOPE
CMP	CORRUGATED METAL PIPE	SAN	SANITARY SEWER
CONN	CONNECTION	SF	SQUARE FEET
CONC	CONCRETE	STA	STATION
CPP	CORRUGATED PLASTIC PIPE	STM	STORM
CY	CUBIC YARDS	SW	SIDEWALK
DEC	DECORATIVE	TBR	TO BE REMOVED
DEP	DEPRESSED	TBRL	TO BE RELOCATED
DIP	DUCTILE IRON PIPE	TC	TOP OF CURB
DOM	DOMESTIC	TELE	TELEPHONE
ELEC	ELECTRIC	TPF	TREE PROTECTION FENCE
ELEV	ELEVATION	TW	TOP OF WALL
EP	EDGE OF PAVEMENT	TYP	TYPICAL
ES	EDGE OF SHOULDER	UG	UNDERGROUND
EW	END WALL	UP	UTILITY POLE
EX	EXISTING	W	WIDE
FES	FLARED END SECTION	WL	WATER LINE
FF	FINISHED FLOOR	WM	WATER METER
FH	FIRE HYDRANT	±	PLUS OR MINUS
FG	FINISHED GRADE	°	DEGREE
G	GRADE	Ø	DIAMETER
GF	GARAGE FLOOR (AT DOOR)	#	NUMBER
GH	GRADE HIGHER SIDE OF WALL		
GL	GRADE LOWER SIDE OF WALL		
GRT	GRATE		
GV	GATE VALVE		
HDPE	HIGH DENSITY POLYETHYLENE PIPE		
HP	HIGH POINT		
HOR	HORIZONTAL		
HW	HEADWALL		
INT	INTERSECTION		
INV	INVERT		
LF	LINEAR FOOT		
LOC	LIMITS OF CLEARING		
LOD	LIMITS OF DISTURBANCE		
LOS	LINE OF SIGHT		
LP	LOW POINT		
L/S	LANDSCAPE		
MAX	MAXIMUM		
MIN	MINIMUM		
MH	MANHOLE		
MJ	MECHANICAL JOINT		
OC	ON CENTER		
PA	POINT OF ANALYSIS		
PC	POINT CURVATURE		
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN		
PI	POINT OF INTERSECTION		

**PROPOSED EASEMENT LEGEND**

	SIGHT DISTANCE
	STORM DRAIN
	SANITARY SEWER
	WATER
	PUBLIC ACCESS
	COMMON SHARED
	INGRESS-EGRESS
	PUBLIC UTILITY
	VARIABLE WIDTH S

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
WARREN, NJ

REGIONAL OFFICES:  
BOWIE, MD  
TOWSON, MD  
FARMINGDALE, NY  
WARRENTON, OR  
CHALFONTE, PA  
LANCASTER, PA  
TAMPA, FL  
PHILADELPHIA, PA  
CHARLOTTE, NC

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

**NOT APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV: 1-800-235-4549) (PA: 1-800-242-1776) (DC: 1-800-257-7777) (VA: 1-800-552-7911) (MD: 1-800-257-7777) (DE: 1-800-282-8629)

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PROJECT No.:	S132117
DRAWN BY:	IS
CHECKED BY:	MT
DATE:	10/31/14
SCALE:	AS NOTED
CAD I.D.:	SD1

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE:  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
www.BohlerEngineering.com

**COMMONWEALTH OF VIRGINIA**

MICHAEL J. O'HARA JR.  
Lic. No. 34168  
11/14/14  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**GENERAL NOTES & LEGEND**

SHEET NUMBER:  
**C-1.1**  
OF 33

**APPROVED**

SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

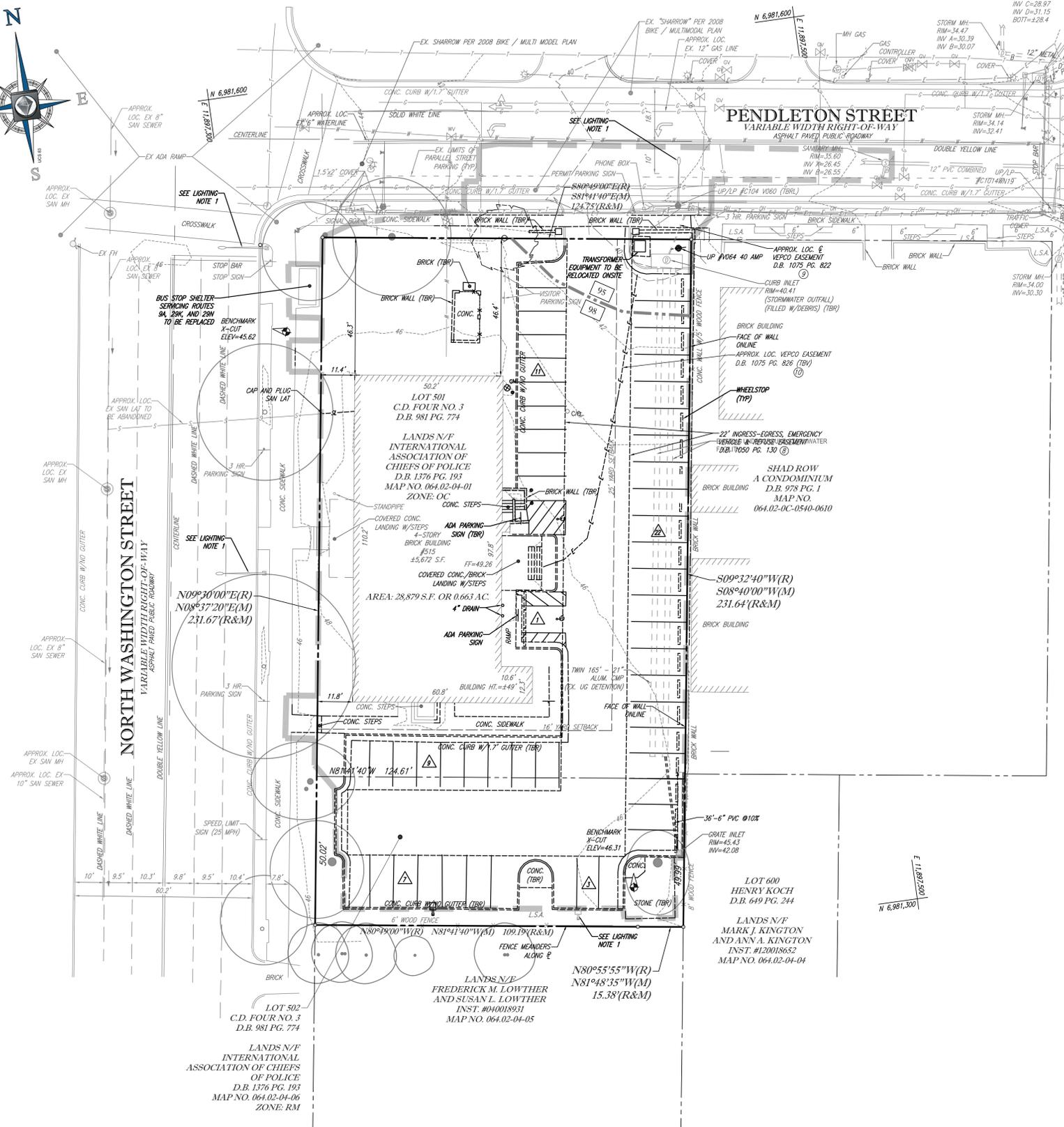
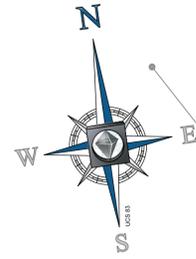
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.





**SOIL LEGEND**

95	URBAN LAND
98	URBAN LAND - GRIST MILL

--- SOIL TYPE BOUNDARY

**SITE DEVELOPMENT NARRATIVE**

PARCELS 064.02-04-01 (LOT 501) AND 064.02-04-06 (LOT 502) CONSIST OF A HISTORIC FOUR STORY MASONRY OFFICE BUILDING AND PARKING LOT. PARCEL 064.02-04-01 IS ZONED OC AND PARCEL 064.02-04-06 IS ZONED RM. THE PROPOSED DEVELOPMENT WILL MAINTAIN THE EXISTING STRUCTURE AND CONVERT IT FROM OFFICE TO RESIDENTIAL USE WHILE INCORPORATING A NORTHERN RESIDENTIAL EXPANSION. PARKING WILL CONSIST OF 32 SURFACE SPACES. THE EXISTING STRUCTURE TO REMAIN IS OF LOCAL HISTORICAL SIGNIFICANCE.

**MARINE CLAYS NOTE**

1. THE SITE HAS NO EXISTING MARINE CLAYS PER CITY MAPS

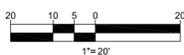
**ADJACENT OWNER TABLE**

**SHAD ROW A CONDOMINIUM**

ZONE	NAME OF OWNER	ADDRESS
RM	SHAD ROW CONDOMINIUM	600 PENDLETON ST
RM	KOZINSKI, KASIA	540 N ST ASAPH ST
RM	KLEIN, FRANK/ MEI, LING	542 N ST ASAPH ST
RM	PATE, MICHAEL L/ BARBARA, A	544 N ST ASAPH ST
RM	KNIGHT, ROBERT PAUL/ PATTERSON, ALMA JOANN	546 N ST ASAPH ST
RM	SULLIVAN, TERESSA ELIZABETH	548 N ST ASAPH ST
RM	SULLIVAN, TERESSA E	550 N ST ASAPH ST
RM	CASEY, BENJAMIN/ MCWEENEY, BRIANNE	552 N ST ASAPH ST
RM	JOSSIS, KACEE L	554 N ST ASAPH ST
RM	HART, PETER J/ VALORA, JAIME L	556 N ST ASAPH ST
RM	CALEBS LIMITED PARTNERSHIP	558 N ST ASAPH ST
RM	DELLASALA, MARC/ JAIME, LEE	560 N ST ASAPH ST
RM	LOUCAS, MARK A	562 N ST ASAPH ST
RM	ROTH, EUNHEE	564 N ST ASAPH ST
RM	SHELDON, DONALD/ LISA M TRS	566 N ST ASAPH ST
RM	MILLER, DIANNE N	568 N ST ASAPH ST
RM	GODWIN, ASHLEY D	570 N ST ASAPH ST
RM	BROWN, KATHERINE E	572 N ST ASAPH ST
RM	MAKKONEN, YOHANNES	574 N ST ASAPH ST
RM	BOSSE, KEVIN D/ MELINDA C	576 N ST ASAPH ST
RM	EDWARDS, TRINA	602 PENDLETON ST
RM	PETERS, PAUL J	604 PENDLETON ST
RM	BAITCH, MEGAN/ MUNDT, JEFFREY	606 PENDLETON ST
RM	RENEHAN, SUSAN D	608 PENDLETON ST
RM	GRAY, CHRISTOPHER M	610 PENDLETON ST

**LIGHTING NOTES**

1. EX COBRA HEAD LIGHTS TO BE REMOVED / REPLACED WITH STREET LIGHTING SHOWN ON LANDSCAPE SHEETS INCLUDED WITH THIS SET.



**APPROVED**  
SPECIAL USE PERMIT NO. DSUP 2013 - 0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

\_\_\_\_\_  
DIRECTOR: DATE:

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

\_\_\_\_\_  
DIRECTOR: DATE:

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
WARREN, NJ

SURVEYORS:  
SOUTHBOROUGH, MA  
TOWSON, MD  
ALBANY, NY  
CHALMERS, PA  
TAMPA, FL

PROJECT MANAGERS:  
ALBANY, NY  
WARRENTON, OR  
CHALMERS, PA  
TAMPA, FL

ENVIRONMENTAL CONSULTANTS:  
LANCASTER, PA  
PHILADELPHIA, PA  
CHARLOTTE, NC

CIVIL & CONSULTING ENGINEERS

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

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PROJECT No.: S13217  
DRAWN BY: IS  
CHECKED BY: MT  
DATE: 10/31/14  
SCALE: 1"=50'  
CAD I.D.: S50

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

**BOHLER ENGINEERING**

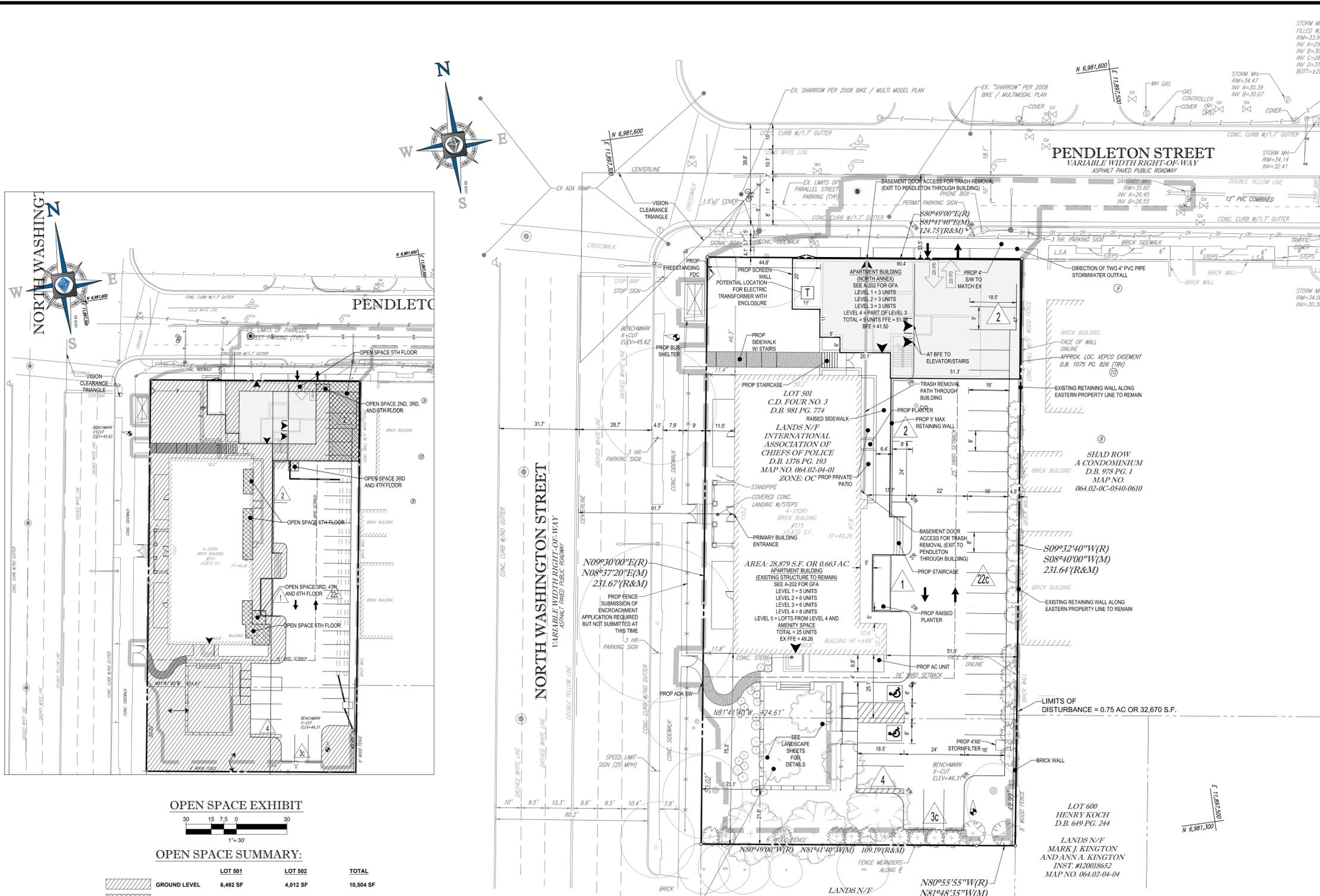
22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
www.BohlerEngineering.com

**COMMONWEALTH OF VIRGINIA**  
MICHAEL J. O'HARA JR.  
Lic. No. 34168  
11/14/14  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**EXISTING CONDITIONS**

SHEET NUMBER:  
**C-2.0**  
OF 33

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT. WORK SHALL BE DONE TO THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL CODES AND ORDINANCES WITH LOCAL REGULATIONS AND CODES.



### SITE TABULATIONS (COMBINED)

SITE AREA: 0.663 AC (28,879 SF)  
(LOT 501 AND 502 - ZONE OC)  
DEFINITIONS APPLIED

REQUIRED / ALLOWED	PROVIDED
A. F.A.R. (MAX)	1.25 / 1.13
B. OPEN SPACE	40% (11,551 SF) / 42% (11,986 SF)
C. MINIMUM LOT AREA	27,200 SF / 28,379 SF
D. BUILDING HEIGHT	50 FT (MAX) / 50' MAX
E. GROSS FLOOR AREA (GFA)	N/A / 46,247 SF
F. NET FLOOR AREA (NFA)	N/A / 32,763 SF
G. TREE CANOPY	7,220 SF (25%) / 11,250 SF (39.96%)
H. DENSITY (UNITS/AC)	54.45 / 51.28
I. AVERAGE FINISHED GRADE	N/A / 49.26

**PARKING:**  
ADA PARKING REQUIREMENTS: 2 SP REQUIRED FOR 26 TO 50 SP REQ. / 2 SP PROVIDED  
VAN ACCESSIBLE SPACE REQUIREMENTS: 1 SP REQUIRED PER 26 TO 50 SP REQ. / 1 SP PROVIDED

**PARKING REQUIREMENTS:**  
50 SPACES / 34 SPACES TOTAL  
37 SP EX BLDGS / 25 COMPACT (74%)  
13 SP ANNEX BLDGS / 9 STD.

\* SEE SHEET A-202 FOR SF BREAKDOWN PER FLOOR OF EXISTING AND PROPOSED BUILDING.  
\*\* SEE PARKING STUDY FOR FURTHER INFORMATION.

**TRIP GENERATION STATISTICS**  
TRIP GENERATION IS PER ITE TRIP GENERATION METHOD VERSION 9  
EXISTING - 385 ADT (BASED ON 710 - GENERAL OFFICE)  
PROPOSED - 226 ADT (BASED ON 220 - APARTMENT)

### SITE NOTES

- EMERGENCY VEHICLE ACCESS SHALL BE PROVIDED FROM ALONG THE PUBLIC ROW.
- THE SITE IS NOT LOCATED IN A TRANSITION ZONE SETBACK.
- PER CITY OF ALEXANDRIA MARINE SOILS MAP, THERE ARE NO MARINE FACILITIES LOCATED ON SITE.
- THE PROJECT IS LOCATED IN THE COMBINED SEWER AREA.
- NO LOADING SPACES REQUIRED / PROPOSED. LOADING TO TAKE PLACE FROM ON SITE ON A PERMIT BASIS CONTROLLED BY PROPERTY MANAGEMENT FOR MOVES IN / OUTS.
- THE SITE IS NOT LOCATED IN A RESOURCE PROTECTION AREA (RPA) PER THE CITY OF ALEXANDRIA'S GIS.
- LOADING AND TRASH PICKUP SHALL OCCUR ON THE FRONTAGE OF PENDLETON STREET.
- SHELTER CONFIGURATION TO BE DETERMINED AT TIME OF SITE PLAN.
- PEDESTAL MOUNTED ELECTRICAL METER WIRED TO STREET LIGHTS AND BUS SHELTER BY OTHERS. BAR APPROVAL REQUIRED FOR METER PLACEMENT AND DESIGN.
- NUMBER OF 6" RISERS AT STAIRCASES SHOWN TO BE FINALIZED WITH SITE PLAN.
- BIKE PARKING PROVIDED INTERNAL TO BUILDING. SEE ARCHITECTURE PLANS.
- TRASH STORAGE LOCATED INSIDE BUILDING. SEE ARCHITECTURE PLANS. WASTE PICKUP TO BE FROM PENDLETON STREET.

### ENVIRONMENTAL NARRATIVE

PER THE PHASE 1 ENVIRONMENTAL SITE ASSESSMENT PREPARED BY ICOR DATED 9/16/13 (PROJECT #13CAS06), ONE POTENTIAL ENVIRONMENTAL ISSUE WAS NOTED ON THE SUBJECT PROPERTY. THE ON SITE TRANSFORMER OWNED BY DOMINION WAS NOTED TO BE LEAKING AS PART OF THE ENVIRONMENTAL FINDINGS, BUT IT WAS UNCLEAR IF THIS WAS AN ENVIRONMENTAL CONCERN. THE TRANSFORMER IS SCHEDULED TO BE REPLACED AS PART OF THE REDEVELOPMENT, AND DOMINION SHOULD TAKE ANY ACTIONS NECESSARY TO REMEDIATE ANY ISSUES CAUSED BY THE LEAK.

### LEGEND

- PERMEABLE PAVEMENT
- VEHICLES PER DAY IN / OUT OF SITE



### OPEN SPACE SUMMARY:

	LOT 501	LOT 502	TOTAL
GROUND LEVEL	6,492 SF	4,012 SF	10,504 SF
ROOFTOP	1,482 SF	N/A	1,482 SF
TOTAL	7,974 SF	4,012 SF	11,986 SF

NOTE:  
SEE ARCHITECTURAL SHEET A 201 FOR OPEN SPACE ON ROOFTOP.

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### SITE TABULATIONS (LOT 501)

SITE AREA: 0.520 AC (22,647 SF)  
(LOT 501 - ZONE OC)

REQUIRED / ALLOWED	PROVIDED
A. F.A.R. (MAX)	1.25 FAR (OC-ZONE)
B. OPEN SPACE	40% (9,059 SF) / 7,974 SF (35%)
C. MINIMUM LOT AREA	27,200 SF / 22,647 SF
D. BUILDING HEIGHT	50 FT (MAX) / 50' MAX
E. GROSS FLOOR AREA (GFA)	N/A / 46,247 SF
F. NET FLOOR AREA (NFA)	N/A / 32,763 SF
G. TREE CANOPY	5,662 SF (25%) / 5,500 SF (24%)
H. DENSITY (UNITS/AC)	54.45 / 65.39
I. AVERAGE FINISHED GRADE	N/A / 46.26
J. LOT FRONTAGE	50' / 125'
K. YARDS:	
FRONT:	N/A / 0'
SIDE:	16' OR 1:2 SETBACK RATIO / 0'
REAR:	N/A / N/A

\*WAIVER REQUIRED FOR SIDE YARD

### SITE TABULATIONS (LOT 502)

SITE AREA: 0.143 AC (6,232 SF)  
(LOT 502 - ZONE RM)

REQUIRED / ALLOWED	PROVIDED
A. F.A.R. (MAX)	1.5 / 0
B. OPEN SPACE*	1,544 SF / 4,012 SF (33%)
C. MINIMUM LOT AREA	N/A / 0 SF
D. BUILDING HEIGHT	N/A / 35'
E. GROSS FLOOR AREA (GFA)	9,348 SF / 0 SF
F. NET FLOOR AREA (NFA)	N/A / 0 SF
G. TREE CANOPY:	1,558 SF (25%) / 6,750 SF (108%)
H. DENSITY (UNITS/AC):	30 / 0
I. AVERAGE FINISHED GRADE:	N/A / 50.02
J. LOT FRONTAGE:	N/A / N/A
K. YARDS:	N/A (NO USES) / N/A

\*EXISTING OPEN SPACE (LESS THAN 35% OF SITE AREA 2,181 SF) DEFINES REQUIREMENT PER ZONING ORDINANCE.

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CHARLOTTE, NC

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

### REVISIONS

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS



PROJECT No.: S132117  
DRAWN BY: IS  
CHECKED BY: MT  
DATE: 10/31/14  
SCALE: 1"=20'  
CAD I.D.: SSO

PROJECT:  
**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE:  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

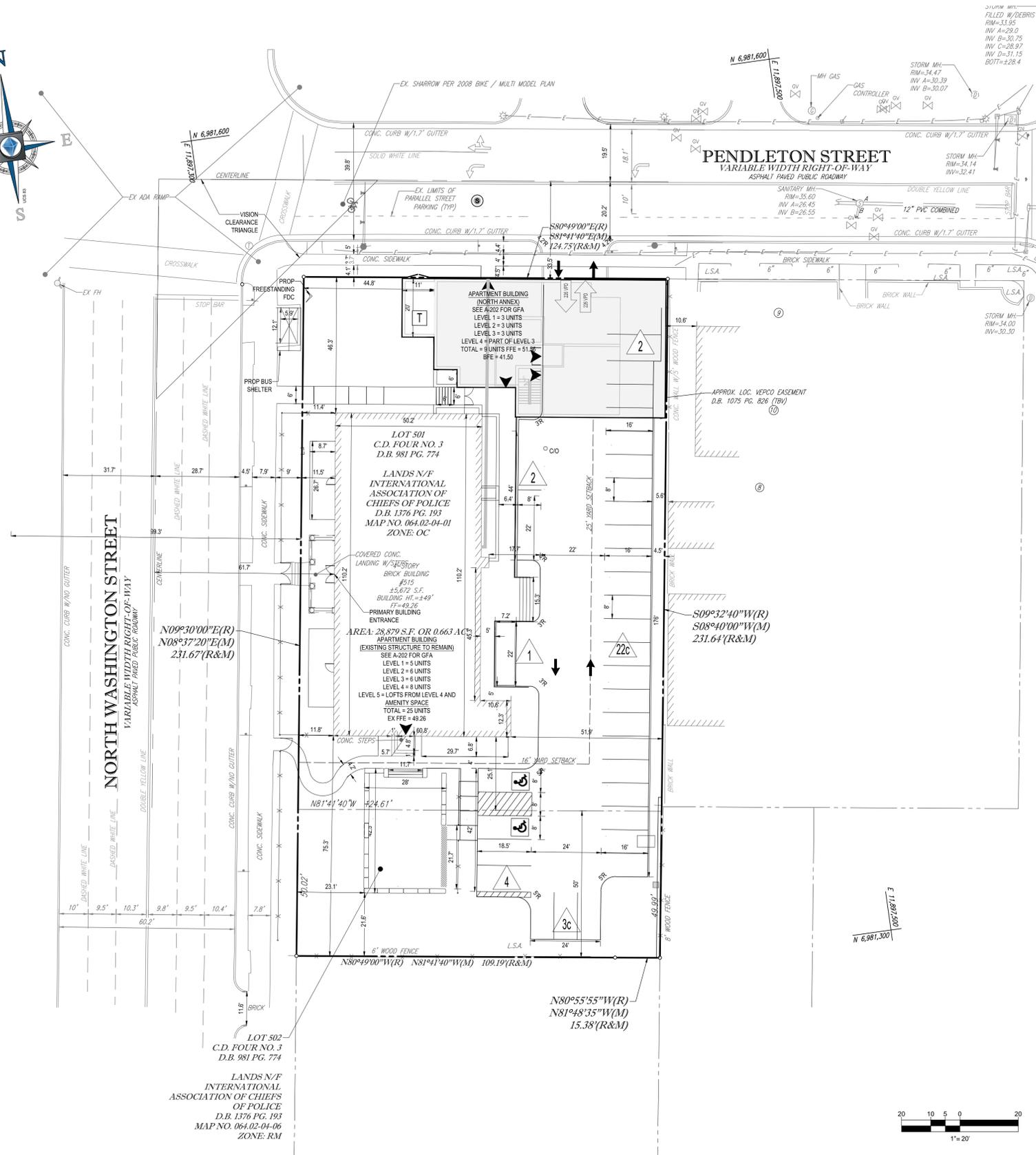
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COMMONWEALTH OF VIRGINIA  
MICHAEL J. O'HARA JR.  
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11/14/14  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**PROPOSED SITE PLAN**

SHEET NUMBER:  
**C-3.0**  
OF 33



STORM MH:  
 RIM=34.47  
 INV A=30.39  
 INV B=30.07  
 INV C=28.97  
 INV D=31.15  
 BOTT=±28.4

SANITARY MH:  
 RIM=35.60  
 INV A=26.45  
 INV B=26.55

APPROX. LOC. VEPCO EASEMENT  
 D.B. 1075 PG. 826 (TBV)

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STREETWORKS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

**REVISIONS**

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**NOT APPROVED FOR CONSTRUCTION**

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**PROJECT No.:** S132117  
**DRAWN BY:** IS  
**CHECKED BY:** MT  
**DATE:** 10/31/14  
**SCALE:** 1"=20'  
**CAD I.D.:** SSO

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
 515 NORTH WASHINGTON STREET  
 CITY OF ALEXANDRIA, VA  
 LOTS 501 & 503  
 D.B. 981 PG. 774

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 11/14/14  
**PROFESSIONAL ENGINEER**

SHEET TITLE:  
**DIMENSION PLAN**

SHEET NUMBER:  
**C-3.1**  
 OF 33

**APPROVED**  
 SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

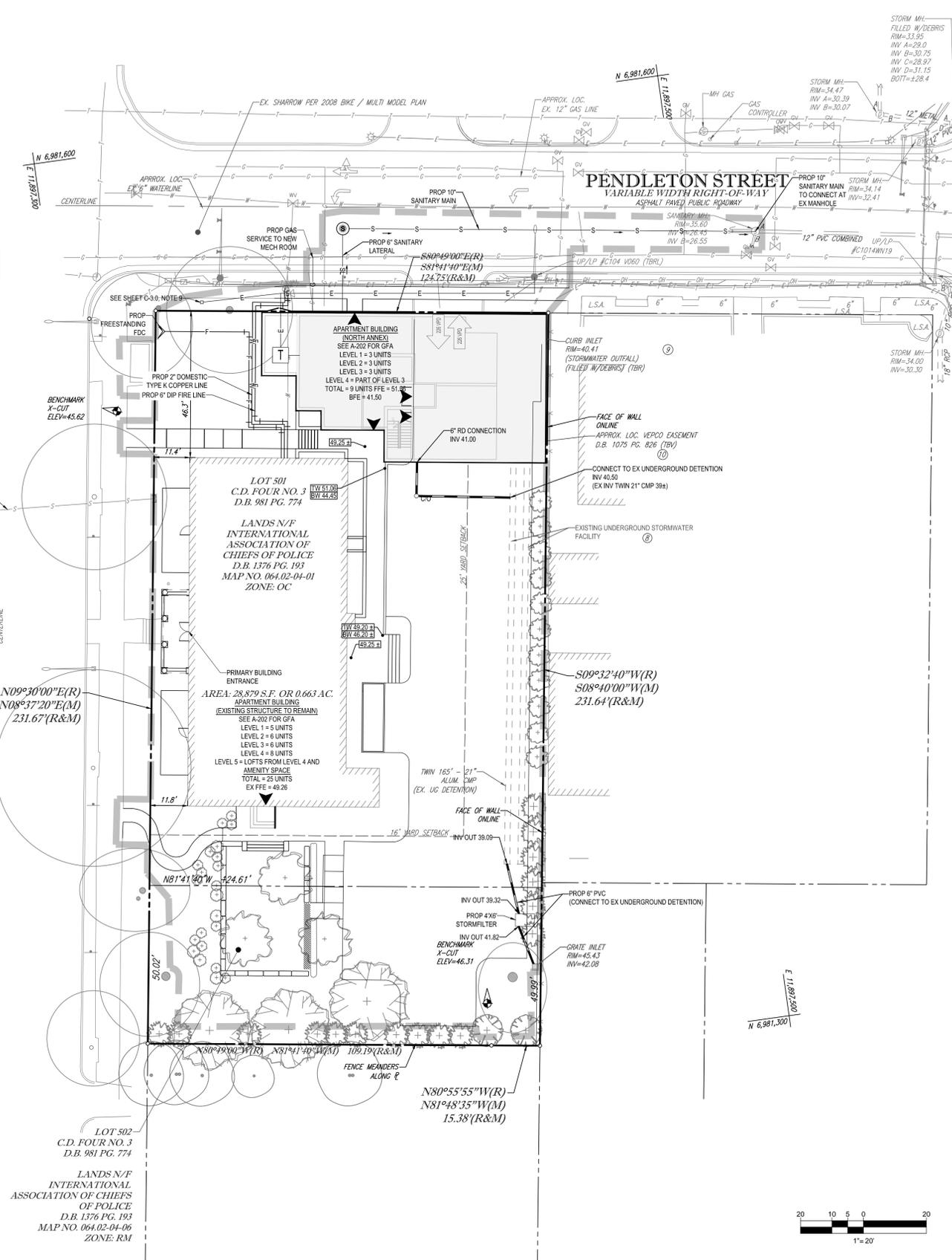
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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**UTILITY WORKS**

- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS DESCRIBED IN SECTION 4VAC50-30-40 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND ADDITIONAL APPLICABLE PRACTICES FOLLOWED BY THE CITY OF ALEXANDRIA.
- ALL PRIVATE UTILITIES SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS UNLESS THE UTILITY OWNERS HAVE FRANCHISE AGREEMENT WITH THE CITY OF ALEXANDRIA; HOWEVER, NO ELECTRIC TRANSFORMERS AND SWITCH GEARS / CONTROL BOXES SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY.
  - ALL THE EXISTING AND PROPOSED PUBLIC AND PRIVATE UTILITIES AND EASEMENTS SHALL BE SHOWN AND A DESCRIPTIVE NARRATION OF VARIOUS UTILITIES SHALL BE PROVIDED ON THE PLAN.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.
  - NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE TRENCHES.
  - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
  - MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
  - SHOULD UTILITY CONSTRUCTION BE PERFORMED AFTER COMPLETING EARTHWORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING 98 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1551) COMPACTION IN ALL TRENCH BACKFILL.
  - DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE VIRGINIA REGULATIONS 4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
  - APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
  - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION, AS DETERMINED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, CITY OF ALEXANDRIA.
  - A REMEDIATION PLAN SHALL BE SUBMITTED DETAILING HOW CONTAMINATED SOILS AND/OR GROUNDWATER WILL BE DEALT WITH, INCLUDING PLANS TO REMEDIATE UTILITY CORRIDORS.
  - UTILITY CORRIDORS IN CONTAMINATED SOIL SHALL BE OVER EXCAVATED BY 2 FEET AND BACKFILLED WITH "CLEAN" SOIL.
  - GRADING CAN BE PERFORMED ON INSTALLATION OF UTILITIES.
  - PER MEMO TO INDUSTRY 02-09, DESIGN GUIDELINES FOR SITE PLAN PREPARATION, ALL NEW INSTALLATIONS AND/OR REINSTALLATIONS OF UTILITIES SUCH AS ELECTRICAL LINES, GAS PIPES, COMMUNICATION CABLES INCLUDING WATER AND SEWER LATERALS ON BOTH PRIVATE PROPERTY AND IN THE PUBLIC RIGHT OF WAY IN THE CITY OF ALEXANDRIA SHALL BE PROVIDED WITH 3" AND 6" WIDE 5 MIL OVERALL THICKNESS DETECTABLE UNDERGROUND WARNING TAPES (DUWT) PER MEMO TO INDUSTRY 02-09, DESIGN GUIDELINES FOR SITE PLAN PREPARATION. THE 3" DUWT SHALL BE INSTALLED AT DEPTHS OF 12" TO 18" AND 6" WIDE AT A DEPTH OF 24" SO AS TO MAKE UNDERGROUND INSTALLATIONS EASY TO FIND USING A NON-FERROUS LOCATOR. THE DUWT SHALL BE WITH ALUMINUM BACKING OR SOLID ALUMINUM CORE LAMINATED WITH A PROTECTIVE CLEAR FILM ON BOTH SIDES. SEALING AND PROTECTING THE GRAPHICS FROM UNDERGROUND MOISTURE, ACIDS, ALKALIS, AND OTHER SOIL SUBSTANCES. ALL DUWT TAPES SHALL BE PRINTED IN BLACK INK ON AMERICAN PUBLIC WORKS ASSOCIATION (APWA) APPROVED COLORS TO MEET OR EXCEED INDUSTRY STANDARDS. THE FOLLOWING ARE THE APWA COLOR CODES:

COLOR	CODES
RED	CAUTION BURIED ELECTRIC POWER LINES, CABLES, CONDUITS, AND LIGHTING CABLES
YELLOW	CAUTION GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS
ORANGE	CAUTION COMMUNICATIONS, ALARM OR SIGNAL LINES, CABLES, OR CONDUITS
BLUE	CAUTION POTABLE WATER
PURPLE	CAUTION RECLAIMED WATER, IRRIGATION AND SLURRY LINES
GREEN	CAUTION SEWER, DRAIN LINES, AND FORCE MAIN

**NOTES:**

- WATER OWNED BY VIRGINIA AMERICAN WATER, CABLE BY VERIZON, ELECTRIC BY DVP. STORM ON SITE TO BE PRIVATELY MAINTAINED BY HOA.
- 2" DOMESTIC TYPE K COPPER LINE SERVING EXISTING BUILDING.
- 6" DIP FIRE LINE SERVING EXISTING BUILDING.

**BOHLER ENGINEERING**

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 WASHINGTON, VA  
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 TAMPA, FL  
 PHILADELPHIA, PA  
 CHARLOTTE, NC

CIVIL & CONSULTING ENGINEERS

PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

**REVISIONS**

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1	11/14/14	DSUP COMPLETENESS COMMENTS	IS



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**NOT APPROVED FOR CONSTRUCTION**

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**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
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 CITY OF ALEXANDRIA, VA  
 LOTS 501 & 503  
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SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**C-4.0**  
 OF 33

**APPROVED**  
 SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

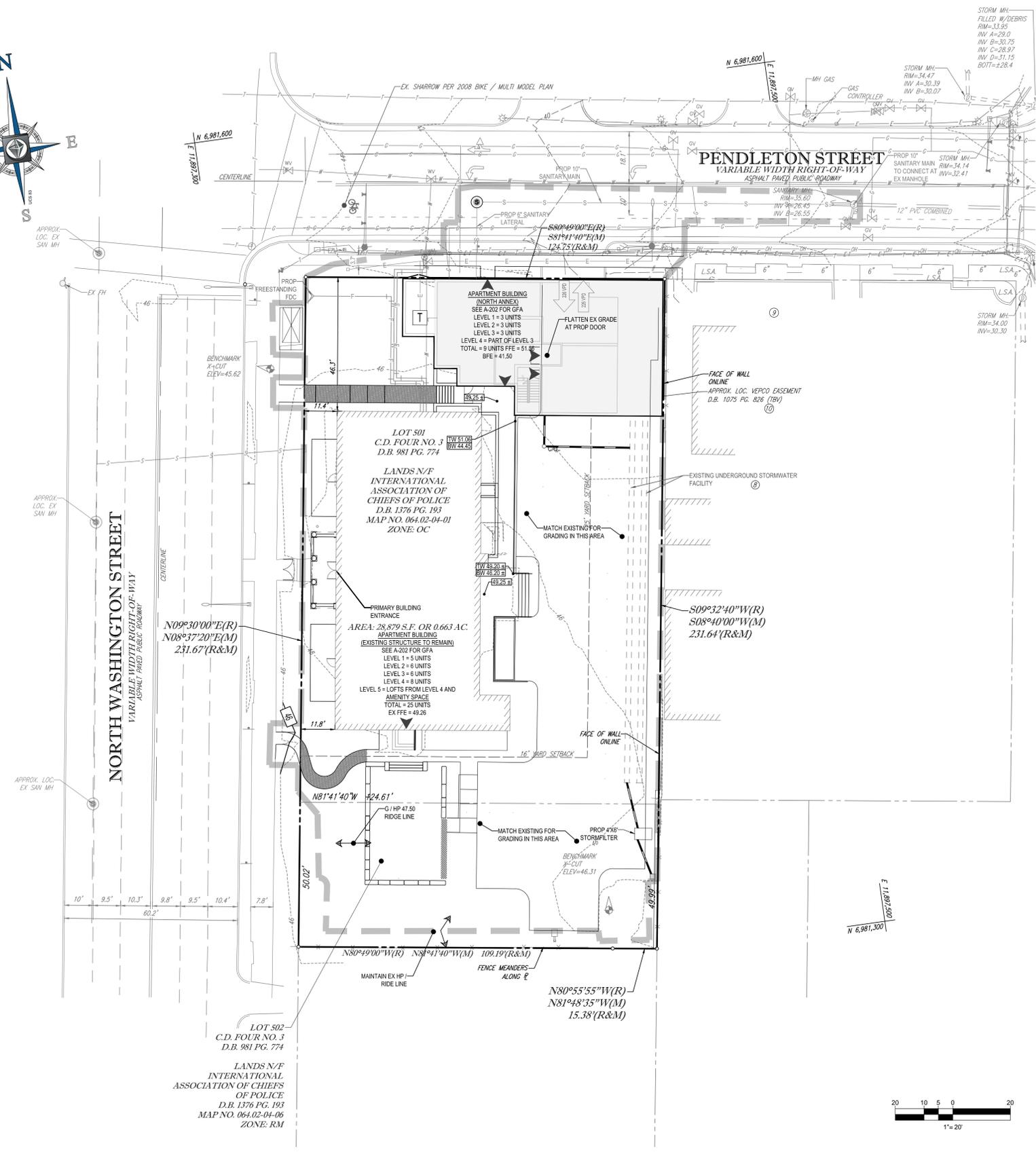
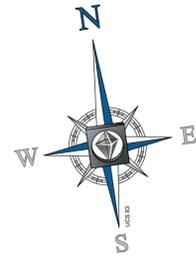
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

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**GRADING NARRATIVE**

THE PROPOSED GRADING WILL MIMIC THE PRE DEVELOPED DRAINAGE DIVIDES OF THE EXISTING SITE TO THE EXTENT PRACTICAL IN ORDER TO MAINTAIN THE FUNCTION OF THE EXISTING UNDERGROUND DETENTION FACILITY. AS A RESULT, MINIMUM GRADING IS PROPOSED. THE 'Z' CONTOURS REQUIRED BY THE DSUP CHECKLIST ARE PROVIDED. SEE SHEET C-7.0 AND C-7.1 FOR PRE AND POST DRAINAGE DIVIDES.

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SHEET TITLE:  
**GRADING PLAN**

SHEET NUMBER:  
**C-5.0**  
OF 33

**APPROVED**  
SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

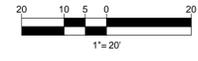
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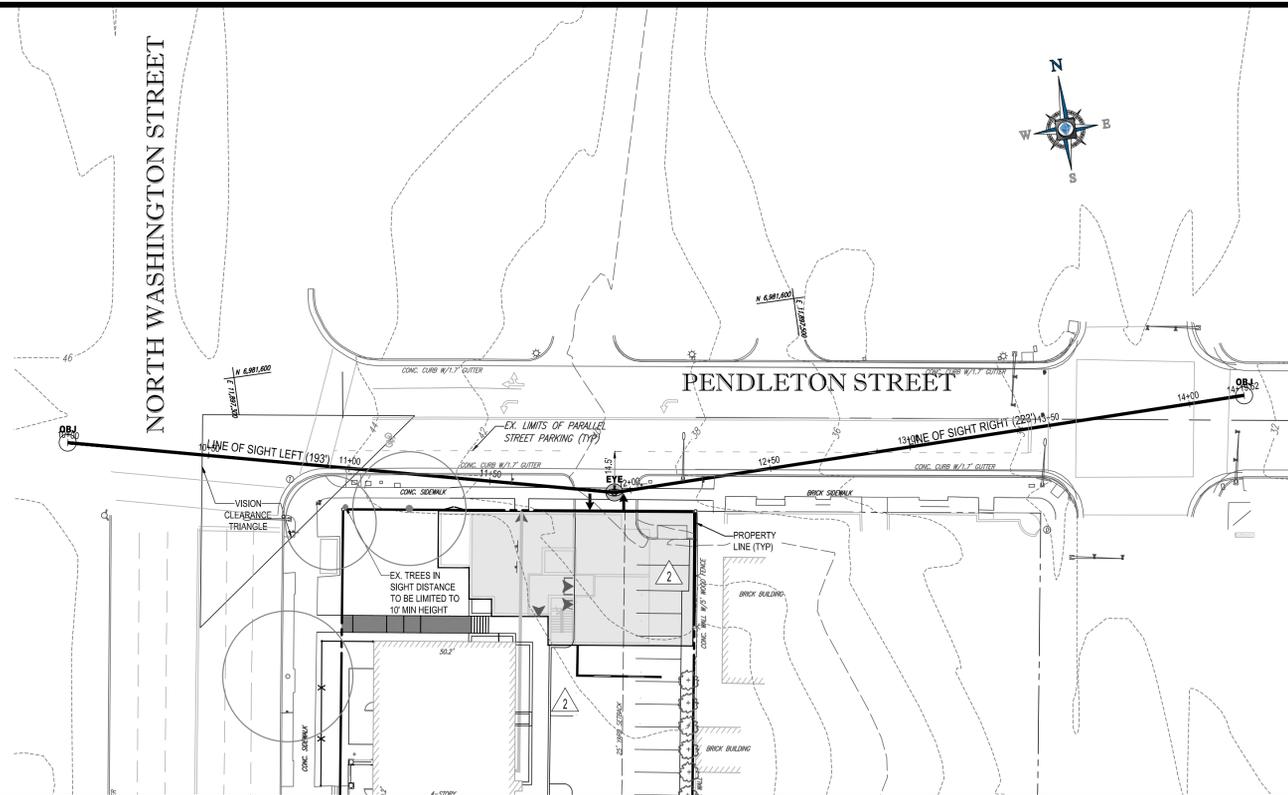
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DATE RECORDED: \_\_\_\_\_

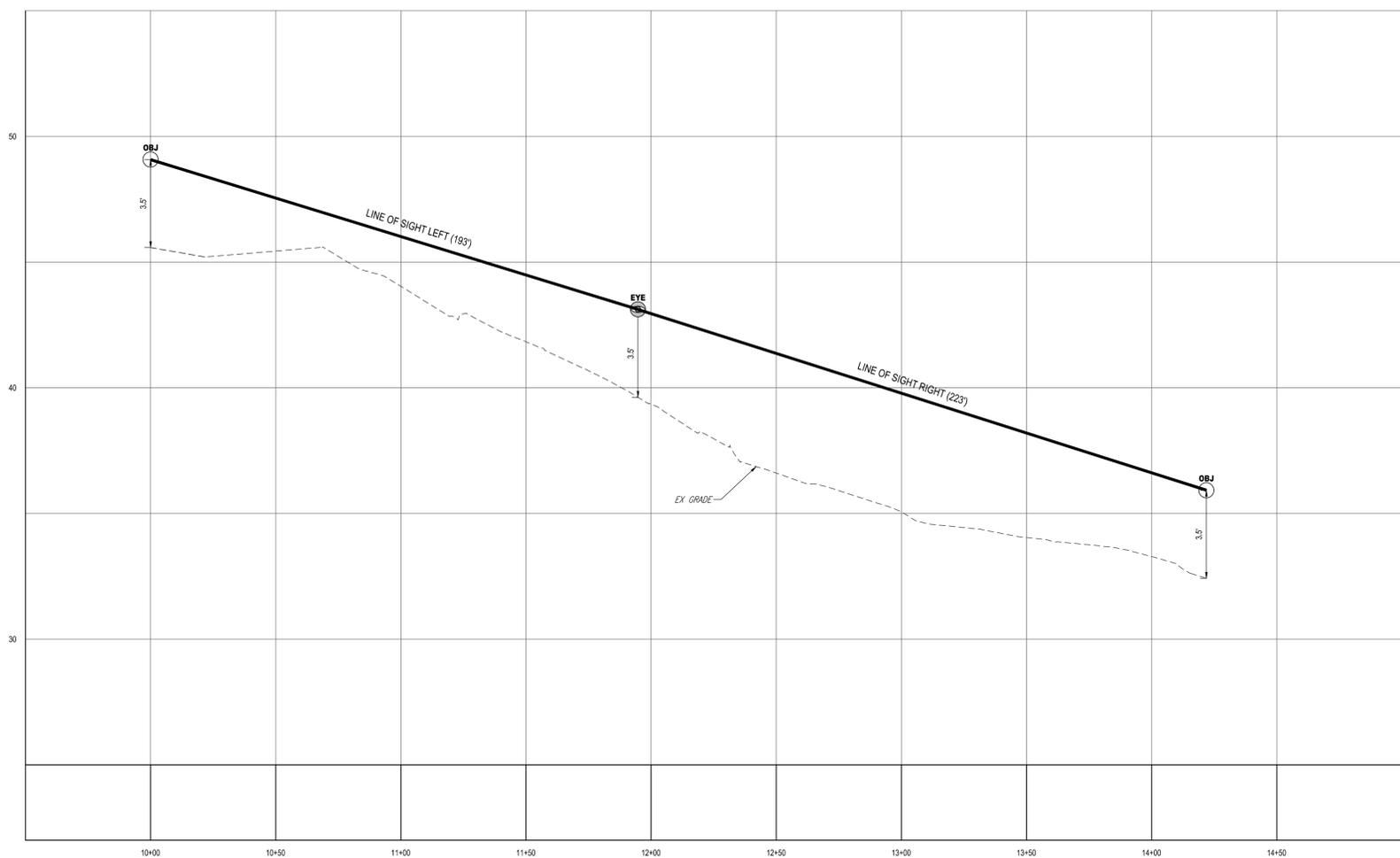
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



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PLAN VIEW



SIGHT DISTANCE PROFILE - PENDLETON STREET

SCALE: 1"=30' HORIZONTAL  
1"=3' VERTICAL  
SPEED LIMIT = 25 MPH

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REVISIONS

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

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PROJECT No.: S132117  
DRAWN BY: IS  
CHECKED BY: MT  
DATE: 10/31/14  
SCALE: AS SHOWN  
CAD I.D.: PP1

DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER

LOCATION OF SITE:  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
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Phone: (703) 709-9500  
Fax: (703) 709-9501  
www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA  
MICHAEL J. O'HARA JR.  
Lic. No. 34168  
11/14/14  
PROFESSIONAL ENGINEER

APPROVED  
SPECIAL USE PERMIT NO. DSUP 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

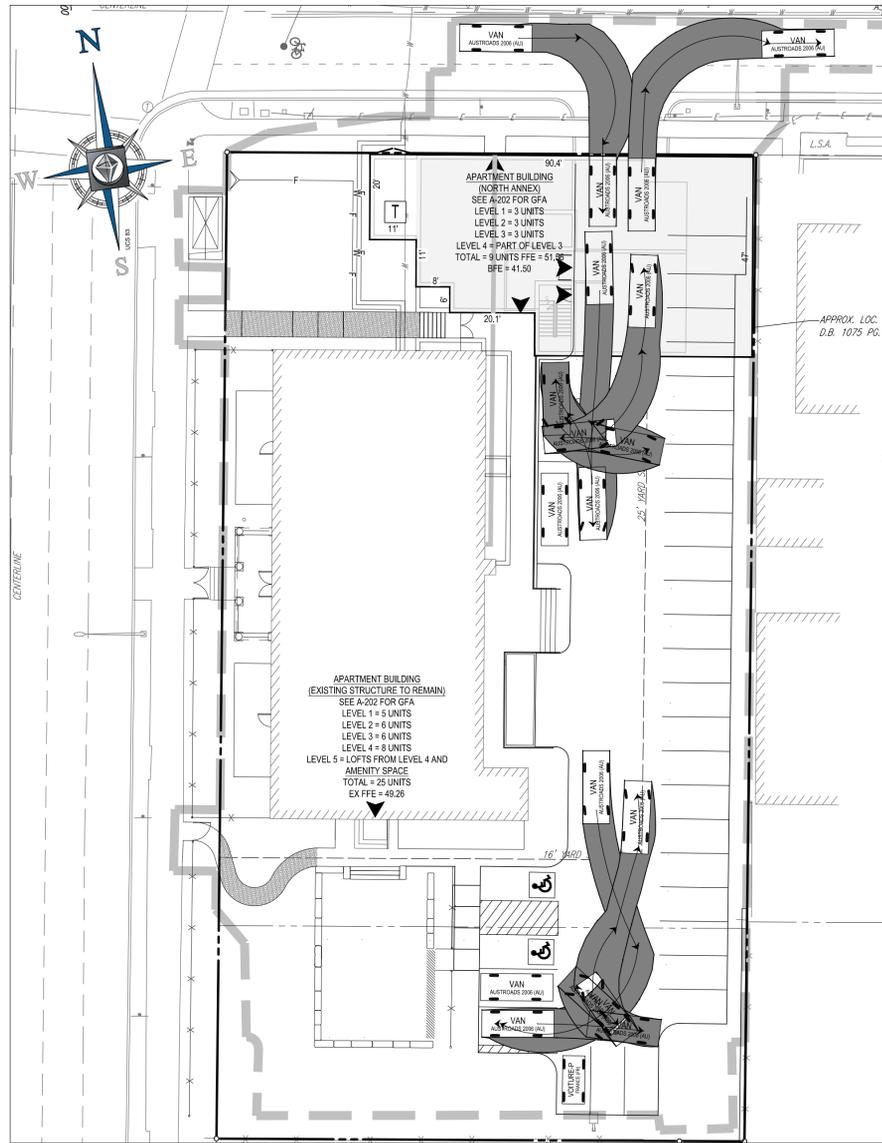
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

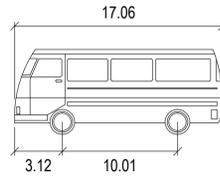
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SHEET TITLE:  
**SIGHT DISTANCE PROFILE**

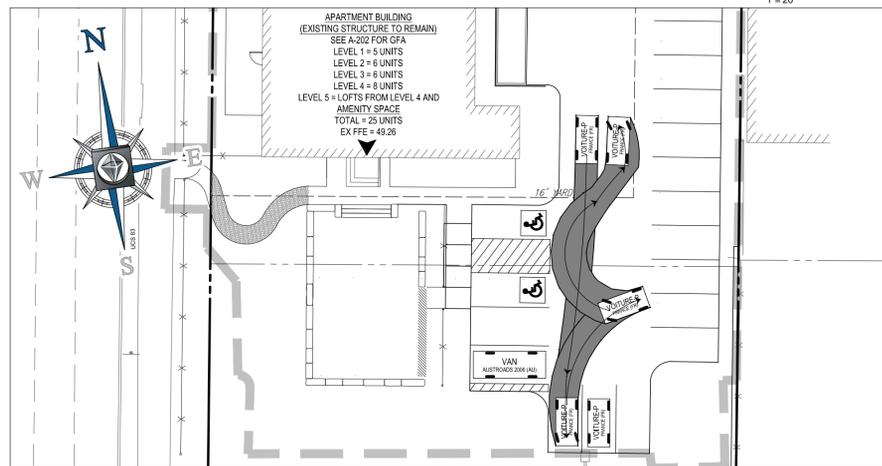
SHEET NUMBER:  
**C-5.1**  
OF 33



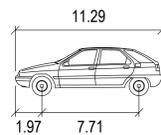
**USED FOR STANDARD PASSENGER VEHICLE**



VAN		feet
Width	:	6.36
Track	:	6.04
Lock to Lock Time	:	6.0
Steering Angle	:	33.5



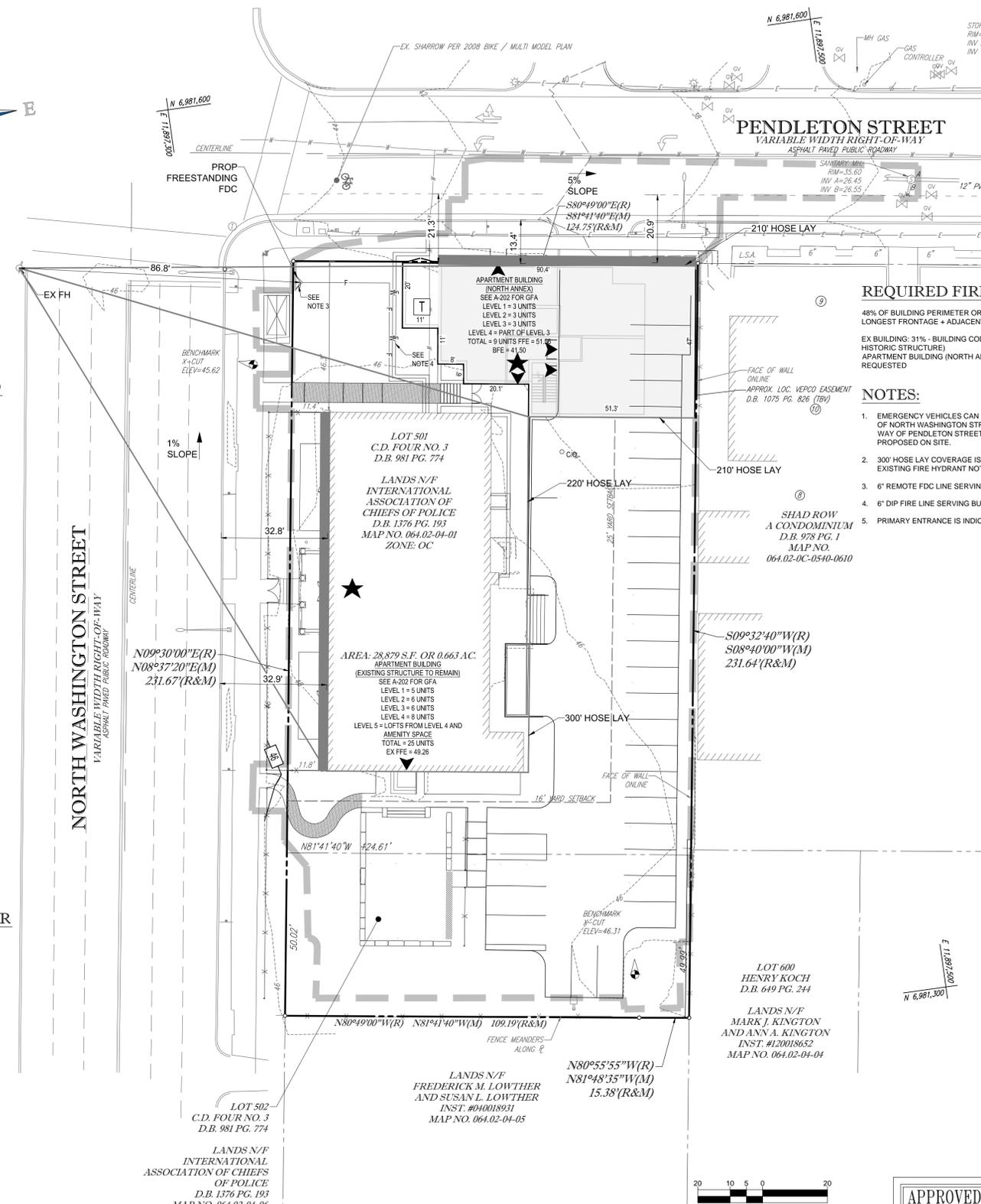
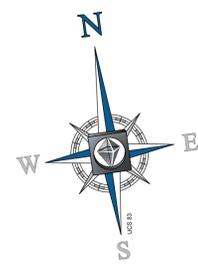
**USED FOR COMPACT CAR**



VOITURE-P		feet
Width	:	5.25
Track	:	5.15
Lock to Lock Time	:	6.0
Steering Angle	:	34.0

VEHICLE TURN MOVEMENTS ON SITE

**THE INNER SURFACE OF THE LADDER TRUCK ACCESS WAY SHALL BE NO LESS THAN 15 FEET AND NO MORE THAN 30 FEET FROM THE EXTERIOR BUILDING WALL PER CODE. DIMENSIONS INDICATED WHERE THIS SEPARATION IS NOT MET.**



**REQUIRED FIRE TRUCK ACCESS:**

- 48% OF BUILDING PERIMETER OR LONGEST FRONTAGE + ADJACENT SIDE
- EX BUILDING: 31% - BUILDING CODE MODIFICATION REQUESTED (EX. HISTORIC STRUCTURE)
- APARTMENT BUILDING (NORTH ANNEX): 31% - BUILDING CODE MODIFICATION REQUESTED

**NOTES:**

- EMERGENCY VEHICLES CAN ACCESS THE EXISTING BUILDING BY WAY OF NORTH WASHINGTON STREET AND THE PROPOSED BUILDING BY WAY OF PENDLETON STREET. NO EMERGENCY VEHICLE ACCESS IS PROPOSED ON SITE.
- 300' HOSE LAY COVERAGE IS MET FOR ALL PROPOSED BUILDINGS WITH EXISTING FIRE HYDRANT NOTED.
- 6" REMOTE FDC LINE SERVING BUILDING.
- 6" DIP FIRE LINE SERVING BUILDING.
- PRIMARY ENTRANCE IS INDICATED BY A ★

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TAMPA, FL

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SURVEYORS  
REGISTERED PROFESSIONAL ENGINEERS

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

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**PROJECT:** DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER

PROJECT No.: S132117  
DRAWN BY: IS  
DATE: 10/31/14  
SCALE: 1"=20'  
CAD I.D.: SSD

LOCATION OF SITE:  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

**BOHLER ENGINEERING**

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MICHAEL J. O'HARA JR.  
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11/14/14  
PROFESSIONAL ENGINEER

**CAR TURN / FIRE SAFETY PLAN**

SHEET NUMBER: C-6.0 OF 33

**APPROVED**  
SPECIAL USE PERMIT NO. DSUP.2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

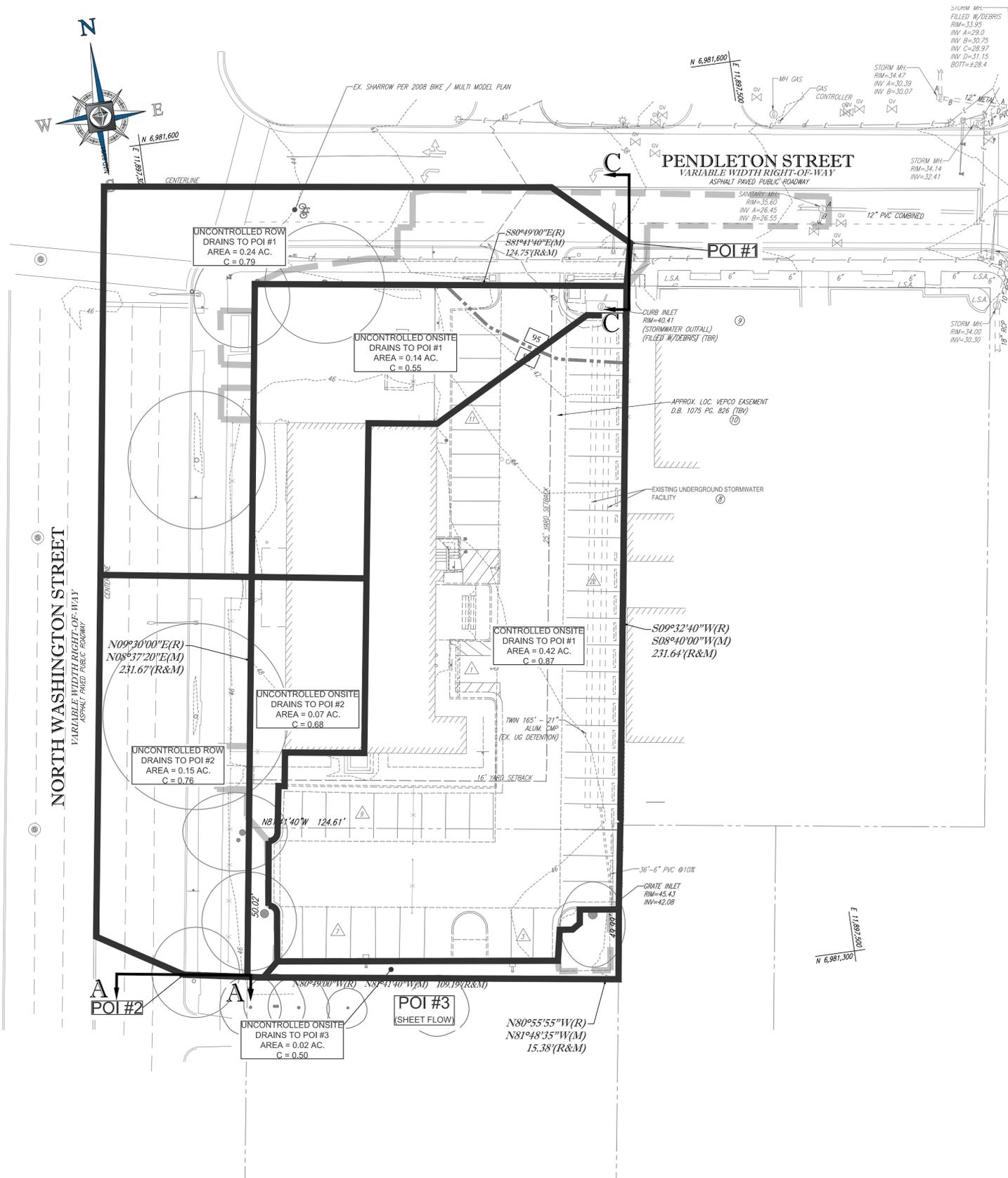
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DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

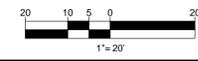
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SEE SHEET C-7.1 FOR ALL STORMWATER MANAGEMENT NARRATIVES

POI	C VALUE	AREA (AC.)	C VALUE X AREA
1	CONTROLLED	0.87	0.42
	UNCONTROLLED	0.55	0.14
	ROW	0.79	0.24
	<b>TOTAL AREA (AC.)</b>	<b>0.80</b>	<b>0.63</b>
2	UNCONTROLLED	0.68	0.07
	ROW	0.76	0.15
	<b>TOTAL AREA (AC.)</b>	<b>0.22</b>	<b>0.16</b>
3	UNCONTROLLED	0.5	0.02
	<b>TOTAL AREA (AC.)</b>	<b>0.02</b>	<b>0.01</b>

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APPROVED  
 SPECIAL USE PERMIT NO. DSUP 2013-0023  
 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

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PROJECT No.: S132117  
 DRAWN BY: IS  
 CHECKED BY: MT  
 DATE: 10/31/14  
 SCALE: 1"=20'  
 CAD I.D.: DS0

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
 515 NORTH WASHINGTON STREET  
 CITY OF ALEXANDRIA, VA  
 LOTS 501 & 503  
 D.B. 981 PG. 774

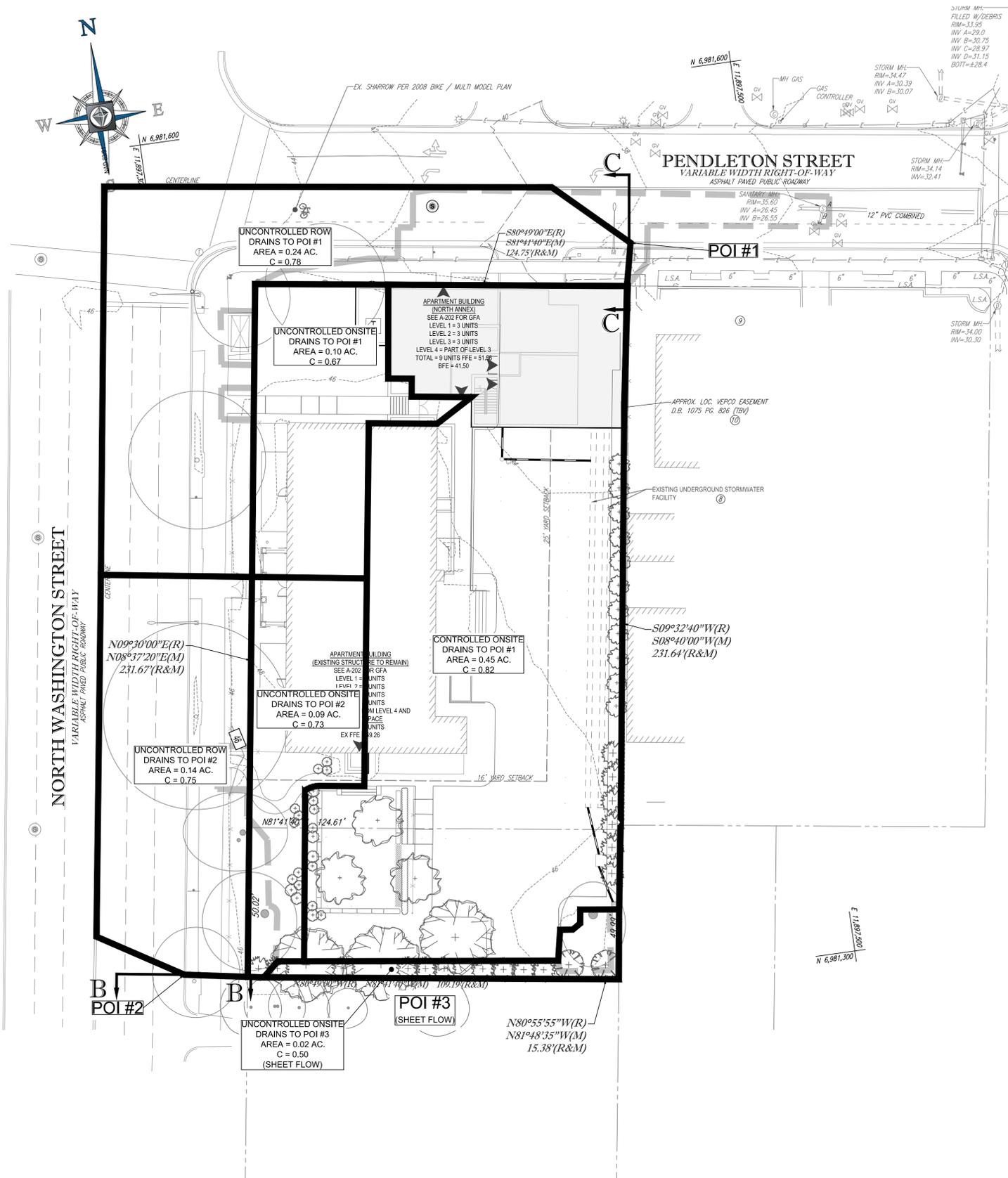
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 MICHAEL J. O'HARA JR.  
 Lic. No. 34168  
 11/14/14  
 PROFESSIONAL ENGINEER

SHEET TITLE:  
**PRE DEVELOPMENT DRAINAGE MAP**

SHEET NUMBER:  
**C-7.0**  
 OF 33



### STORMWATER MANAGEMENT PLAN

THERE IS NO PUBLIC STORM SEWER INLET AVAILABLE WITHIN 100' OF THE PROPERTY LINE. THEREFORE, A DESIGN HAS BEEN PROVIDED TO MITIGATE THE NEGATIVE IMPACTS OF STORM WATER DRAINAGE ONTO ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAY IN ACCORDANCE TO THE REQUIREMENTS OF MEMORANDUM TO INDUSTRY ON DOWNSPOUTS, FOUNDATION DRAINS, AND SUMP PUMPS, DATED JUNE 18, 2004, WHICH IS AVAILABLE ON THE CITY OF ALEXANDRIA'S WEB SITE. THE PLAN DEMONSTRATES THAT THE SITE HAS BEEN DEVELOPED NOT TO INCREASE THE POST DEVELOPMENT PEAK RUNOFF RATE FROM THE PRE-DEVELOPMENT PEAK RUNOFF RATE FOR A TWO-YEAR AND TEN YEAR STORM CONSIDERED INDIVIDUALLY PER THE REQUIREMENTS OF ARTICLE 13-108(F)(1) OF ALEXANDRIA ZONING ORDINANCE.

### SWM NARRATIVE

SITE WILL FOLLOW 2014 VIRGINIA STATE STORMWATER MANAGEMENT REGULATIONS. ADDITIONAL / NEW STORMWATER MANAGEMENT IS NOT ANTICIPATED DUE TO DECREASE IN IMPERVIOUS AREA AND KEEPING THE SAME AMOUNT OF FLOW INTO THE EXISTING DETENTION SYSTEM FROM THE PRE TO POST CONDITION. ADEQUATE OUTFALL STUDY INCLUDES CROSS SECTIONS OF THE GUTTER PAN ADJACENT TO THE SITE AS NO EXISTING STORM SEWER IS PRESENT PER MEETING WITH CITY STAFF IN SEPTEMBER 2014. ADEQUATE STORMWATER MANAGEMENT AND OUTFALL IS PROVIDED AS THERE IS A DECREASE IN FLOW LEAVING THE SITE FROM PRE TO POST, AND THE EXISTING SPREADS ARE LESS THAN 8' FOR THE 10 YEAR EVENT AT THE POIS ANALYZED.

NO UPSTREAM FLOWS ARE NOTED BASED ON A STUDY OF THE SURROUNDING STREETS / INFRASTRUCTURE. ALTHOUGH THE TOTAL IMPERVIOUS AREA ON SITE IS DECREASED, THE FLOW INTO THE EXISTING DETENTION SYSTEM REMAINS THE SAME FROM THE PRE CONDITION TO THE POST CONDITION. SEE TABLES FOR FLOWS IN THE PROJECT AREA. THUS, THE FLOW AT POI #1 REMAINS THE SAME FROM THE PRE TO POST CONDITION. SEE SECTION VIEWS ON SHEET C-7.2.

ALTHOUGH THE TOTAL FLOW TO POI #2 IS INCREASED BY LESS THAN 0.1 CFS AS A RESULT OF THE PROPOSED DEVELOPMENT, ANALYSIS SHOWS THAT THE INCREASE IN FLOW DOES NOT CAUSE AN INCREASE IN SPREAD ABOVE THE 8' MAXIMUM ALLOWED FOR A 10 YEAR EVENT. SEE SECTION VIEWS ON SHEET C-7.2. SECTION CALCULATIONS WERE COMPLETED FOR PRE AND POST FLOWS AT POI #2 WITH NO CHANGE IN SPREAD NOTED.

SEE SHEET C-7.3 FOR APPROVED PLAN AND DETENTION COMPUTATIONS FOR 10 YEAR EVENT. ENTITLED: 'FINAL SITE PLAN' PREPARED BY 'ALEXANDRIA SURVEYS, INC.' DATED 1/4/1982. REVISED 2/5/82.

POST-DEVELOPMENT			
POI	C VALUE	AREA (AC.)	C VALUE X AREA
1	CONTROLLED	0.82	0.45
	UNCONTROLLED	0.67	0.10
	ROW	0.79	0.24
<b>TOTAL AREA (AC.)</b>		0.79	0.63
2	UNCONTROLLED	0.73	0.09
	ROW	0.75	0.14
	<b>TOTAL AREA (AC.)</b>		0.23
3	UNCONTROLLED	0.5	0.02
	<b>TOTAL AREA (AC.)</b>		0.02

FLOW SUMMARY TABLE FROM PROJECT AREA					
POI		PRE 2 (Q)	POST 2 (Q)	PRE 10 (Q)	POST 10 (Q)
1	CONTROLLED	2.27"	2.29"	1.29'	1.29'
	UNCONTROLLED	0.48	0.42	0.69	0.60
	ROW	1.18	1.16	1.71	1.68
<b>TOTAL</b>		3.92	3.87	3.69	3.58
2	UNCONTROLLED	0.30	0.41	0.43	0.59
	ROW	0.71	0.65	1.03	0.95
	<b>TOTAL</b>		1.00	1.06	1.45
3	UNCONTROLLED	0.06	0.06	0.09	0.09
	<b>TOTAL</b>		0.06	0.06	0.09
<b>GRAND TOTAL</b>		4.99	4.99	5.23	5.20

\* Q10 FROM APPROVED DETENTION CALCULATIONS. SEE SHEET C-7.3 FOR APPROVED PLAN.  
 \*\* Q2 NOT ROUTED IN APPROVED PLAN. ASSUMED DISCHARGE PRE/POST WITH NO DETENTION. (CONSERVATIVE)  
 \*\*\* INCREASE IN SPREAD ALONG ROADWAY RESULTS FROM MINOR INCREASE IN SHEET FLOW BUT IS UNDER 8' MAX FROM THE 10 YEAR EVENT. NO INCREASE FROM PRE TO POST IN THE OVERALL SITE.

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**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

PROJECT No.: S132117  
 DRAWN BY: IS  
 CHECKED BY: MT  
 DATE: 10/31/14  
 SCALE: 1"=20'  
 CAD I.D.: DSD

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 515 NORTH WASHINGTON STREET  
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 MICHAEL J. O'HARA JR.  
 Lic. No. 34168  
 11/14/14  
 PROFESSIONAL ENGINEER

SHEET TITLE:  
**POST DEVELOPMENT DRAINAGE MAP**

SHEET NUMBER:  
**C-7.1**  
 OF 33

APPROVED  
 SPECIAL USE PERMIT NO. DSUP 2013-0023

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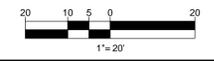
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**SECTION A-A  
Channel Report**

Hydrow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Tuesday, Sep 23 2014

**POI #2 10 YEAR PRE DEVELOPMENT**

**Gutter**  
 Cross Sl, Sx (ft/ft) = 0.023  
 Cross Sl, Sw (ft/ft) = 0.080  
 Gutter Width (ft) = 2.00  
 Invert Elev (ft) = 100.00  
 Slope (%) = 0.53  
 N-Value = 0.013

**Calculations**  
 Compute by: Known Q  
 Known Q (cfs) = 1.45

**Highlighted**  
 Depth (ft) = 0.27  
 Q (cfs) = 1.450  
 Area (sqft) = 0.64  
 Velocity (ft/s) = 2.25  
 Wetted Perim (ft) = 7.06  
 Crit Depth, Yc (ft) = 0.30  
Spread Width (ft) = 6.78  
 EGL (ft) = 0.35

**SECTION B-B  
Channel Report**

Hydrow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Tuesday, Sep 30 2014

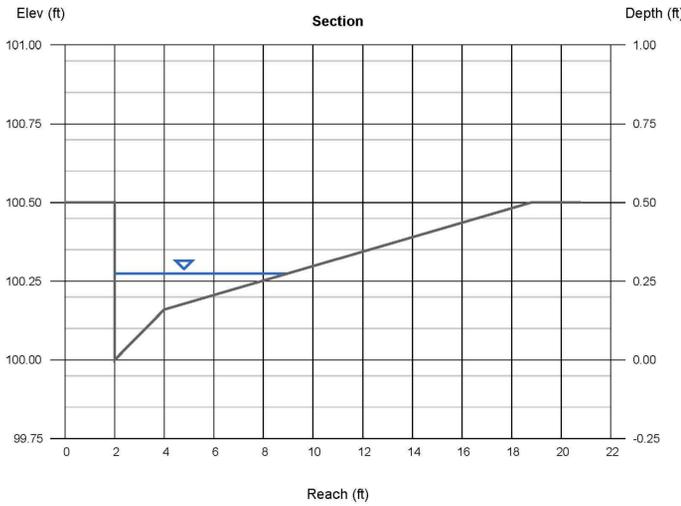
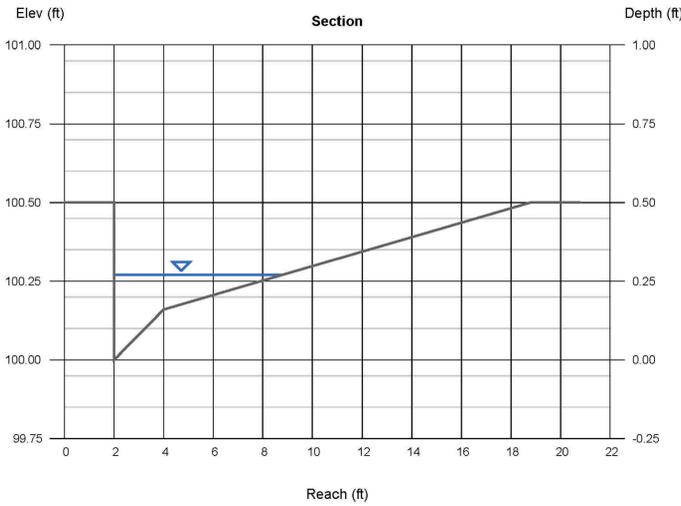
**POI #2 10 YEAR POST DEVELOPMENT**

**Gutter**  
 Cross Sl, Sx (ft/ft) = 0.023  
 Cross Sl, Sw (ft/ft) = 0.080  
 Gutter Width (ft) = 2.00  
 Invert Elev (ft) = 100.00  
 Slope (%) = 0.53  
 N-Value = 0.013

**Calculations**  
 Compute by: Known Q  
 Known Q (cfs) = 1.54

**Highlighted**  
 Depth (ft) = 0.28  
 Q (cfs) = 1.540  
 Area (sqft) = 0.68  
 Velocity (ft/s) = 2.27  
 Wetted Perim (ft) = 7.28  
 Crit Depth, Yc (ft) = 0.30  
Spread Width (ft) = 7.00  
 EGL (ft) = 0.36

INCREASE IN SPREAD FROM PRE TO POST STILL WITHIN MAXIMUM 8 ft THEREFORE THE INCREASE IN FLOW TO POI #2 IS NEGLIGIBLE



**SECTION C-C  
Channel Report**

Hydrow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Tuesday, Sep 30 2014

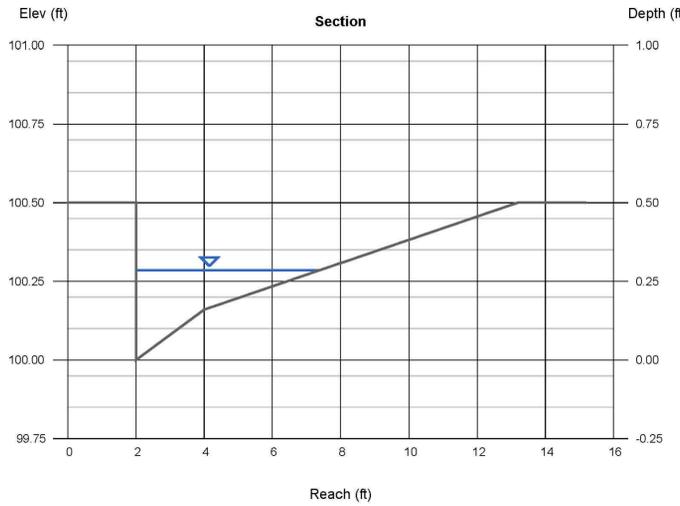
**POI #1 10 YEAR POST DEVELOPMENT**

**Gutter**  
 Cross Sl, Sx (ft/ft) = 0.037  
 Cross Sl, Sw (ft/ft) = 0.080  
 Gutter Width (ft) = 2.00  
 Invert Elev (ft) = 100.00  
 Slope (%) = 4.30  
 N-Value = 0.016

**Calculations**  
 Compute by: Known Q  
 Known Q (cfs) = 3.58

**Highlighted**  
 Depth (ft) = 0.28  
 Q (cfs) = 3.580  
 Area (sqft) = 0.62  
 Velocity (ft/s) = 5.76  
 Wetted Perim (ft) = 5.67  
 Crit Depth, Yc (ft) = 0.42  
Spread Width (ft) = 5.38  
 EGL (ft) = 0.80

5.35 ft < 8 ft MAXIMUM



GENERAL NOTE  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.

**BOHLER ENGINEERING**  
 CORPORATE OFFICE: WARREN, NJ  
 SURVEYORS: SOUTH BORO, MA; TOWSON, MD; ALABAMA; ARIZONA; CALIFORNIA; COLORADO; FLORIDA; GEORGIA; ILLINOIS; INDIANA; IOWA; KANSAS; MARYLAND; MASSACHUSETTS; MICHIGAN; MINNESOTA; MISSISSIPPI; MISSOURI; MONTANA; NEBRASKA; NEVADA; NEW HAMPSHIRE; NEW JERSEY; NEW YORK; NORTH CAROLINA; NORTH DAKOTA; OHIO; OKLAHOMA; PENNSYLVANIA; RHODE ISLAND; SOUTH CAROLINA; TEXAS; UTAH; VIRGINIA; WISCONSIN; WYOMING  
 PROJECT MANAGERS: ALABAMA; ARIZONA; ARKANSAS; CALIFORNIA; COLORADO; FLORIDA; GEORGIA; ILLINOIS; INDIANA; IOWA; KANSAS; MARYLAND; MASSACHUSETTS; MICHIGAN; MINNESOTA; MISSISSIPPI; MISSOURI; MONTANA; NEBRASKA; NEVADA; NEW HAMPSHIRE; NEW JERSEY; NEW YORK; NORTH CAROLINA; NORTH DAKOTA; OHIO; OKLAHOMA; PENNSYLVANIA; RHODE ISLAND; SOUTH CAROLINA; TEXAS; UTAH; VIRGINIA; WISCONSIN; WYOMING  
 ENVIRONMENTAL CONSULTANTS: ALABAMA; ARIZONA; ARKANSAS; CALIFORNIA; COLORADO; FLORIDA; GEORGIA; ILLINOIS; INDIANA; IOWA; KANSAS; MARYLAND; MASSACHUSETTS; MICHIGAN; MINNESOTA; MISSISSIPPI; MISSOURI; MONTANA; NEBRASKA; NEVADA; NEW HAMPSHIRE; NEW JERSEY; NEW YORK; NORTH CAROLINA; NORTH DAKOTA; OHIO; OKLAHOMA; PENNSYLVANIA; RHODE ISLAND; SOUTH CAROLINA; TEXAS; UTAH; VIRGINIA; WISCONSIN; WYOMING  
 LANDSCAPE ARCHITECTS: ALABAMA; ARIZONA; ARKANSAS; CALIFORNIA; COLORADO; FLORIDA; GEORGIA; ILLINOIS; INDIANA; IOWA; KANSAS; MARYLAND; MASSACHUSETTS; MICHIGAN; MINNESOTA; MISSISSIPPI; MISSOURI; MONTANA; NEBRASKA; NEVADA; NEW HAMPSHIRE; NEW JERSEY; NEW YORK; NORTH CAROLINA; NORTH DAKOTA; OHIO; OKLAHOMA; PENNSYLVANIA; RHODE ISLAND; SOUTH CAROLINA; TEXAS; UTAH; VIRGINIA; WISCONSIN; WYOMING

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

**NOT APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL 811 (WV 1-800-245-4545) (PA 1-800-242-1776) (DC 1-800-257-7777) (VA 1-800-552-7911) (MD 1-800-257-7777) (DE 1-800-282-8529)

**NOT APPROVED FOR CONSTRUCTION**

PROJECT No.: S132117  
 DRAWN BY: IS  
 CHECKED BY: MT  
 DATE: 10/3/14  
 SCALE: 1"=20'  
 CAD I.D.: DSD

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
 515 NORTH WASHINGTON STREET  
 CITY OF ALEXANDRIA, VA  
 LOTS 501 & 503  
 D.B. 981 PG. 774

**BOHLER ENGINEERING**  
 22636 DAVIS DRIVE, SUITE 250  
 STERLING, VIRGINIA 20164  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA  
 MICHAEL J. O'HARA JR.  
 Lic. No. 34168  
 11/14/14  
 PROFESSIONAL ENGINEER

**APPROVED**  
 SPECIAL USE PERMIT NO. DSUP 2013-0023  
 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

SHEET TITLE:  
**SECTION VIEWS**

SHEET NUMBER:  
**C-7.2**  
 OF 33

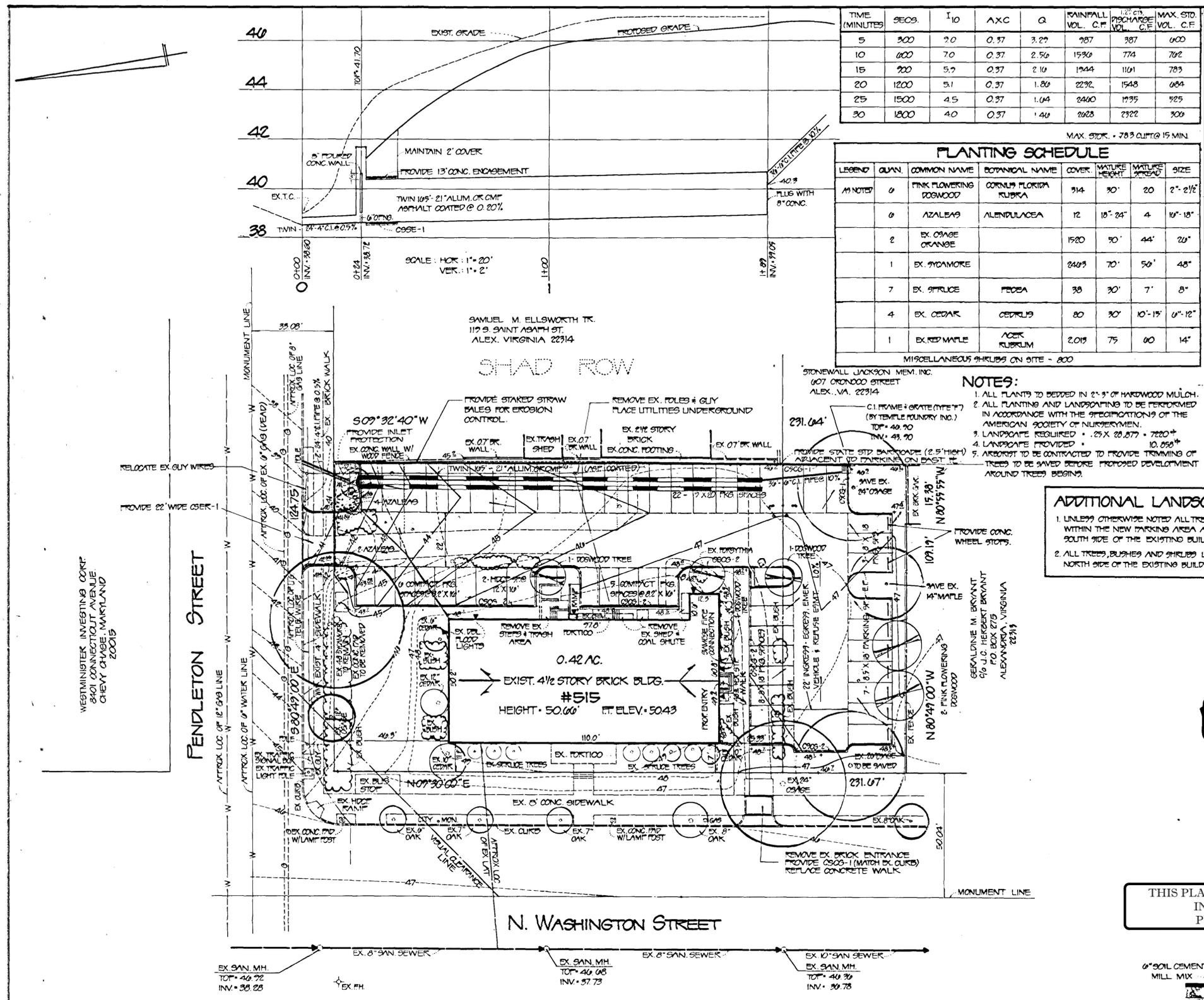
DRAWING NUMBER

DRAWING NUMBER  
82-003

82-003  
1 of 1  
Final Site Plan  
Leaf 501 & 502

DRAWING NUMBER

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT NO. 10000  
RELOCATED BY: JAMES W. HARRIS, JR. • ALEXANDRIA, VA. 22304



TIME (MINUTES)	SECS	I 10	A X C	Q	RAINFALL VOL. C.F.	DISCHARGE VOL. C.F.	MAX. STO. VOL. C.F.
5	300	2.0	0.37	3.27	287	387	600
10	600	7.0	0.37	2.56	1590	774	782
15	900	5.2	0.37	2.10	1244	1101	783
20	1200	5.1	0.37	1.80	2232	1548	684
25	1500	4.5	0.37	1.04	2460	1935	525
30	1800	4.0	0.37	1.40	2883	2322	300

LEGEND	QUAN	COMMON NAME	BOTANICAL NAME	COVER	MATURE HEIGHT	MATURE SPREAD	SIZE
AS NOTED	0	PINK FLOWERING DOGWOOD	CORNUS FLORIDA RUBRA	914	30'	20'	2" - 2 1/2"
	0	AZALEAS	ALINDULACEA	12	15' - 24'	4'	10" - 18"
	2	EX. ORANGE ORANGE		1520	30'	44'	20"
	1	EX. YUCCAMORE		2409	70'	50'	48"
	7	EX. SPRUCE	FECEA	38	30'	7'	8"
	4	EX. CEDAR	CEDEKLIS	80	30'	10' - 15'	6" - 12"
	1	EX. RED MAPLE	ACER RUBRUM	2019	75'	60'	14"

MISCELLANEOUS SHRUBS ON SITE - 800

NOTES:  
 1. ALL PLANTS TO BE BEDDED IN 2" - 3" OF HARDWOOD MULCH.  
 2. ALL PLANTING AND LANDSCAPING TO BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN SOCIETY OF NURSERYMEN.  
 3. LANDSCAPE REQUIRED - 25 X 20.877 - 7220+  
 4. LANDSCAPE PROVIDED - 10,050+  
 5. ARBORIST TO BE CONTRACTED TO PROVIDE TRIMMING OF TREES TO BE SAVED BEFORE PROPOSED DEVELOPMENT AROUND TREES BEGINS.

ADDITIONAL LANDSCAPE NOTES:  
 1. UNLESS OTHERWISE NOTED ALL TREES, BUSHES AND SHRUBS WITHIN THE NEW PARKING AREA AND ALONG THE EAST AND SOUTH SIDE OF THE EXISTING BUILDING SHALL BE REMOVED.  
 2. ALL TREES, BUSHES AND SHRUBS LOCATED ON THE WEST AND NORTH SIDE OF THE EXISTING BUILDING WILL REMAIN.

**Released**  
 4-8-82  
 CWD

DETENTION COMPUTATIONS

DRAINAGE AREA = 0.42 AC  
 Time of Concentration = 5 min.  
 Intensity of 10 Year 5 min. = 1.20 inches/hour

Predevelopment Runoff:  
 $0.42 \times 0.92 \times 1.20 = 1.97 \text{ cfs}$

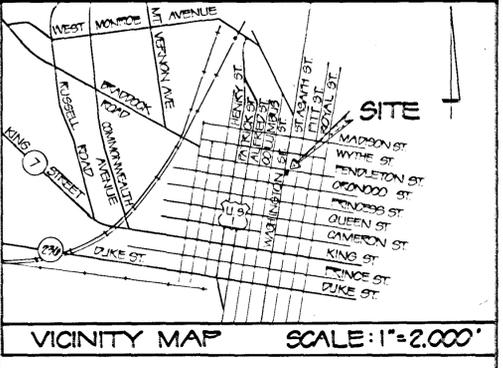
Post-development Runoff:  
 $0.42 \times 0.87 \times 2.0 = 3.20 \text{ cfs}$

Increased Runoff = 1.23 cfs

Detention Required:  
 $1.23 \text{ cfs} \times 600 = 732 \text{ cu. ft.}$

Storage Provided = 774 cu. ft.

ORIFICE FORMULA:  $Q = C_d A \sqrt{2gh}$   
 $0.6 \times 0.20 \sqrt{2 \times 32.17 \times 1.75} = 1.23 \text{ cfs}$



1.23 CFS EXITING THE ORIFICE WILL MATCH IN THE PRE AND POST CONDITION DUE TO THE SAME AMOUNT OF FLOW COMING INTO THE DETENTION SYSTEM

NOTES:

- OWNER: S.H. LIMITED PARTNERSHIP  
216 N. LEE STREET SUITE 300  
ALEXANDRIA, VIRGINIA
- CONTRACT PURCHASER: STEVENS, DAVIS, MILLER & MOSHER BLDG GROUP  
1911 JEFF DAVIS HWY., P.O. BOX 2027  
SUITE 600, CRYSTAL MALL I., ARL., VA., 22202
- TAX MAP: 04-02-4-1 & L01
- ZONE: C-3
- PROPOSED USE: OFFICE
- NPA OFFICES: 18,000+
- PARKING: REQUIRED: FULL SIZE PKG. 45 X 25 X 12  
PROVIDED: FULL SIZE PKG. - 22
- TOTAL REQUIRED: 45 SPACES
- TOTAL PROVIDED: 53 SPACES
- EXISTING BLDG. AREA: 5,692 sq
- TOTAL SITE AREA: 28,879 sq
- JAN. 12, 1981 INSPECTION BY MACKLIN HANSEN REAL ESTATE THAT ALL 12 - 150 WATTS FLOOD LIGHTS ARE WORKING - EX. 11 FOOT CANDLES
- P.A.R. - 0.82

APPROVED  
 DEPT. OF TRANSPORTATION AND ENVIRONMENTAL SERVICES  
 ALEXANDRIA, VIRGINIA  
*Chairman of Planning Commission*  
 DATE: \_\_\_\_\_  
 DIVISION OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

CITY MYLAR

THIS PLAN TO BE UTILIZED FOR INFORMATIONAL PURPOSES ONLY

*Kenneth W. White*  
 KENNETH W. WHITE, L.S.

FINAL SITE PLAN

LOTS 501 & 502

C.D. FOUR No. 3  
 CITY OF ALEXANDRIA, VIRGINIA  
**82-003**

SCALE: 1" = 20' DATE: JAN. 4, 1982

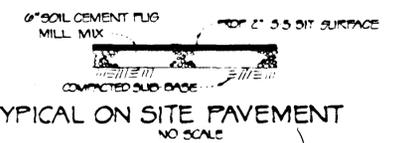
**ALEXANDRIA SURVEYS, INC.**  
 3105 COLVIN STREET ALEXANDRIA, VA 22314

REVISION: 1 REVISED AS PER COMMENTS DATE: 2/5/82

BENCH MARK NOTE:  
 U.S.C. & G.S. MONUMENT (FENDLETON) LOCATED ON THE NORTHWEST FACE OF BUILDING (#515 N. WASHINGTON ST.) AT GROUND LEVEL ELEVATION = 42.20

RICHARD C. OR MILKED W. DAVIS  
 900 N. WASH. ST.  
 ALEX. VIRGINIA. 22314

- FREEMAN, ILONA & SHARON K. LIEBERICH 4004 SHARPLACE ALEX. VA. 22304
- METROPOLITAN PRODUCTIONS INC. 528 N. WASH. ST. ALEX. VA. 22314
- GEORGE W. TOOLE 8715 QUEEN ELIZABETH BLVD ANNAPOLIS, VA. 22003
- MITCHELL, JAMES O.K. 522 N. WASHINGTON ST. ALEX. VIRGINIA 22314
- WARREN, MARGORIE S. 811 MARSHALL LANE ALEXANDRIA, VA. 22302
- LINDBERG, CAROL L. 514 N. WASH. ST. ALEXANDRIA, VA. 22314
- GAME
- SAMUEL B. OR ALICE D. COOPERMAN 916 N. WASH. ST. ALEX. VA. 22314
- WILLIAM C. OR LEVIA M. TULLARD 916 N. WASH. ST. ALEX. VA. 22314



LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION; INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

82-003





Drainage Area A													
Drainage Area A Land Cover (acres)													
	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv							
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00	0.00	0.00						
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.16	0.16	0.25	0.25						
Impervious Cover (acres)	0.00	0.00	0.00	0.50	0.50	0.95	0.95						
				<b>Total</b>	<b>0.66</b>								
					<b>Post Development Treatment Volume (cf) 1869</b>								
<b>Apply Runoff Reduction Practices to Reduce Treatment Volume &amp; Post-Development Load in Drainage Area A</b>													
Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practice (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practice (lbs.)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
<b>1. Vegetated Roof</b>													
1.a. Vegetated Roof #1 (Spec #5)	acres of green roof	45% runoff volume reduction	0.45	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
1.b. Vegetated Roof #2 (Spec #5)	acres of green roof	60% runoff volume reduction	0.60	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
<b>2. Rooftop Disconnection</b>													
2.a. Simple Disconnection to AB Soils (Spec #1)	impervious acres disconnected	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
2.b. Simple Disconnection to C/D Soils (Spec #1)	impervious acres disconnected	25% runoff volume reduction for treated area	0.25	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
2.c. To Soil Amended Filter Path as per specifications (existing C/D soils) (Spec #4)	impervious acres disconnected	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
2.d. To Dry Well or French Drain #1 (Micro-infiltration #1) (Spec #6)	impervious acres disconnected	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
2.e. To Dry Well or French Drain #2 (Micro-infiltration #2) (Spec #8)	impervious acres disconnected	90% runoff volume reduction for treated area	0.90	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
2.f. To Rain Garden #1 (Micro-bioretenion #1) (Spec #9)	impervious acres disconnected	40% of volume captured	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
2.g. To Rain Garden #2 (Micro-bioretenion #2) (Spec #9)	impervious acres disconnected	80% runoff volume reduction for treated area	0.80	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
2.h. To Rainwater Harvesting (Spec #6)	impervious acres captured	based on tank size and design spreadsheet (See Spec #6)	0.00	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
2.i. To Stormwater Planter (Urban Bioretention) (Spec #8, Appendix A)	impervious acres disconnected	40% runoff volume reduction for treated area	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
<b>3. Permeable Pavement</b>													
3.a. Permeable Pavement #1 (Spec #7)	acres of permeable pavement + acres of "external" (upgradient) impervious pavement	45% runoff volume reduction	0.45	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
3.b. Permeable Pavement #2 (Spec #7)	acres of permeable pavement	75% runoff volume reduction	0.75	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
<b>4. Grass Channel</b>													
4.a. Grass Channel AB Soils (Spec #3)	impervious acres draining to grass channels	20% runoff volume reduction	0.20	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to grass channels	20% runoff volume reduction	0.20	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
4.b. Grass Channel CD Soils (Spec #3)	impervious acres draining to grass channels	10% runoff volume reduction	0.10	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to grass channels	10% runoff volume reduction	0.10	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
4.c. Grass Channel Compost Amended Soils as per spec (see Spec #4)	impervious acres draining to grass channels	30% runoff volume reduction	0.20	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to grass channels	30% runoff volume reduction	0.20	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
<b>5. Dry Swale</b>													
5.a. Dry Swale #1 (Spec #10)	impervious acres draining to dry swale	40% runoff volume reduction	0.40	0.00	0	0	0	20	0.00	0.00	0.00	0.00	
	turf acres draining to dry swale	40% runoff volume reduction	0.40	0.00	0	0	0	20	0.00	0.00	0.00	0.00	
5.b. Dry Swale #2 (Spec #10)	impervious acres draining to dry swale	60% runoff volume reduction	0.60	0.00	0	0	0	40	0.00	0.00	0.00	0.00	
	turf acres draining to dry swale	60% runoff volume reduction	0.60	0.00	0	0	0	40	0.00	0.00	0.00	0.00	
<b>6. Bioretention</b>													
6.a. Bioretention #1 or Urban Bioretention (Spec #9)	impervious acres draining to bioretention	40% runoff volume reduction	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
	turf acres draining to bioretention	40% runoff volume reduction	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
6.b. Bioretention #2 (Spec #9)	impervious acres draining to bioretention	80% runoff volume reduction	0.80	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
	turf acres draining to bioretention	80% runoff volume reduction	0.80	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
<b>7. Infiltration</b>													
7.a. Infiltration #1 (Spec #8)	impervious acres draining to infiltration	50% runoff volume reduction	0.50	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
	turf acres draining to infiltration	50% runoff volume reduction	0.50	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
7.b. Infiltration #2 (Spec #8)	impervious acres draining to infiltration	90% runoff volume reduction	0.90	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
	turf acres draining to infiltration	90% runoff volume reduction	0.90	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
<b>8. Extended Detention Pond</b>													
8.a. ED #1 (Spec #15)	impervious acres draining to ED	0% runoff volume reduction	0.00	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to ED	0% runoff volume reduction	0.00	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
8.b. ED #2 (Spec #15)	impervious acres draining to ED	15% runoff volume reduction	0.15	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
	turf acres draining to ED	15% runoff volume reduction	0.15	0.00	0	0	0	15	0.00	0.00	0.00	0.00	
<b>9. Sheetflow to Filter/Open Space</b>													
9.a. Sheetflow to Conservation Area with AB Soils (Spec #2)	impervious acres draining to conserved open space	75% runoff volume reduction for treated area	0.75	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
	turf acres draining to conserved open space	75% runoff volume reduction for treated area	0.75	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
9.b. Sheetflow to Conservation Area with C/D Soils (Spec #2)	impervious acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
	turf acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
9.c. Sheetflow to Vegetated Filter Strip in A Soils or Compost Amended B/C/D Soils (Spec #2 & #4)	impervious acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
	turf acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
		<b>TOTAL IMPERVIOUS COVER TREATED (ac)</b>		0.00									
		<b>TOTAL TURF AREA TREATED (ac)</b>		0.00									
		<b>AREA CHECK</b>	<b>OK</b>										
		<b>TOTAL PHOSPHORUS REMOVAL REQUIRED ON SITE (lb/yr)</b>					0.07						
		<b>TOTAL RUNOFF REDUCTION IN D.A. A (cf)</b>					0						
		<b>PHOSPHORUS REMOVAL FROM RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr)</b>					0.00						

GENERAL NOTE  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.

Practice	Unit	Description of Credit	Credit	Area (including areas treated by upstream practices)	Runoff from Upstream RR Practices (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practice (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
10.a. Wet Swale #1 (Spec #11)	impervious acres draining to wet swale		0.00	0.00	0.00	0	0	20	0.00	0.00	0.00	0.00	
	turf acres draining to wet swale		0.00	0.00	0	0	0	20	0.00	0.00	0.00	0.00	
10.b. Wet Swale #2 (Spec #11)	impervious acres draining to wet swale		0.00	0.00	0.00	0	0	40	0.00	0.00	0.00	0.00	
	turf acres draining to wet swale		0.00	0.00	0	0	0	40	0.00	0.00	0.00	0.00	
11.a. Filtering Practice #1 (Spec #12)	impervious acres draining to filter		0.00	0.00	0	0	0	60	0.00	0.00	0.00	0.00	
	turf acres draining to filter		0.00	0.00	0	0	0	60	0.00	0.00	0.00	0.00	
11.b. Filtering Practice #2 (Spec #12)	impervious acres draining to filter		0.00	0.00	0	0	0	65	0.00	0.00	0.00	0.00	
	turf acres draining to filter		0.00	0.00	0	0	0	65	0.00	0.00	0.00	0.00	
12.a. Constructed Wetland #1 (Spec #13)	impervious acres draining to wetland		0.00	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
	turf acres draining to wetland		0.00	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
12.b. Constructed Wetland #2 (Spec #13)	impervious acres draining to wetland		0.00	0.00	0	0	0	75	0.00	0.00	0.00	0.00	
	turf acres draining to wetland		0.00	0.00	0	0	0	75	0.00	0.00	0.00	0.00	
13.a. Wet Pond #1 (Spec #14)	impervious acres draining to wet pond		0.00	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
	turf acres draining to wet pond		0.00	0.00	0	0	0	50	0.00	0.00	0.00	0.00	
13.b. Wet Pond #1 (Coastal Plain) (Spec #14)	impervious acres draining to wet pond		0.00	0.00	0	0	0	45	0.00	0.00	0.00	0.00	
	turf acres draining to wet pond		0.00	0.00	0	0	0	45	0.00	0.00	0.00	0.00	
13.c. Wet Pond #2 (Spec #14)	impervious acres draining to wet pond		0.00	0.00	0	0	0	75	0.00	0.00	0.00	0.00	
	turf acres draining to wet pond		0.00	0.00	0	0	0	75	0.00	0.00	0.00	0.00	
13.d. Wet Pond #2 (Coastal Plain) (Spec #14)	impervious acres draining to wet pond		0.00	0.00	0	0	0	65	0.00	0.00	0.00	0.00	
	turf acres draining to wet pond		0.00	0.00	0	0	0	65	0.00	0.00	0.00	0.00	
Stormfilter	impervious acres draining to device		0.08	0.00	0	0	276	45	0.00	0.17	0.08	0.10	None
	turf acres draining to device		0.06	0.00	0	0	207	45	0.00	0.03	0.02	0.02	None
		<b>TOTAL IMPERVIOUS COVER TREATED (ac)</b>		0.08									
		<b>TOTAL TURF AREA TREATED (ac)</b>		0.06									
		<b>AREA CHECK</b>	<b>OK</b>										
		<b>PHOSPHORUS REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A</b>				0.09							
		<b>TOTAL PHOSPHORUS REMOVAL IN D.A. A (lb/yr)</b>				0.09							
		<b>SEE WATER QUALITY COMPLIANCE TAB FOR SITE COMPLIANCE CALCULATIONS</b>											
		<b>NITROGEN REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A</b>				0.00							
		<b>TOTAL NITROGEN REMOVAL IN D.A. A (lb/yr)</b>				0.00							

TOTAL SITE AREA: 0.66 AC  
 PHOSPHORUS REMOVAL REQUIRED: 0.07 lb/yr  
 BMP AREA: 0.14 AC  
 BMP TYPE: STORMFILTER  
 BMP PHOSPHORUS REMOVAL EFFICIENCY: 45%  
 PHOSPHORUS REMOVAL PROVIDED: 0.09 lb/yr

APPROVED  
 SPECIAL USE PERMIT NO. DSUP 2013-0023  
 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
 DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DATE RECORDED: \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

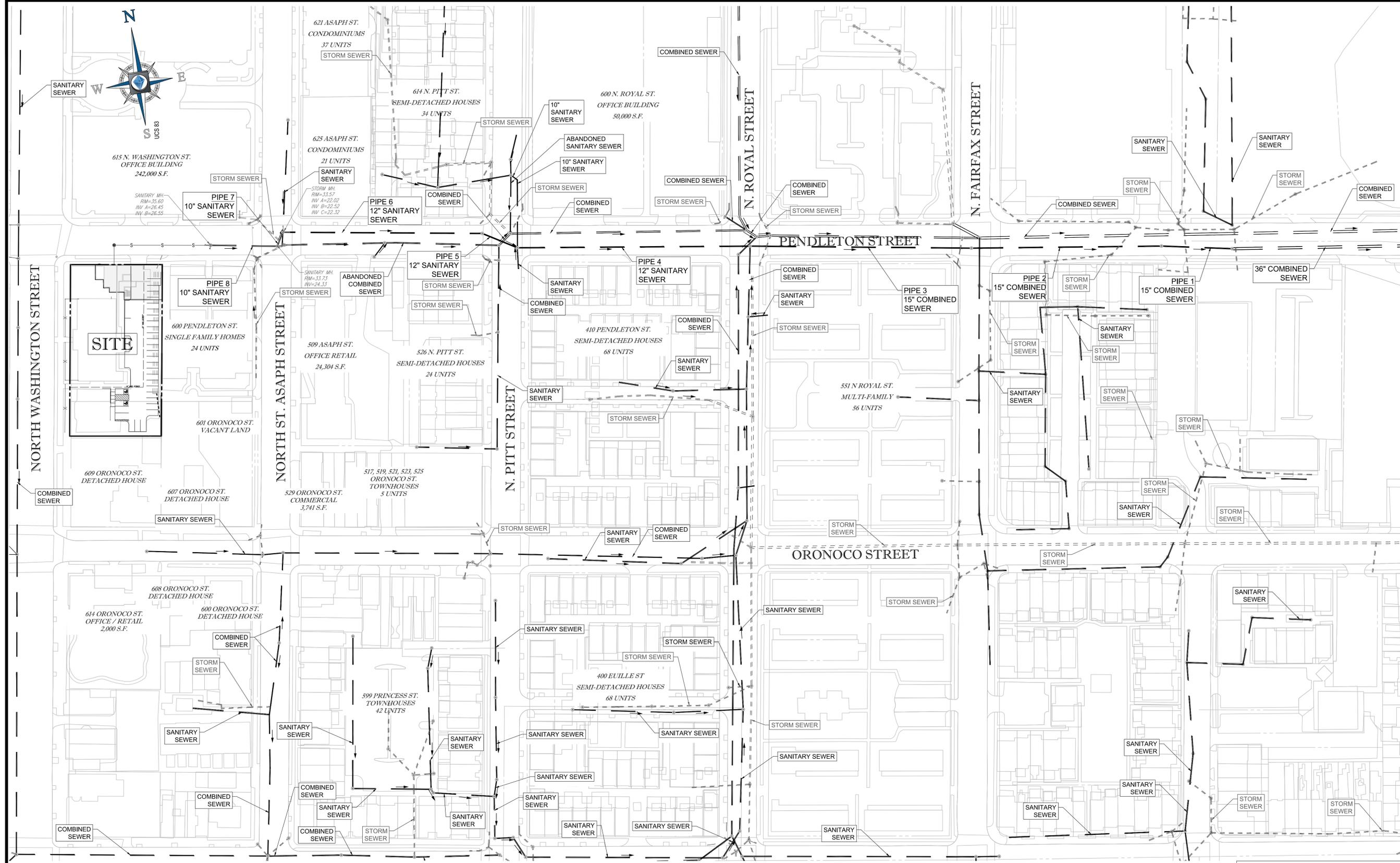
**BOHLER ENGINEERING**  
 CORPORATE OFFICE:  
 WARREN, NJ  
 PROJECT MANAGERS:  
 SOUTH BOROUGHS, MA  
 BOWIE, MD  
 TOWSON, MD  
 ALBANY, NY  
 WARRINGTON, VA  
 CHARLOTTE, NC  
 CHESAPEAKE, VA  
 TAMPA, FL  
 CHARLOTTE, NC  
 CHESAPEAKE, VA  
 LANDSCAPE ARCHITECTS  
 ENVIRONMENTAL CONSULTANTS  
 SURVEYORS  
 CIVIL & CONSULTING ENGINEERS

REVISIONS

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: S132117  
 DRAWN BY: IS  
 CHECKED BY: MT  
 DATE: 10/31/14  
 SCALE: 1"=20'  
 CAD I.D.: SW1



**BOHLER ENGINEERING**  
 CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:  
 WARREN, NJ

OTHER OFFICES:  
 SOUTH BOROUGHS, MA  
 TOWSON, MD  
 ALBANY, NY  
 CHALFONTE, PA  
 TAMPA, FL  
 WARRINGTON, VA  
 PHILADELPHIA, PA  
 CHARLOTTE, NC

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

**NOT APPROVED FOR CONSTRUCTION**

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**PROJECT INFORMATION**

PROJECT No.:	S132117
DRAWN BY:	IS
CHECKED BY:	MT
DATE:	10/31/14
SCALE:	1"=20'
CAD I.D.:	S01

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
 515 NORTH WASHINGTON STREET  
 CITY OF ALEXANDRIA, VA  
 LOTS 501 & 503  
 D.B. 981 PG. 774

**BOHLER ENGINEERING**  
 22636 DAVIS DRIVE, SUITE 250  
 STERLING, VIRGINIA 20164  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 www.BohlerEngineering.com

**COMMONWEALTH OF VIRGINIA**  
 MICHAEL J. O'HARA JR.  
 Lic. No. 34168  
 11/14/14  
 PROFESSIONAL ENGINEER

**SANITARY SEWER OUTFALL NARRATIVE**

ANALYSIS HAS BEEN PREPARED PER MEMO TO THE INDUSTRY NO. 06-14, DATED JUNE 20, 2014 ON NEW SANITARY SEWER CONNECTION AND ADEQUATE OUTFALL ANALYSIS - UPDATED, PER THE MEMO. ADEQUATE OUTFALL ANALYSIS SHALL BE SHOWN UP TO A 24" MAIN. THE ADEQUATE OUTFALL ANALYSIS STOPS AT A 36" COMBINED SEWER. PIPE SLOPES WERE ASSUMED TO BE 0.03% WHEN PIPE INVERTS WERE UNKNOWN. THE CITY OF ALEXANDRIA WILL PROVIDE AS BUILT DOCUMENTS TO CONFIRM THE EXISTING PIPE INVERTS AND SLOPES.

THE PROPOSED SANITARY SEWER LATERAL AND MAIN CONNECT TO A 10" EXISTING SANITARY MAIN UNDER PENDLETON STREET. EACH EXISTING SANITARY SEWER MAIN HAS ADEQUATE CAPACITY PER THE COMPUTATIONS (SEE NEXT SHEET). IT IS THE OPINION OF THE ENGINEER OR RECORD THAT THE SITE HAS AN ADEQUATE SANITARY OUTFALL.

THE SANITARY FLOWS FROM BOTH BUILDINGS ON SITE ARE CONVEYED BY A PROPOSED 6" SANITARY LATERAL AND A PROPOSED 10" SANITARY MAIN WHICH CONNECTS TO PIPE 5, AN EXISTING 10" SANITARY MAIN. BASED ON THE COMPUTATIONS PROVIDED ON THE NEXT SHEET, THE EXISTING SEWER NETWORK (PIPES 1-8) HAS CAPACITY TO CONVEY THE PEAK FLOW WITH THE PROPOSED CONDITIONS.

THE EXISTING PIPE NETWORK HAS THE FOLLOWING PROJECTED FLOWS:  
 PIPE 8: 0.41 (10.95% FULL WORST CONDITION)  
 PIPE 7: 0.41 (10.23% FULL WORST CONDITION)  
 PIPE 6: 0.48 (7.73% FULL WORST CONDITION)  
 PIPE 5: 0.48 (8.28% FULL WORST CONDITION)  
 PIPE 4: 0.48 (78.20% FULL WORST CONDITION)  
 PIPE 3: 0.90 (79.86% FULL WORST CONDITION)  
 PIPE 2: 0.90 (79.81% FULL WORST CONDITION)  
 PIPE 1: 0.90 (79.86% FULL WORST CONDITION)

**APPROVED**  
 SPECIAL USE PERMIT NO. DSUP.2013-0023  
 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

SHEET TITLE:  
**SANITARY OUTFALL ANALYSIS**

SHEET NUMBER:  
**C-9.0**  
 OF 33

**GENERAL NOTE**  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

EXISTING SITE FLOW:					
FLOWING INTO PIPE 8					
ADF=	24 UNITS X (350 GPD / UNIT) =	8400	GPD	0.0130	CFS
PEAK FLOW =	8400 GPD X 4 =	33600	GPD	0.0520	CFS
<b>615 N. WASHINGTON ST. OFFICE BUILDING</b>					
ADF=	242,000 S.F. X (200 GPD / 1,000 S.F.) =	48400	GPD	0.0749	CFS
PEAK FLOW =	48400 GPD X 4 =	193600	GPD	0.2996	CFS
<b>TOTAL</b>	<b>0.3516</b>	<b>CFS</b>			
FLOWING INTO PIPE 6					
<b>625 ASAPH ST. CONDOMINIUMS</b>					
ADF=	21 UNITS X (300 GPD / UNIT) =	6300	GPD	0.0097	CFS
PEAK FLOW =	6300 GPD X 4 =	25200	GPD	0.0390	CFS
<b>509 ASAPH ST. OFFICE RETAIL BUILDING</b>					
ADF =	24,304 S.F. X (200 GPD / 1,000 S.F.) =	4861	GPD	0.0075	CFS
PEAK FLOW =	4861 GPD X 4 =	19443	GPD	0.0301	CFS
<b>TOTAL</b>	<b>0.0691</b>	<b>CFS</b>			
FLOWING INTO PIPE 3					
<b>614 ORONOCO ST. OFFICE / RETAIL</b>					
ADF=	2,000 S.F. X (200 GPD / 1,000 S.F.) =	400	GPD	0.0006	CFS
PEAK FLOW =	11900 GPD X 4 =	1600	GPD	0.0025	CFS
<b>609 ORONOCO ST. DETACHED HOUSE</b>					
ADF=	1 UNIT X (350 GPD / UNIT) =	350	GPD	0.0005	CFS
PEAK FLOW =	350 GPD X 4 =	1400	GPD	0.0022	CFS
<b>608 ORONOCO ST. DETACHED HOUSE</b>					
ADF=	1 UNIT X (350 GPD / UNIT) =	350	GPD	0.0005	CFS
PEAK FLOW =	350 GPD X 4 =	1400	GPD	0.0022	CFS
<b>607 ORONOCO ST. DETACHED HOUSE</b>					
ADF=	1 UNIT X (350 GPD / UNIT) =	350	GPD	0.0005	CFS
PEAK FLOW =	350 GPD X 4 =	1400	GPD	0.0022	CFS
<b>600 ORONOCO ST. DETACHED HOUSE</b>					
ADF=	1 UNIT X (350 GPD / UNIT) =	350	GPD	0.0005	CFS
PEAK FLOW =	350 GPD X 4 =	1400	GPD	0.0022	CFS
<b>529 ORONOCO ST. COMMERCIAL</b>					
ADF =	3,741 S.F. X (200 GPD / 1,000 S.F.) =	748	GPD	0.0012	CFS
PEAK FLOW =	748 GPD X 4 =	2993	GPD	0.0046	CFS
<b>517, 519, 521, 523, 525 ORONOCO ST. TOWNHOUSES</b>					
ADF=	5 UNITS X (350 GPD / UNIT) =	1750	GPD	0.0027	CFS
PEAK FLOW =	1750 GPD X 4 =	7000	GPD	0.0108	CFS
<b>599 PRINCESS ST. TOWNHOUSES</b>					
ADF=	42 UNITS X (350 GPD / UNIT) =	14700	GPD	0.0227	CFS
PEAK FLOW =	14700 GPD X 4 =	58800	GPD	0.0910	CFS
<b>400 EUILLE ST. SEMI-DETACHED HOMES</b>					
ADF=	68 UNITS X (350 GPD / UNIT) =	23800	GPD	0.0368	CFS
PEAK FLOW =	23800 GPD X 4 =	95200	GPD	0.1473	CFS
<b>410 PENDLETON ST. SEMI-DETACHED HOMES</b>					
ADF=	68 UNITS X (350 GPD / UNIT) =	23800	GPD	0.0368	CFS
PEAK FLOW =	23800 GPD X 4 =	95200	GPD	0.1473	CFS
<b>TOTAL</b>	<b>0.4122</b>	<b>CFS</b>			
PROPOSED SITE FLOW:					
ADDITIONAL PROPOSED FLOW INTO PIPE 8					
<b>EXISTING OFFICE BUILDING WITH PROPOSED RESIDENTIAL USE</b>					
ADF =	25 UNITS X (300 GPD / UNIT) =	7500	GPD	0.0116	CFS
PEAK FLOW =	7500 GPD X 4 =	30000	GPD	0.0464	CFS
<b>PROPOSED APARTMENT BUILDING</b>					
ADF =	9 UNITS X (300 GPD / UNIT) =	2700	GPD	0.0042	CFS
PEAK FLOW =	2700 GPD X 4 =	10800	GPD	0.0167	CFS
<b>TOTAL FLOW =</b>	<b>0.0631</b>	<b>CFS</b>			

EXISTING SANITARY SEWER COMPUTATIONS FOR THE SEWER MAIN ON WOLFE STREET							n = 0.013	
PIPE	INV. HEIGHT (FT-ELEV)	INV. LOW (FT-ELEV)	PIPE LENGTH (FT)	PIPE SIZE (IN)	PIPE SLOPE (%)	CAPACITY (CFS)	PROJECTED FLOWS (CFS)	% FULL
8	26.45	24.33	71.33	10	2.97%	3.79	0.35	9.28%
7	24.33	23.41	27	10	3.41%	4.06	0.35	8.67%
6	23.24	15.05	267	12	3.07%	6.26	0.42	6.72%
5	14.95	13.56	52	12	2.67%	5.84	0.42	7.20%
4'	13.56	13.47	316.77	12	0.03%	0.62	0.42	67.99%
3'	13.465	13.38	300	15	0.03%	1.12	0.83	74.24%
2'	13.375	13.30	258	15	0.03%	1.12	0.83	74.19%
1'	13.2975	13.27	96	15	0.03%	1.12	0.83	74.24%

\*PIPE INVERTS ARE UNKNOWN. A 0.03% PIPE SLOPE WAS ASSUMED

**REFERENCES:**

1. ENTITLED, "POTOMAC PLAZA OFFSITE SANITARY SEWER PLAN" PREPARED BY BOWMAN CONSULTING, DATED MAY 2004, REVISED AUGUST 24, 2004, FILE # 1744-D-CP-002.
2. CITY OF ALEXANDRIA'S GIS PARCEL VIEWER AND SEWER VIEWER.

EXISTING SANITARY SEWER COMPUTATIONS FOR THE SEWER MAIN ON WOLFE STREET							n = 0.013	
PIPE	INV. HEIGHT (FT-ELEV)	INV. LOW (FT-ELEV)	PIPE LENGTH (FT)	PIPE SIZE (IN)	PIPE SLOPE (%)	CAPACITY (CFS)	PROJECTED FLOWS (CFS)	% FULL
8	26.45	24.33	71.33	10	2.97%	3.79	0.41	10.95%
7	24.33	23.41	27	10	3.41%	4.06	0.41	10.23%
6	23.24	15.05	267	12	3.07%	6.26	0.48	7.73%
5	14.95	13.56	52	12	2.67%	5.84	0.48	8.28%
4'	13.56	13.47	316.77	12	0.03%	0.62	0.48	78.20%
3'	13.465	13.38	300	15	0.03%	1.12	0.90	79.86%
2'	13.375	13.30	258	15	0.03%	1.12	0.90	79.81%
1'	13.2975	13.27	96	15	0.03%	1.12	0.90	79.86%

\*PIPE INVERTS ARE UNKNOWN. A 0.03% PIPE SLOPE WAS ASSUMED

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APPROVED  
SPECIAL USE PERMIT NO. DSUP 2013 - 0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
WARREN, NJ

SUBOFFICES:  
SOUTH BORO, NJ  
SOUTH BORO, MA  
SOUTH BORO, VT  
SOUTH BORO, PA  
SOUTH BORO, VA  
SOUTH BORO, FL  
SOUTH BORO, NC

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	11/14/14	DSUP COMPLETENESS COMMENTS	IS

**NOT APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV: 1-800-245-4649) (PA: 1-800-242-1776) (DC: 1-800-257-7777) (VA: 1-800-552-7911) (MD: 1-800-257-7777) (DE: 1-800-252-8529)

PROJECT No.: S132117  
DRAWN BY: IS  
CHECKED BY: MT  
DATE: 10/31/14  
SCALE: 1"=20'  
CAD I.D.: S01

PROJECT: **DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE:  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

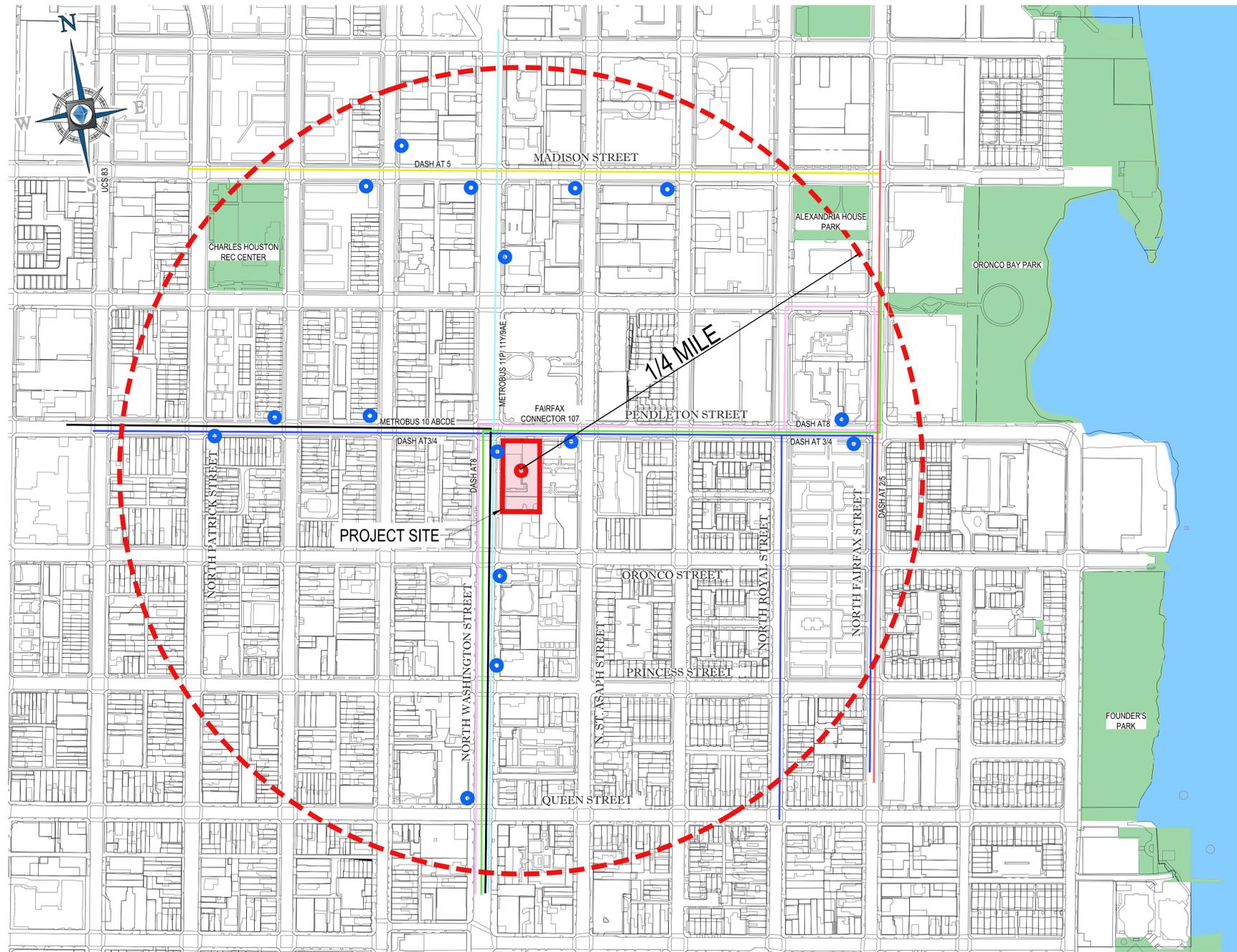
**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA  
MICHAEL J. O'HARA JR.  
Lic. No. 34168  
11/14/14  
PROFESSIONAL ENGINEER

SHEET TITLE: **SANITARY OUTFALL ANALYSIS**

SHEET NUMBER: **C-9.1**  
OF 33



### LEGEND

-  TRANSIT STOP
-  TRANSIT LINE
-  TRANSIT LINE
-  TRANSIT LINE

NOTE: THERE ARE NO METRO STOPS WITHIN A 1/4 MILE OF THE PROJECT SITE

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
WARREN, NJ

REGIONAL OFFICES:  
BOSTON, MA  
NEW YORK, NY  
PHILADELPHIA, PA  
RICHMOND, VA  
TAMPA, FL

SERVICES:  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

REVISIONS				
REV	DATE	COMMENT	BY	IS
1	11/14/14	DSUP COMPLETENESS COMMENTS		

**NOT APPROVED FOR CONSTRUCTION**

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PROJECT No.:	S132117
DRAWN BY:	IS
CHECKED BY:	MT
DATE:	10/31/14
SCALE:	1"=200'
CAD I.D.:	CP1

**DEVELOPMENT SPECIAL USE PERMIT (DSUP) FOR CAS REIGLER**

LOCATION OF SITE  
515 NORTH WASHINGTON STREET  
CITY OF ALEXANDRIA, VA  
LOTS 501 & 503  
D.B. 981 PG. 774

**BOHLER ENGINEERING**

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MICHAEL J. O'HARA JR.  
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11/14/14  
PROFESSIONAL ENGINEER

APPROVED  
SPECIAL USE PERMIT NO. DSUP 2013 - 0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

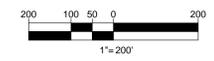
DATE RECORDED \_\_\_\_\_

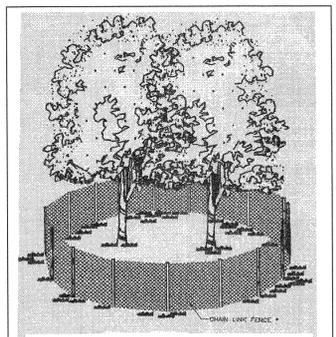
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

SHEET TITLE:  
**CONTEXTUAL SITE PLAN**

SHEET NUMBER:  
**C-10.0**  
OF 33

GENERAL NOTE  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH LOCAL, STATE AND FEDERAL CODES.





1 TREE PROTECTION FENCE  
1 ELEVATION SCALE: N.T.S

**GENERAL NOTES**

1. TOPOGRAPHIC AND BOUNDARY SURVEY BY
2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/TC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

**KEY**

	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS
	WATER
	SEWER
	OVERHEAD LINE
	SANITARY MH
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TBT TO BE TRANSPANTED
	TBR TO BE REMOVED
	GC GENERAL CONTRACTOR
	LC LANDSCAPE CONTRACTOR

**APPROVED**  
SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



**Existing Trees**

No.	Species	DBH (measured at 4'-6" above grade)	Caliper (measured at 12" above grade)	Location	Notes
1	Osage Orange (Maclura pomifera)	35.5"	40"	At Southeast Corner of Site	
1	Osage Orange (Maclura pomifera)	32"	39"	At Southwest Corner of Site	
1	Osage Orange (Maclura pomifera)	23" left trunk	18"	At Southwest of Site, Northwest of 32" Osage Orange	In Right of Way
1	Mulberry (Morus spp.)	14" right trunk	21"	At Northwest Corner of Site	Partially in Right of Way
1	Osage Orange (Maclura pomifera)	27"	32"	Center North of Site, Along Pendleton Street	Partially in Right of Way
1	American Sycamore (Platanus occidentalis)	36"	57"	Center North of Site, Along Pendleton Street	TO BE REMOVED
2	Foster Holly (Ilex x attenuata 'Foster')	10"	10"	Along North of Existing Building	TO BE REMOVED
1	Foster Holly (Ilex x attenuata 'Foster')	8"	7.5"	At Northwest Corner of Existing Brick Enclosure	TO BE REMOVED
1	American Holly (Ilex Opaca)	6.5"	8" and 3"	At Northwest Corner of Existing Building	TO BE REMOVED
1	Foster Holly (Ilex Opaca)	4"	7.5"	At Southwest Corner of Existing Building	TO BE REMOVED

LOT 600  
HENRY KOCH  
D.B. 649 PG. 244

LANDS N/F  
MARK J. KINGTON AND ANN A. KINGTON  
INST. #120018652  
MAP NO. 064.02-04-04

LOT 502  
C.D. FOUR NO. 3  
D.B. 981 PG. 774

LANDS N/F  
INTERNATIONAL ASSOCIATION  
OF CHIEFS OF POLICE  
D.B. 1376 PG. 193  
MAP NO. 064.02-04-06  
ZONE: RM

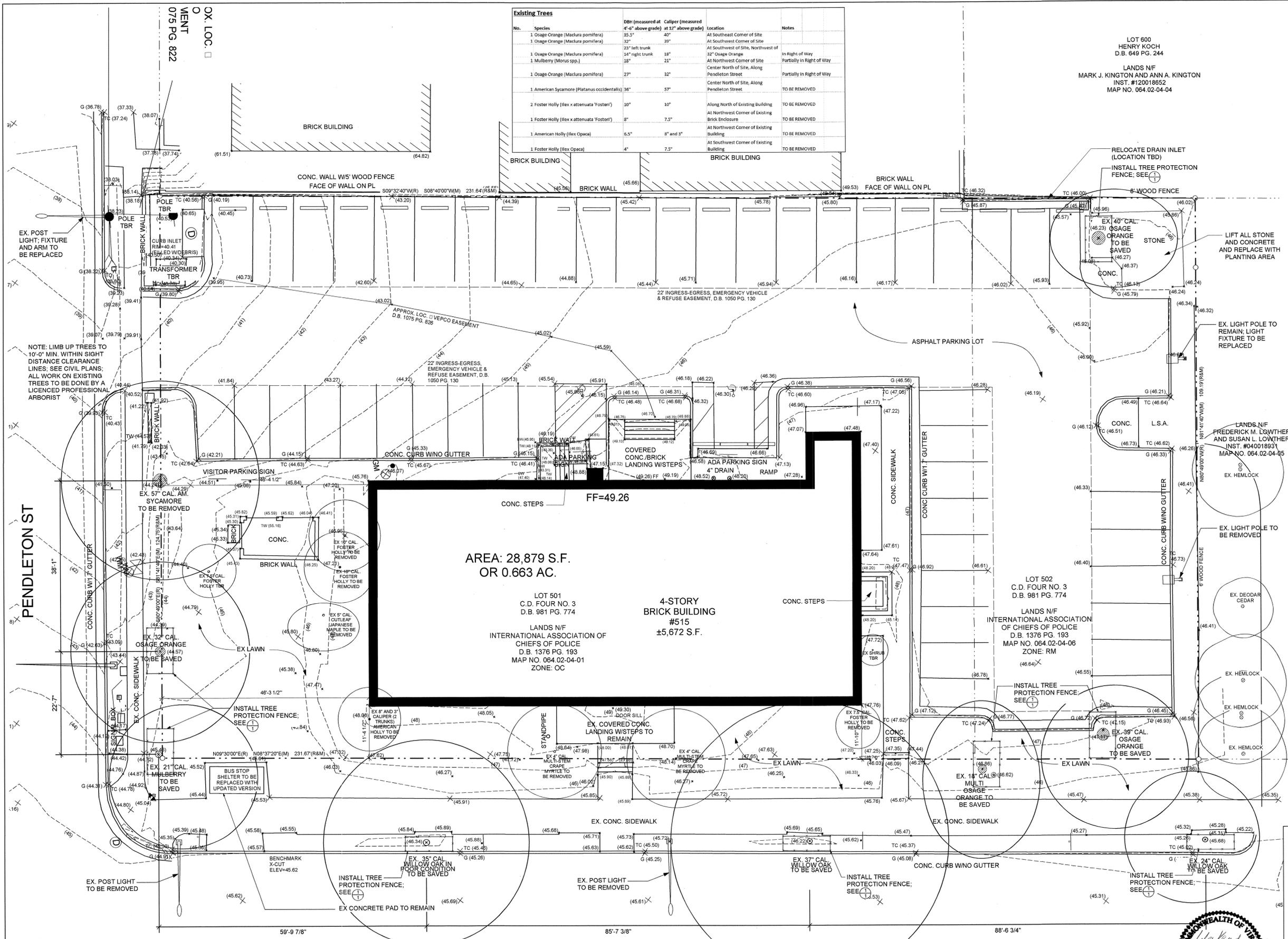
AREA: 28,879 S.F.  
OR 0.663 AC.

LOT 501  
C.D. FOUR NO. 3  
D.B. 981 PG. 774

4-STORY  
BRICK BUILDING  
#515  
±5,672 S.F.

LANDS N/F  
INTERNATIONAL ASSOCIATION OF  
CHIEFS OF POLICE  
D.B. 1376 PG. 193  
MAP NO. 064.02-04-01  
ZONE: OC

NORTH WASHINGTON ST

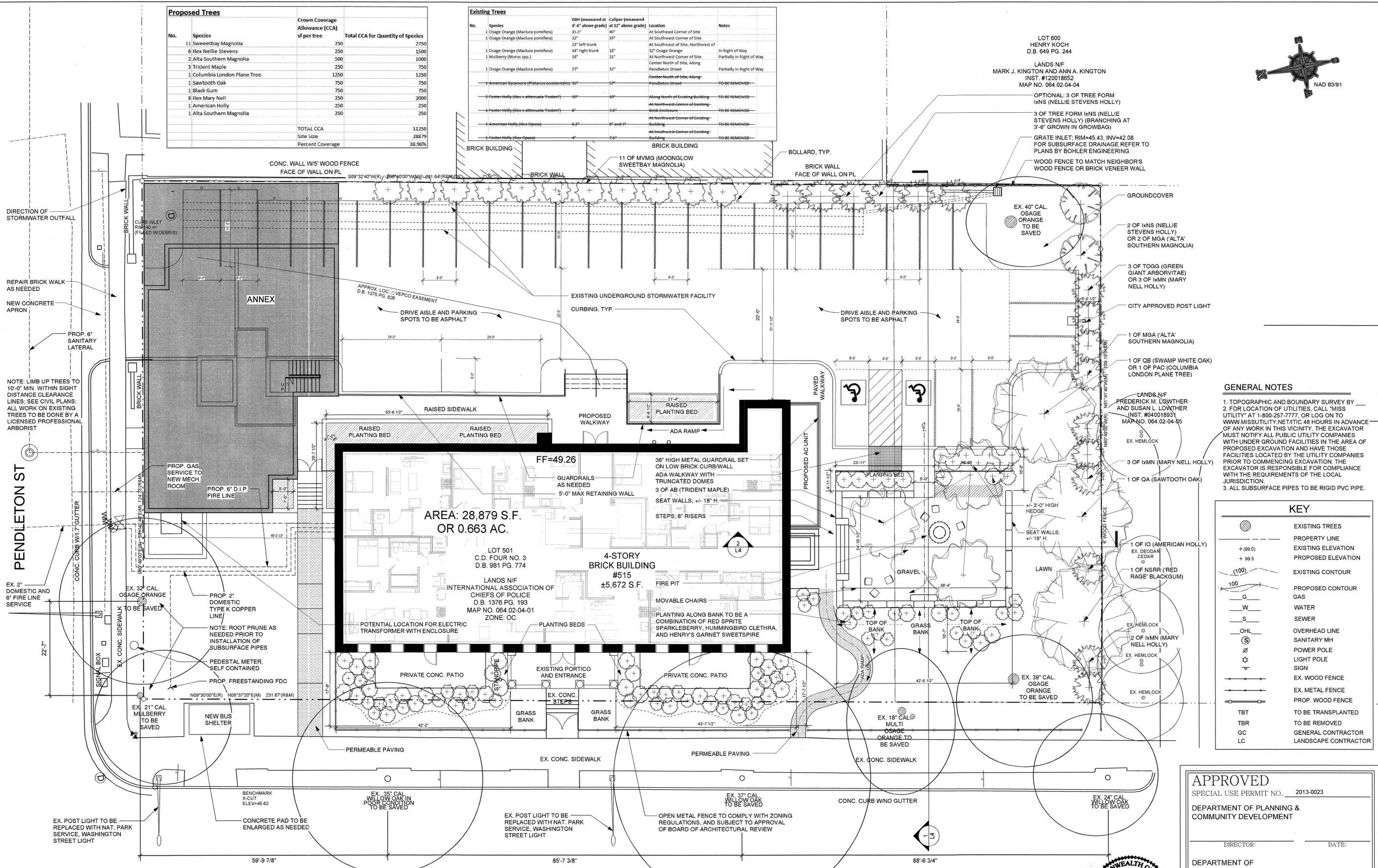


Proposed Trees			
No.	Species	Crown Coverage Allowance (CCA) sf per tree	Total CCA for Quantity of Species
11	Sweetbay Magnolia	250	2750
6	Ilex Nellie Stevens	250	1500
2	Alta Southern Magnolia	500	1000
3	Trident Maple	250	750
1	Columbia London Plane Tree	1250	1250
1	Sawtooth Oak	750	750
1	Black Gum	750	750
8	Ilex Mary Nell	250	2000
1	American Holly	250	250
1	Alta Southern Magnolia	250	250
TOTAL CCA			11250
Site Size			28879
Percent Coverage			38.96%

Existing Trees				
No.	Species	DBH (measured at 4'-6" above grade)	Caliper (measured at 12" above grade)	Location
1	Osage Orange (Maclura pomifera)	35.5"	40"	At Southeast Corner of Site
1	Osage Orange (Maclura pomifera)	32"	39"	At Southwest Corner of Site
1	Osage Orange (Maclura pomifera)	23" left trunk	18"	At Southwest of Site, Northwest of
1	Mulberry (Morus spp.)	14" right trunk	21"	32" Osage Orange
1	Osage Orange (Maclura pomifera)	18"	21"	At Northwest Corner of Site
1	Osage Orange (Maclura pomifera)	27"	32"	Center North of Site, Along Pendleton Street
1	American Sycamore (Platanus occidentalis)	30"	57"	Center North of Site, Along Pendleton Street
2	Foster Holly (Ilex attenuata-Foster)	10"	10"	Along North of Existing Building
1	Foster Holly (Ilex attenuata-Foster)	8"	7.5"	At North-West Corner of Existing-Brick Enclosure
1	American Holly (Ilex Opaca)	6.5"	8" and 3"	At North-West Corner of Existing-Building
1	Foster Holly (Ilex Opaca)	4"	7.5"	At Southwest Corner of Existing-Building

LOT 600  
HENRY KOCH  
D.B. 649 PG. 244

LANDS N/F  
MARK J. KINGTON AND ANN A. KINGTON  
INST. #12001852  
MAP NO. 064.02-04-04



**GENERAL NOTES**

1. TOPOGRAPHIC AND BOUNDARY SURVEY BY
2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

**KEY**

	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS
	WATER
	SEWER
	OVERHEAD LINE
	SANITARY MH
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TBT TO BE TRANSPLANTED
	TBR TO BE REMOVED
	GC GENERAL CONTRACTOR
	LC LANDSCAPE CONTRACTOR

**APPROVED**  
SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

NOTE: FOR PLAN AT SCALE OF 1"=20'-0" AND ALTERNATE ORIENTATION, SEE SHEET L2; FOR TABLE OF EXISTING AND PROPOSED TREES AND CROWN COVERAGE ALLOWANCE, SEE SHEET 2

NORTH WASHINGTON ST

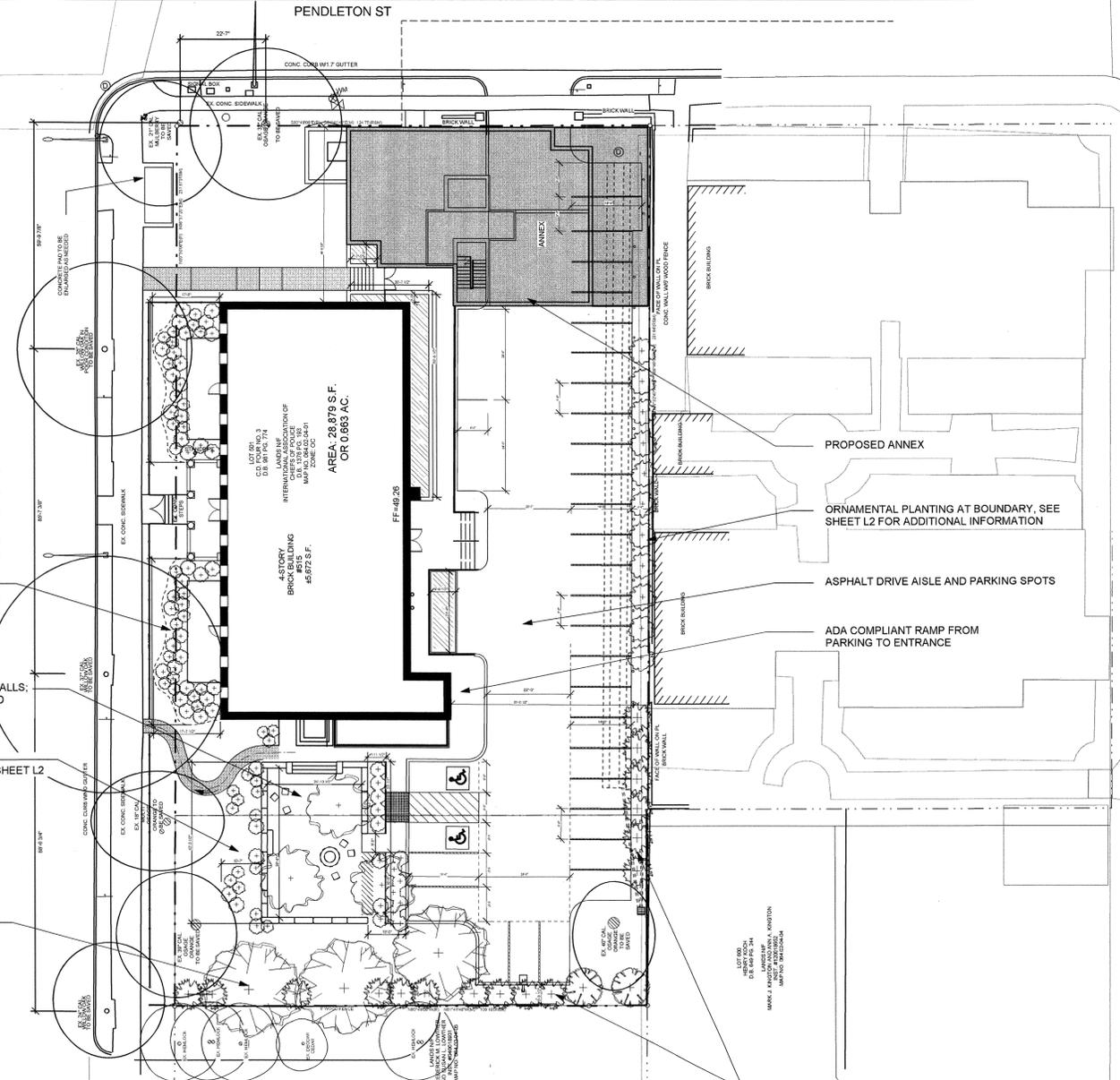
No.	Species	DBH (measured at 4'-6" above grade)	Caliper (measured at 12" above grade)	Location	Notes
1	Osage Orange (Maclura pomifera)	33.5"	40"	At Southeast Corner of Site	
1	Osage Orange (Maclura pomifera)	32"	39"	At Southwest Corner of Site	
1	Osage Orange (Maclura pomifera)	23" left trunk	18"	At Southwest of Site, Northwest of 32" Osage Orange	In Right of Way
1	Mulberry (Morus spp.)	18"	21"	At Northwest Corner of Site	Partially in Right of Way
1	Osage Orange (Maclura pomifera)	27"	32"	Center North of Site, Along Pendleton Street	Partially in Right of Way
1	American Sycamore (Platanus occidentalis)	36"	57"	Center-North of Site, Along Pendleton Street	TO BE REMOVED
2	Foster Holly (Ilex attenuata Fosteri)	30"	30"	Along North of Existing Building	TO BE REMOVED
2	Foster Holly (Ilex attenuata Fosteri)	8"	7.5"	At Northwest Corner of Existing Brick Enclosure	TO BE REMOVED
2	American Holly (Ilex Opaca)	6.5"	8" and 3"	At Northwest Corner of Existing Building	TO BE REMOVED
2	Foster Holly (Ilex Opaca)	4"	7.5"	At Southwest Corner of Existing Building	TO BE REMOVED

No.	Species	Crown Coverage Allowance (CCA) sf per tree	Total CCA for Quantity of Species
11	Sweetbay Magnolia	250	2750
6	Ilex Nellie Stevens	250	1500
2	Alta Southern Magnolia	500	1000
3	Trident Maple	250	750
3	Columbia London Plane Tree	1250	3750
1	Sweetbath Oak	750	750
1	Black Gum	750	750
8	Ilex Mary Nell	250	2000
1	American Holly	250	250
1	Alta Southern Magnolia	250	250
TOTAL CCA			11250
Site Size			28879
Percent Coverage			38.96%

FOR LOCATION OF SPECIES, SEE SHEET L2

NORTH WASHINGTON STREET

PENDLETON STREET



- GENERAL NOTES**
1. TOPOGRAPHIC AND BOUNDARY SURVEY BY
  2. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
  3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.

KEY	
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	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
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	GAS
	WATER
	SEWER
	OVERHEAD LINE
	SANITARY MH
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TO BE TRANSPLANTED
	TO BE REMOVED
	GENERAL CONTRACTOR
	LANDSCAPE CONTRACTOR

- PLANTING BED AROUND FRONT PATIOS
- GRAVEL COURTYARD WITH SEAT WALLS; FOR ADDITIONAL INFORMATION AND PLANTING, SEE SHEET L2
- PLANTED BERM ALONG EDGE OF COURTYARD; FOR PLANTING, SEE SHEET L2
- SHADE TREES, FOR SPECIES, SEE SHEET L2

NOTE: FOR ENLARGEMENT AND ADDITIONAL DETAIL, SEE SHEET L2

**APPROVED**  
SPECIAL USE PERMIT NO. 2013-0023  
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

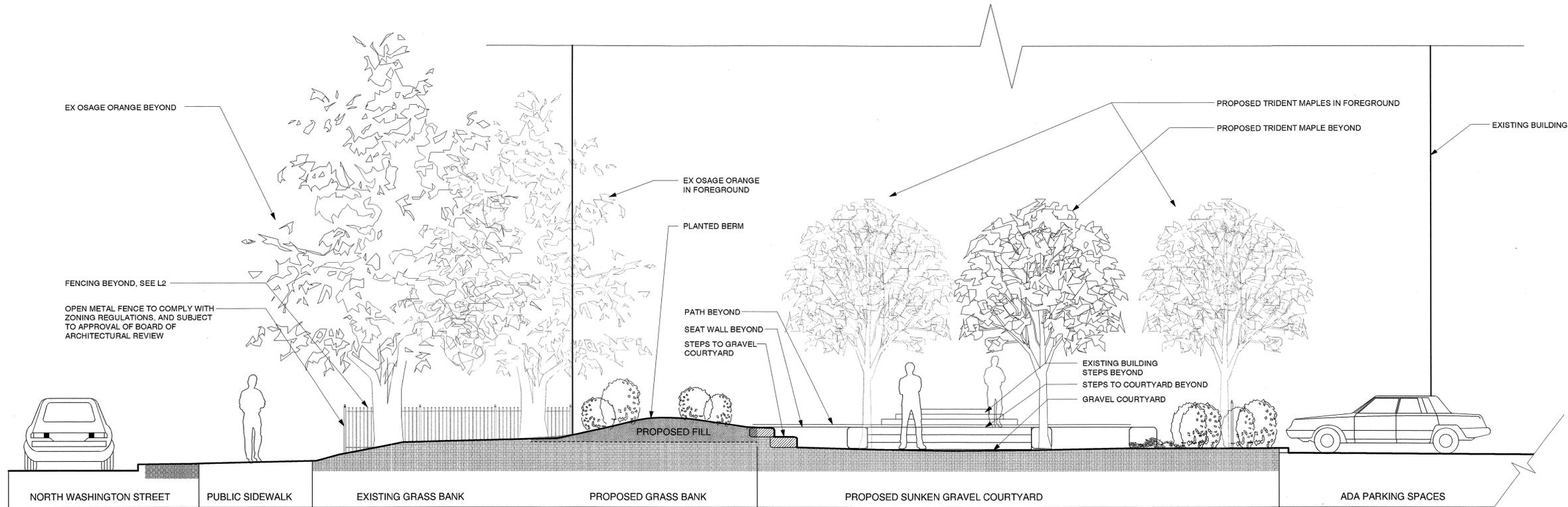
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

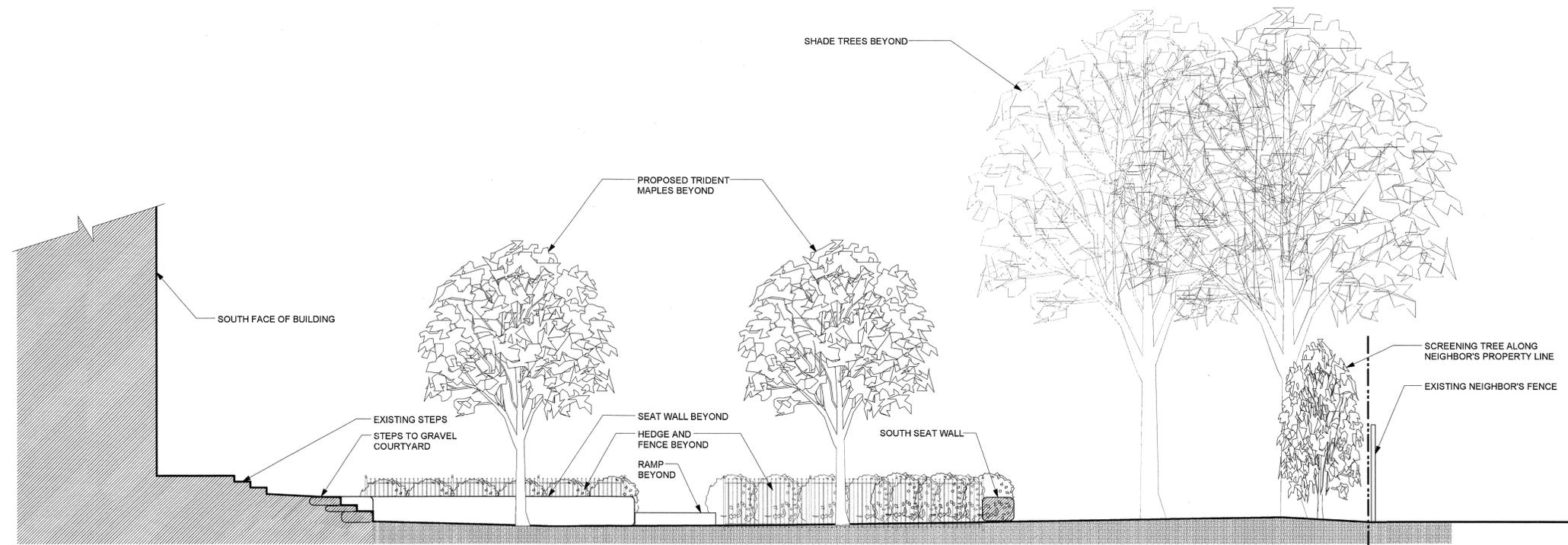




1 EAST-WEST SECTION OF GRAVEL COURTYARD  
L4 SECTION SCALE: 1/8"=1'-0"

**GENERAL NOTES**

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3. ALL SUBSURFACE PIPES TO BE RIGID PVC PIPE.



2 NORTH-SOUTH SECTION OF GRAVEL COURTYARD  
L4 SECTION SCALE: 1/8"=1'-0"

**KEY**

	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS
	WATER
	SEWER
	OHL OVERHEAD LINE
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	POWER POLE
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	EX. METAL FENCE
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	TBT TO BE TRANSPLANTED
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	GC GENERAL CONTRACTOR
	LC LANDSCAPE CONTRACTOR

**APPROVED**  
SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

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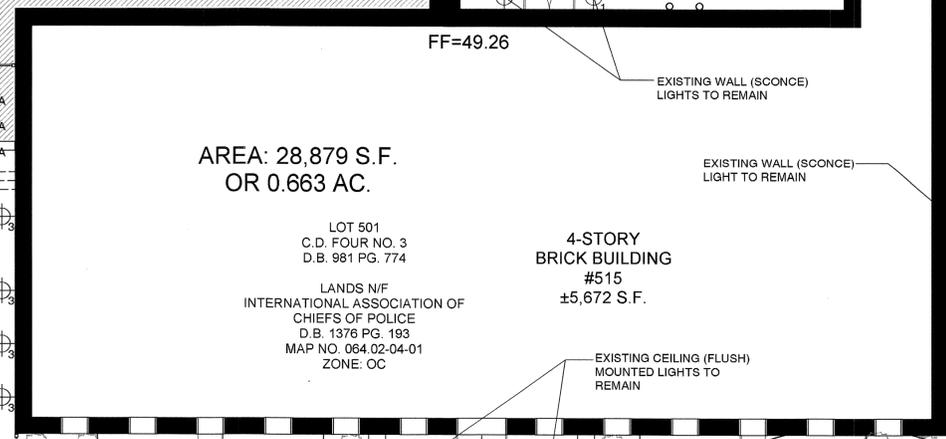
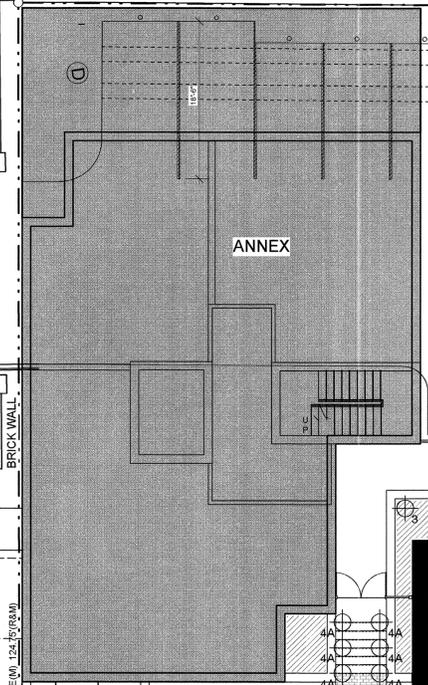
NOTE: FOR SITE PLAN, SEE SHEET L3; FOR ENLARGEMENT OF SITE PLAN WITH ADDITIONAL DETAIL, SEE SHEET L2

LOT 600  
HENRY KOCH  
D.B. 649 PG. 244

LANDS N/F  
MARK J. KINGTON AND ANN A. KINGTON  
INST. #120018652  
MAP NO. 064.02-04-04



BRICK BUILDING  
CONC. WALL W/5' WOOD FENCE  
FACE OF WALL ON PL  
BRICK WALL  
BRICK WALL  
FACE OF WALL ON PL



AREA: 28,879 S.F.  
OR 0.663 AC.

LOT 501  
C.D. FOUR NO. 3  
D.B. 981 PG. 774

LANDS N/F  
INTERNATIONAL ASSOCIATION OF  
CHIEFS OF POLICE  
D.B. 1376 PG. 193  
MAP NO. 064.02-04-01  
ZONE: OC

4-STORY  
BRICK BUILDING  
#515  
±5,672 S.F.

North Washington Lighting Schedule						
Key	Qty.	Type	Description	Specifications	Notes/Alternates:	
⊕ 1	3	Bollard Light	Hadco RF8	RF8 A KF 100I E	Alt: FX Luminaire PM Path Light	
⊕ 2	-	Hanging Light	-	-	Optional: TBD by Architect	
⊕ 3	21	Path Light	FX Luminaire PM FB	20W, 15V	Alternate: Hadco RF8	
⊕ 4	8	Recessed Riser Mounted Light	Bega 2286P	(1) 13W CF twin 2p	Alt: FX Luminaire LM Wall Light	
⊕ 4A	16	Recessed Wall Mounted Light	Bega 2283	(1) 18W SS, 12V	Alt: FX Luminaire LM Wall Light	
⊕ 5	4	Up Light	FX Luminaire MU	MU-10-FB	-	
⊕ 6	1	Post Light	TBD	TBD	City Approved Post Light	
⊕ 7	2	Street Light	Nat. Park Service Detail	Washington Street Light	Type F	

**GENERAL NOTES**

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	EX. METAL FENCE
	PROP. WOOD FENCE
	TBT
	TBR
	GC
	LC

**APPROVED**  
SPECIAL USE PERMIT NO. 2013-0023

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

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NOTE: FOR PLAN AT SCALE OF 1"=20'-0" AND ALTERNATE ORIENTATION, SEE SHEET L2; FOR TABLE OF EXISTING AND PROPOSED TREES AND CROWN COVERAGE ALLOWANCE, SEE SHEET 2

NORTH WASHINGTON ST

LILA FENDRICK  
landscape architecture & garden design  
6904 West Avenue Chevy Chase, Maryland 20815  
(301) 907-7700

**NORTH WASHINGTON**  
515 NORTH WASHINGTON STREET, ALEXANDRIA, VA 22314

SCHEMATIC LIGHTING PLAN  
1"=10'-0"

L5



SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
1	STAGE II CONCEPT	04/17/2014
2	CONCEPT 3	06/20/2014
3	DSUP	10/03/2014
4	PER CITY COMMENTS	11/14/2014



**APPROVED**  
SPECIAL USE PERMIT NO. #2014-0006  
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
DATE: \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON REUSE RESIDENTIAL**

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

**ARCHITECTURAL CONCEPT PLANS**

DAVID KITCHENS, AIA 20130161  
Principal in Charge Project No.  
--- 10/03/2014  
Project Manager Date  
BRANDON R. LENK  
Project Architect  
---  
Staff Architect

**A 1.01**

**UNIT SCHEDULE - EXISTING**

Number	Level	Name	Unit Type
101	LEVEL 1	UNIT 101	1 BR
102	LEVEL 1	UNIT 102	1 BR
103	LEVEL 1	UNIT 103	STUDIO
105	LEVEL 1	UNIT 105	2 BR
106	LEVEL 1	UNIT 106	2 BR
107	LEVEL 1	UNIT 107	STUDIO
201	LEVEL 2	UNIT 201	1 BR
202	LEVEL 2	UNIT 202	1 BR
203	LEVEL 2	UNIT 203	STUDIO
204	LEVEL 2	UNIT 204	STUDIO
205	LEVEL 2	UNIT 205	1 BR
206	LEVEL 2	UNIT 206	2 BR
207	LEVEL 2	UNIT 207	STUDIO
301	LEVEL 3	UNIT 301	1 BR
302	LEVEL 3	UNIT 302	1 BR
303	LEVEL 3	UNIT 303	STUDIO
304	LEVEL 3	UNIT 304	STUDIO
305	LEVEL 3	UNIT 305	1 BR
306	LEVEL 3	UNIT 306	2 BR
307	LEVEL 3	UNIT 307	STUDIO

**UNIT SCHEDULE - ANNEX**

Number	Level	Name	Unit Type
101	LEVEL 1A	UNIT 101 (A)	1 BR
102	LEVEL 1A	UNIT 102 (A)	1 BR
103	LEVEL 1A	UNIT 103 (A)	1 BR
201	LEVEL 2A	UNIT 201 (A)	1 BR
202	LEVEL 2A	UNIT 202 (A)	1 BR
203	LEVEL 2A	UNIT 203 (A)	1 BR
301	LEVEL 3A	UNIT 301 (A)	3 BR
302	LEVEL 3A	UNIT 302 (A)	1 BR
303	LEVEL 3A	UNIT 303 (A)	1 BR

**UNIT SCHEDULE - ANNEX**

Number	Level	Name	Unit Type
401	LEVEL 4	UNIT 401	2 BR
402	LEVEL 4	UNIT 402	2 BR
403	LEVEL 4	UNIT 403	1 BR
404	LEVEL 4	UNIT 404	2 BR
405	LEVEL 4	UNIT 405	2 BR

**UNIT SCHEDULE - ANNEX**

Number	Level	Name	Unit Type
101	LEVEL 1A	UNIT 101 (A)	1 BR
102	LEVEL 1A	UNIT 102 (A)	1 BR
103	LEVEL 1A	UNIT 103 (A)	1 BR
201	LEVEL 2A	UNIT 201 (A)	1 BR
202	LEVEL 2A	UNIT 202 (A)	1 BR
203	LEVEL 2A	UNIT 203 (A)	1 BR
301	LEVEL 3A	UNIT 301 (A)	3 BR
302	LEVEL 3A	UNIT 302 (A)	1 BR
303	LEVEL 3A	UNIT 303 (A)	1 BR

**UNIT SCHEDULE - ANNEX**

Number	Level	Name	Unit Type
101	LEVEL 1A	UNIT 101 (A)	1 BR
102	LEVEL 1A	UNIT 102 (A)	1 BR
103	LEVEL 1A	UNIT 103 (A)	1 BR
201	LEVEL 2A	UNIT 201 (A)	1 BR
202	LEVEL 2A	UNIT 202 (A)	1 BR
203	LEVEL 2A	UNIT 203 (A)	1 BR
301	LEVEL 3A	UNIT 301 (A)	3 BR
302	LEVEL 3A	UNIT 302 (A)	1 BR
303	LEVEL 3A	UNIT 303 (A)	1 BR

**UNIT SCHEDULE - ANNEX**

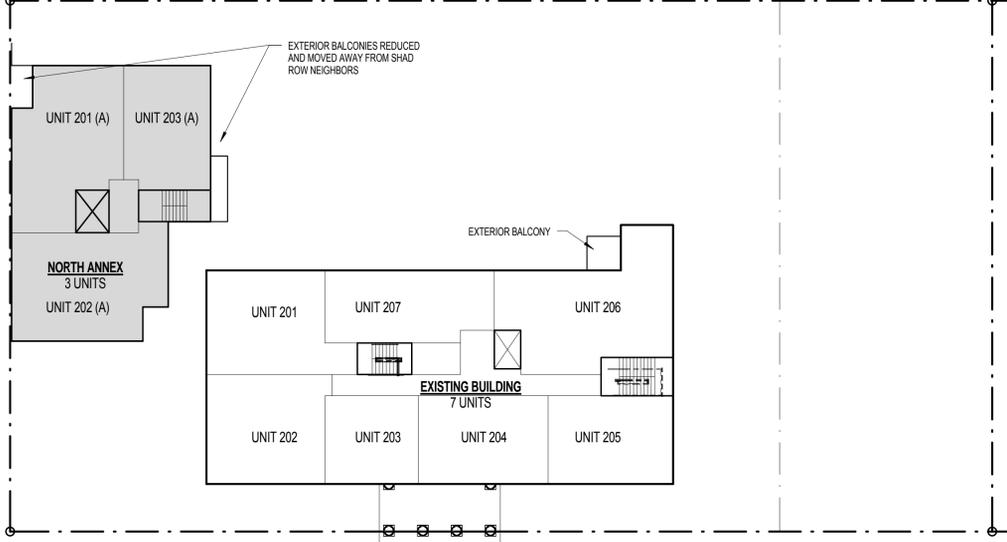
Number	Level	Name	Unit Type
101	LEVEL 1A	UNIT 101 (A)	1 BR
102	LEVEL 1A	UNIT 102 (A)	1 BR
103	LEVEL 1A	UNIT 103 (A)	1 BR
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202	LEVEL 2A	UNIT 202 (A)	1 BR
203	LEVEL 2A	UNIT 203 (A)	1 BR
301	LEVEL 3A	UNIT 301 (A)	3 BR
302	LEVEL 3A	UNIT 302 (A)	1 BR
303	LEVEL 3A	UNIT 303 (A)	1 BR

**UNIT SCHEDULE - ANNEX**

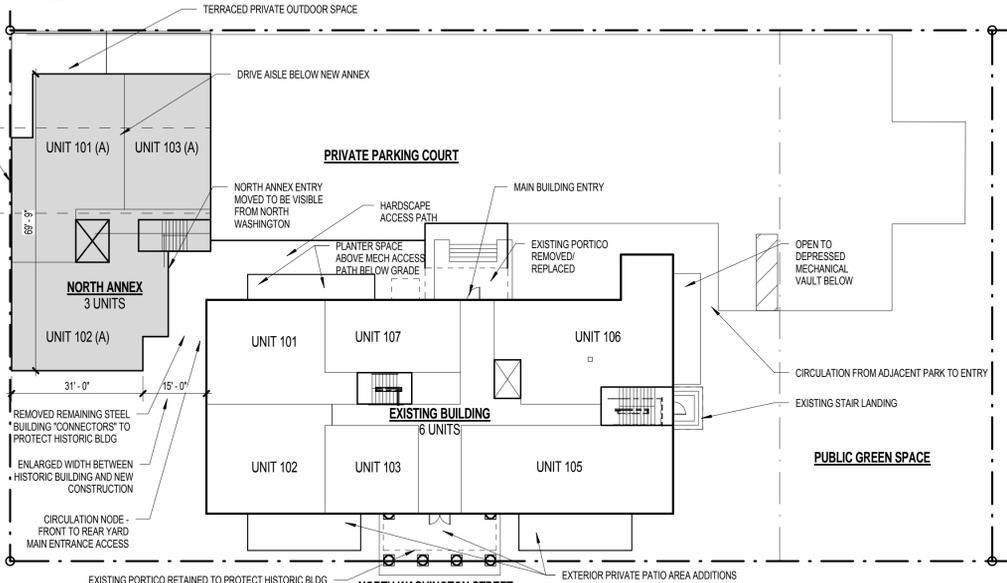
Number	Level	Name	Unit Type
101	LEVEL 1A	UNIT 101 (A)	1 BR
102	LEVEL 1A	UNIT 102 (A)	1 BR
103	LEVEL 1A	UNIT 103 (A)	1 BR
201	LEVEL 2A	UNIT 201 (A)	1 BR
202	LEVEL 2A	UNIT 202 (A)	1 BR
203	LEVEL 2A	UNIT 203 (A)	1 BR
301	LEVEL 3A	UNIT 301 (A)	3 BR
302	LEVEL 3A	UNIT 302 (A)	1 BR
303	LEVEL 3A	UNIT 303 (A)	1 BR

**UNIT SCHEDULE - ANNEX**

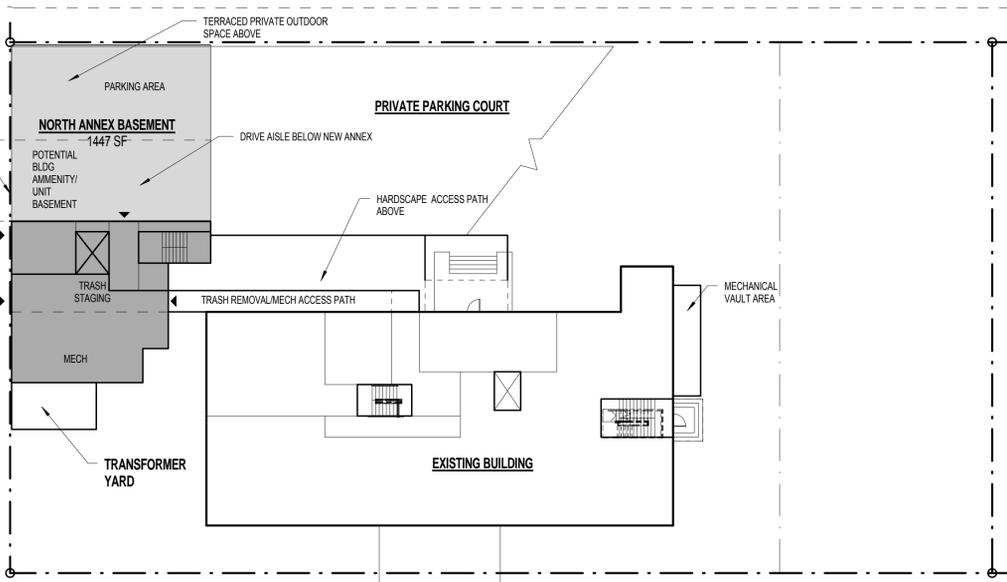
Number	Level	Name	Unit Type
101	LEVEL 1A	UNIT 101 (A)	1 BR
102	LEVEL 1A	UNIT 102 (A)	1 BR
103	LEVEL 1A	UNIT 103 (A)	1 BR
201	LEVEL 2A	UNIT 201 (A)	1 BR
202	LEVEL 2A	UNIT 202 (A)	1 BR
203	LEVEL 2A	UNIT 203 (A)	1 BR
301	LEVEL 3A	UNIT 301 (A)	3 BR
302	LEVEL 3A	UNIT 302 (A)	1 BR
303	LEVEL 3A	UNIT 303 (A)	1 BR



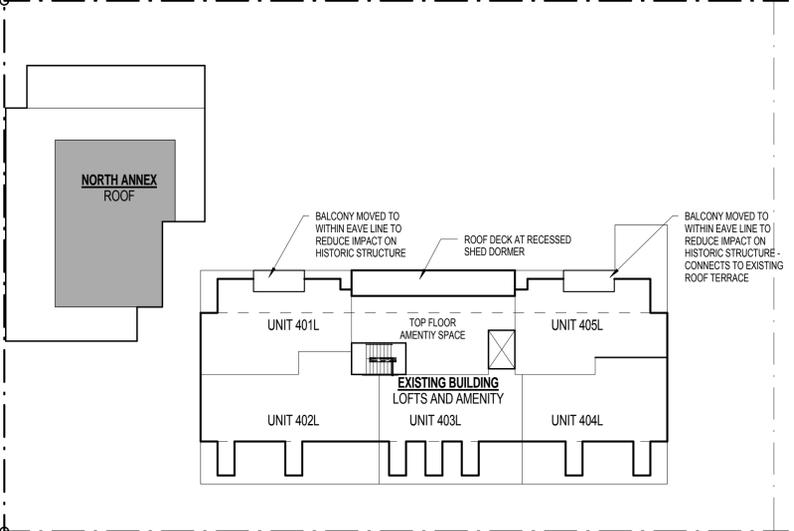
**3 PLAN - LEVEL 2**  
SCALE: 1" = 20'-0"



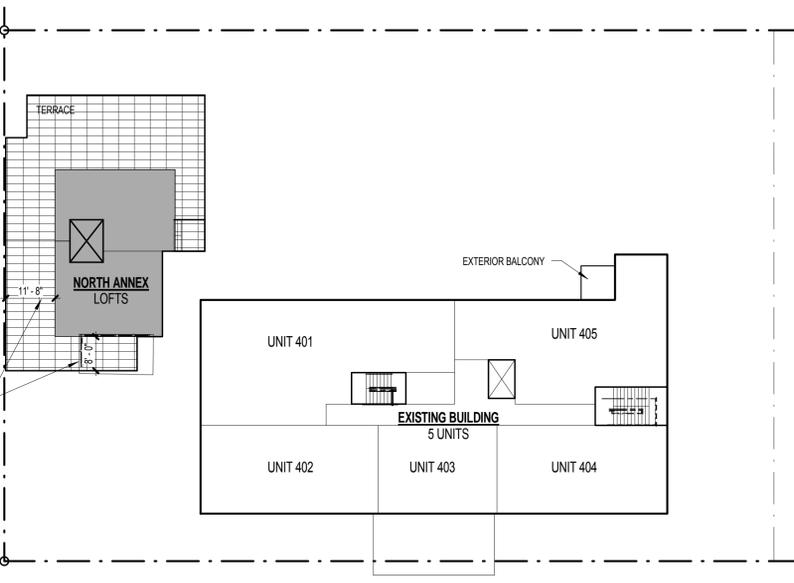
**2 PLAN - LEVEL 1**  
SCALE: 1" = 20'-0"



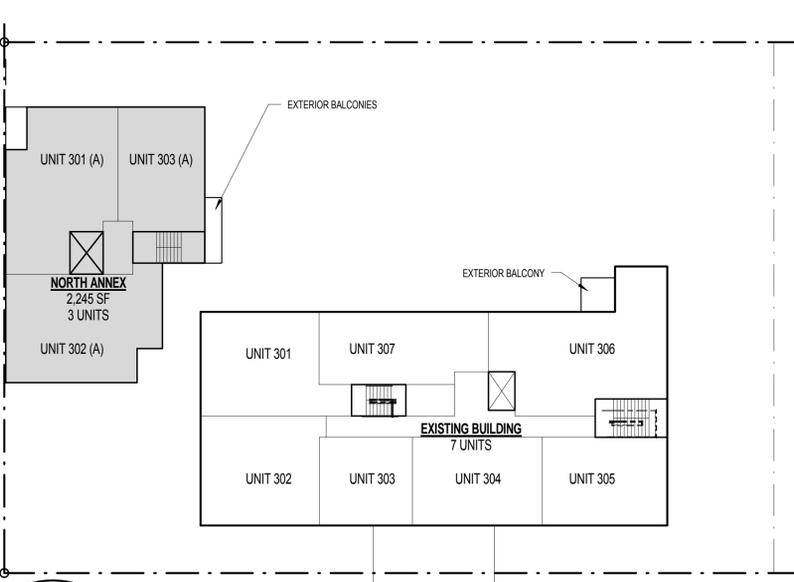
**1 PLAN - BASMENT**  
SCALE: 1" = 20'-0"



**6 PLAN - LEVEL 5**  
SCALE: 1" = 20'-0"



**5 PLAN - LEVEL 4**  
SCALE: 1" = 20'-0"



**4 PLAN - LEVEL 3**  
SCALE: 1" = 20'-0"

LOADING FOR VEHICLES LARGER THAN THE 8'-2" ACCESSIBLE CLEARANCE TO TAKE PLACE ALONG PENDLETON ST. VIA ARRANGED TIMES AND POSTED SIGNAGE WITH CITY APPROVAL. TRASH PICK UP TO BE THROUGH A DEDICATED ENTRY AND STAGING AREA LOCATED IN THE ANNEX BASEMENT LEVEL ON PENDLETON ST.

TRASH PICK UP TO BE THROUGH A DEDICATED ENTRY AND STAGING AREA LOCATED IN THE ANNEX BASEMENT LEVEL ON PENDLETON ST.

LOADING FOR VEHICLES LARGER THAN THE 8'-2" ACCESSIBLE CLEARANCE TO TAKE PLACE ALONG PENDLETON ST. VIA ARRANGED TIMES AND POSTED SIGNAGE WITH CITY APPROVAL.

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL  
SHEET NUMBER: A.1.01 - ARCHITECTURAL CONCEPT PLANS  
P:\2013\20130161\1-d-7 drawings\1-d-7-1 rev\users\20130161\_2013\_abbanm.rvt  
11/13/2014 12:32:24 PM



SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
1	STAGE II CONCEPT	04/17/2014
2	CONCEPT 3	06/20/2014
3	DSUP	10/03/2014
4	PER CITY COMMENTS	11/14/2014



**APPROVED**  
SPECIAL USE PERMIT NO. #2014-0006  
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON  
REUSE RESIDENTIAL**

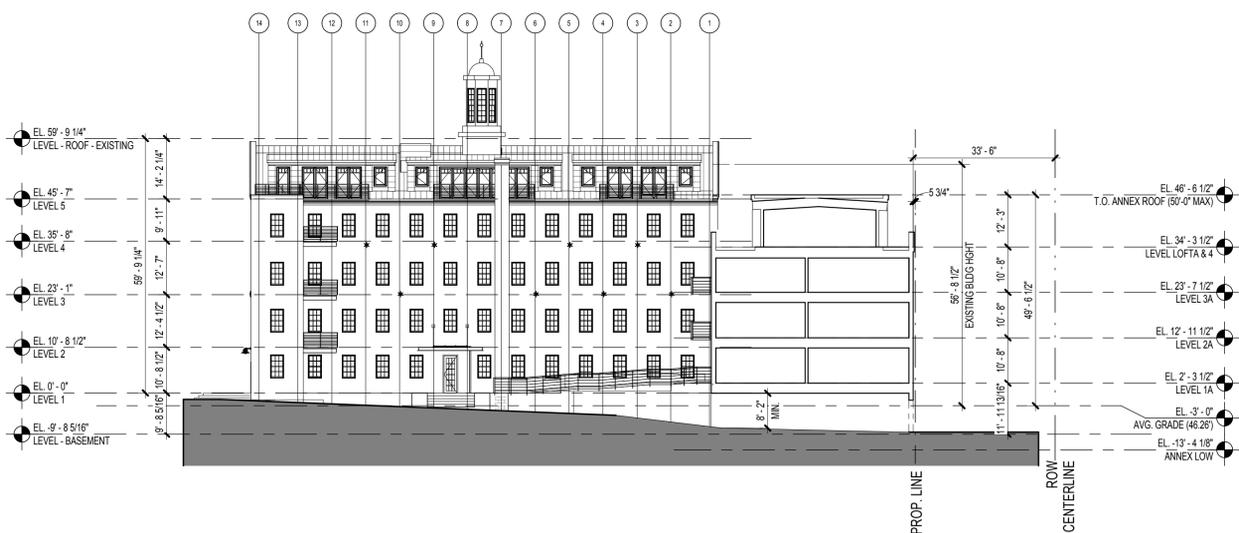
515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

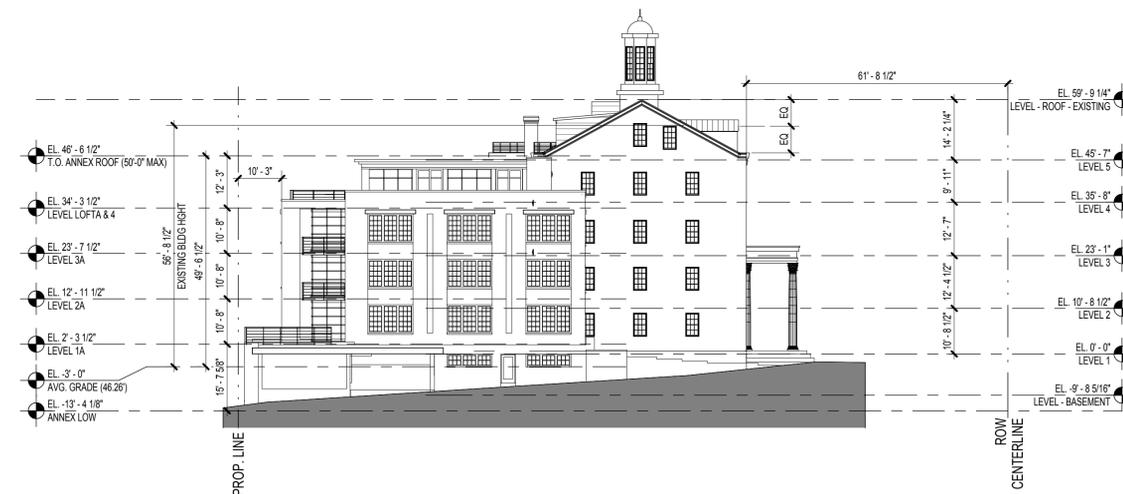
**ARCHITECTURAL CONCEPT  
ELEVATIONS**

DAVID KITCHENS, AIA 20130161  
Principal-in-Charge Project No.  
--- 10/03/2014  
Project Manager Date  
BRANDON R. LENK  
Project Architect  
---  
Staff Architect

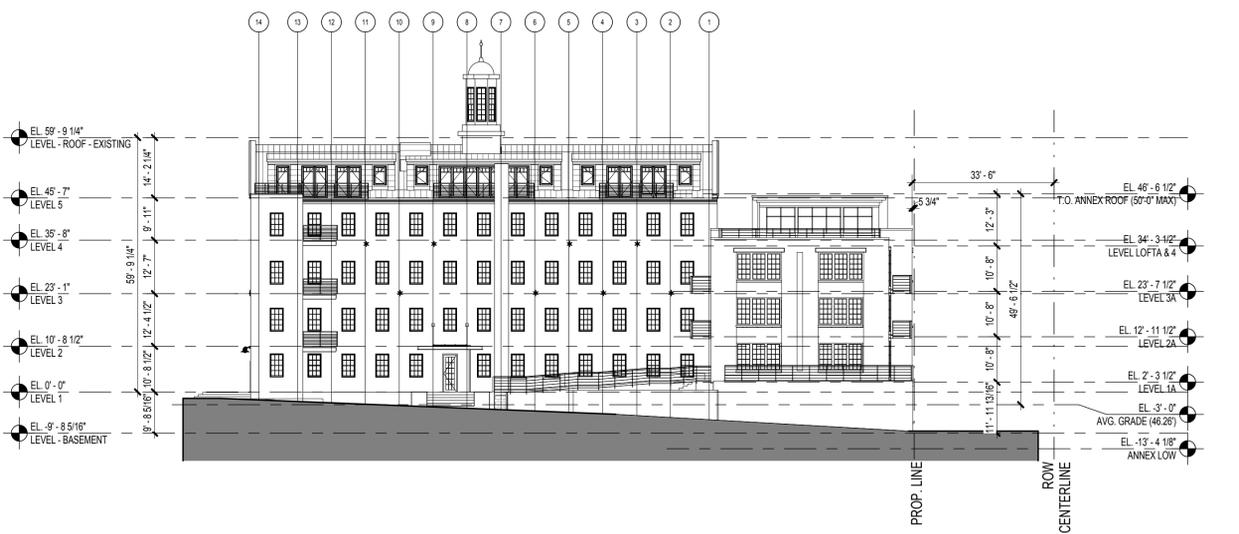
**A 1.02**



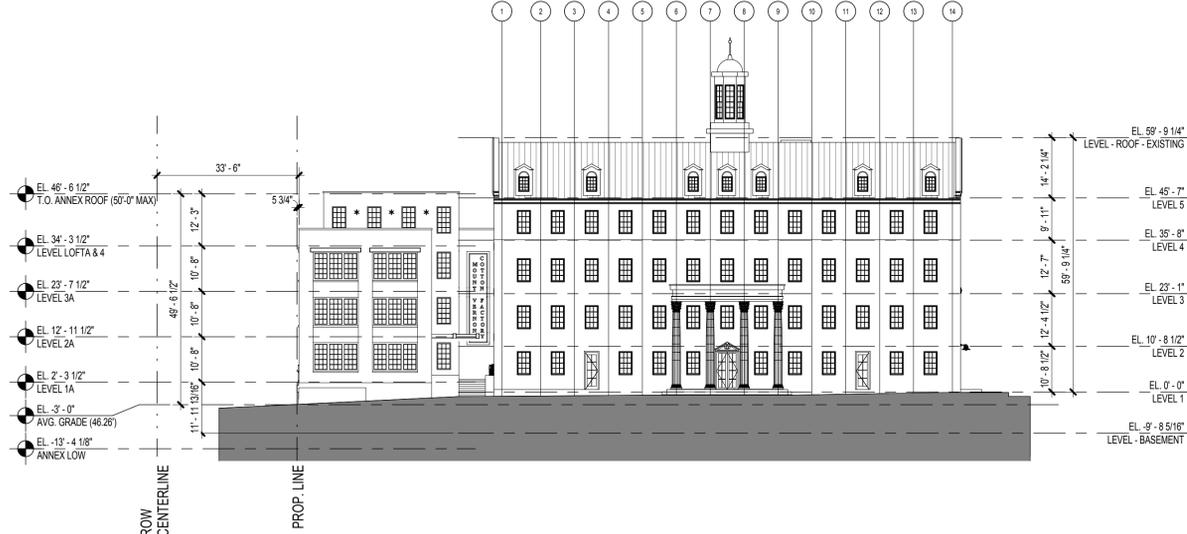
**4** 6-16 North South Section  
A 1.02 SCALE: 1" = 20'-0"



**2** 6-16 North Elevation  
A 1.02 SCALE: 1" = 20'-0"



**3** 6-16 East Elevation  
A 1.02 SCALE: 1" = 20'-0"



**1** 6-16 West Elevation  
A 1.02 SCALE: 1" = 20'-0"



SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	STAGE II CONCEPT	04/17/2014
2	CONCEPT 3	06/20/2014
3	DSUP	10/03/2014
4	PER CITY COMMENTS	11/14/2014



APPROVED  
SPECIAL USE PERMIT NO. #2014-0008  
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON  
REUSE RESIDENTIAL**

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

**ARCHITECTURAL CONCEPT -  
MATERIALS**

DAVID KITCHENS, AIA	20130161
Principal-in-Charge	Project No.
---	10/03/2014
Project Manager	Date
BRANDON R. LENK	
Project Architect	
---	
Staff Architect	

**A 1.03**



WEST ELEVATION - 1:10 \*SOME TREES NOT SHOWN FOR CLARITY



EAST ELEVATION - 1:10

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL  
SHEET NUMBER: A.103 - ARCHITECTURAL CONCEPT - MATERIALS  
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SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	STAGE II CONCEPT	04/17/2014
2	CONCEPT 3	06/20/2014
3	DSUP	10/03/2014
4	PER CITY COMMENTS	11/14/2014



NORTH ELEVATION - 1:10

\*SOME TREES NOT SHOWN FOR CLARITY

- METAL PANEL CLADDING
- WINDOW WALL GLAZING SYSTEM
- BRICK COLOR 1
- ACCENT BRICK - COLOR 1
- WINDOW WALL GLAZING SYSTEM
- PUNCHED GLAZING
- STEEL BARN DOOR LINTEL
- BRICK COLOR 2
- DECORATIVE WOOD BARN DOOR/ALTERNATE PUNCHED OPENING OPTIONS POSSIBLE

- METAL CLADDING CONSISTENT WITH EXISTING ROOF
- EXISTING GLAZING TO REMAIN
- EXISTING SHUTTERS REMOVED
- EXISTING PORTICO TO REMAIN

RELOCATED TRANSFORMER YARD - SCREENING MATERIAL TO BE DETERMINED THROUGH ARCHITECTURAL REVIEW PROCESS

APPROVED

SPECIAL USE PERMIT NO. #2014-0006

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON REUSE RESIDENTIAL**

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

**ARCHITECTURAL CONCEPT - MATERIALS**

DAVID KITCHENS, AIA 20130161  
Principal in Charge Project No.  
Project Manager 10/03/2014  
Date  
BRANDON R. LENK  
Project Architect  
Staff Architect

**A 1.04**



NORTHWEST STREET VIEW - N. WASHINGTON ST.

\*SOME TREES NOT SHOWN FOR CLARITY



NORTHEAST STREET VIEW - PENDLETON ST.

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL  
SHEET NUMBER: A.104 - ARCHITECTURAL CONCEPT - MATERIALS  
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11/13/2014 12:32:45 PM



SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
1	CONCEPT 3	06/20/2014
2	DSUP	10/03/2014
3	PER CITY COMMENTS	11/14/2014



SOUTHWEST CONTEXT AERIAL



NORTHEAST CONTEXT AERIAL

APPROVED

SPECIAL USE PERMIT NO. #2014-0006

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

ENTIREMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**515 NORTH WASHINGTON  
REUSE RESIDENTIAL**

515 NORTH WASHINGTON ST,  
ALEXANDRIA, VA 22314

CAS RIEGLER COMPANIES

**ARCHITECTURAL CONCEPT -  
CONTEXT AERIALS**

DAVID KITCHENS, AIA 20130161  
Principal-in-Charge Project No.  
DAVID KITCHENS, AIA 10/03/2014  
Project Manager Date  
BRANDON R. LENK, AIA  
Project Architect  
Author  
Staff Architect

**A 1.05**



SCOPE DOCUMENTS The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES table with columns: No., Drawing Issue Description, Date. Includes entries for STAGE II CONCEPT, CONCEPT 3, DSUP, and PER CITY COMMENTS.



APPROVED SPECIAL USE PERMIT NO. #2014-0006 DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT. Includes fields for Director, Date, and Instrument No.

515 NORTH WASHINGTON REUSE RESIDENTIAL

515 NORTH WASHINGTON ST, ALEXANDRIA, VA 22314 CAS RIEGLER COMPANIES

AREA CALCULATIONS - PLANS

DAVID KITCHENS, AIA 20130161 Principal-in-Charge Project No. DAVID KITCHENS, AIA 06/20/2014 Project Manager Date BRANDON R. LENK, AIA Project Architect Author Staff Architect

A 2.01

AREA - GFA ONLY - NSF table with columns: Area, Name, Level, Comments. Lists areas like GFA-BA, GFA-1, GFA-2, GFA-3, GFA-4, GFA-LA-1, GFA-5, GFA-5-1, GFA-5-2.

AREA - TOTAL CONCEPT - GSF table with columns: Area, Name, Level, Comments. Lists areas like GFA-BA, GFA-BA-6, NON GFA-B-1, NON GFA-B-2, NON GFA-B-3, NON GFA-B-4, NON GFA-BA-1, NON GFA-BA-2, NON GFA-BA-3, NON GFA-BA-4, NON GFA-BA-5.

LEVEL - BASEMENT table with columns: Area, Name, Level, Comments. Lists areas like GFA-BA, GFA-BA-6, NON GFA-B-1, NON GFA-B-2, NON GFA-B-3, NON GFA-B-4, NON GFA-BA-1, NON GFA-BA-2, NON GFA-BA-3, NON GFA-BA-4, NON GFA-BA-5.

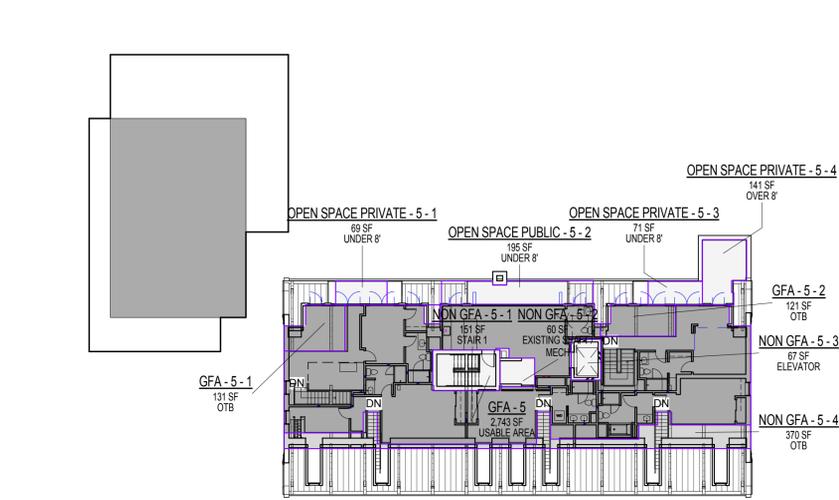
LEVEL 1A table with columns: Area, Name, Level, Comments. Lists areas like GFA-1, GFA-1A, NON GFA-1-1, NON GFA-1-2, NON GFA-1-3, NON GFA-1-4, NON GFA-1A-1, NON GFA-1A-2, NON GFA-1A-3.

LEVEL 2A table with columns: Area, Name, Level, Comments. Lists areas like GFA-2, GFA-2A, NON GFA-2-1, NON GFA-2-2, NON GFA-2-3, NON GFA-2-4, NON GFA-2A-1, NON GFA-2A-2, NON GFA-2A-3.

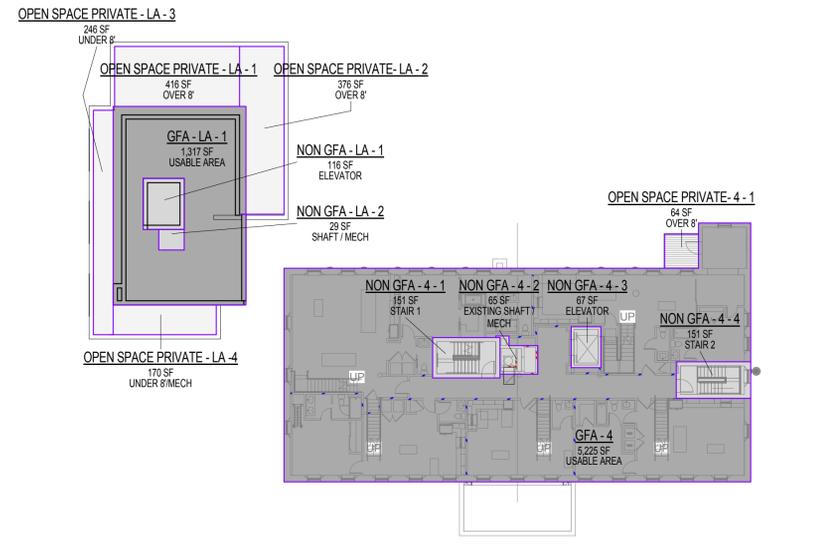
LEVEL 3A table with columns: Area, Name, Level, Comments. Lists areas like GFA-3, GFA-3A, NON GFA-3-1, NON GFA-3-2, NON GFA-3-3, NON GFA-3-4, NON GFA-3A-1, NON GFA-3A-2, NON GFA-3A-3.

LEVEL LOFTA & 4 table with columns: Area, Name, Level, Comments. Lists areas like GFA-4, GFA-LA-1, NON GFA-4-1, NON GFA-4-2, NON GFA-4-3, NON GFA-4-4, NON GFA-LA-1, NON GFA-LA-2.

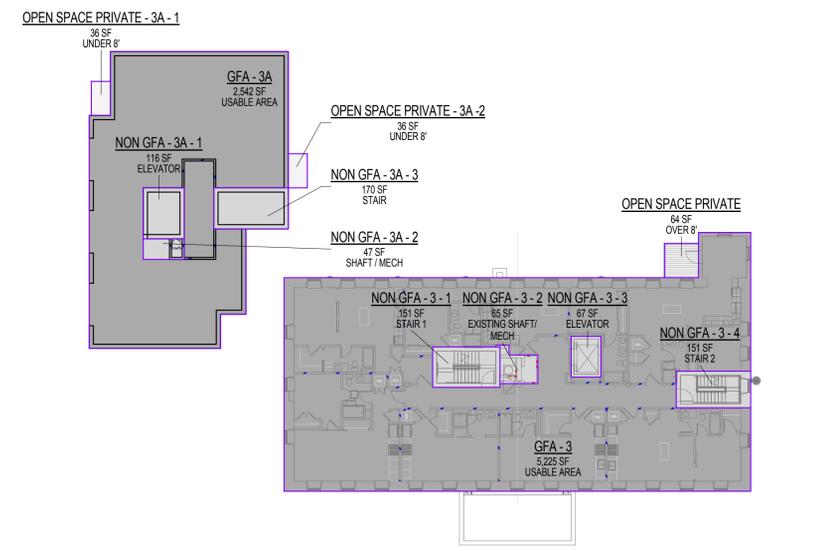
LEVEL 5 table with columns: Area, Name, Level, Comments. Lists areas like GFA-5, GFA-5-1, GFA-5-2, GFA-5-3, GFA-5-4.



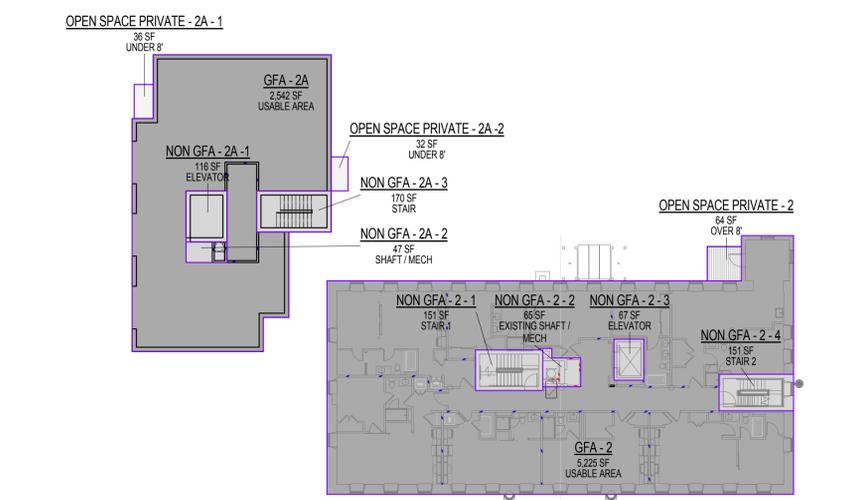
6 LEVEL ROOF & 5 SCALE: 1" = 20'-0"



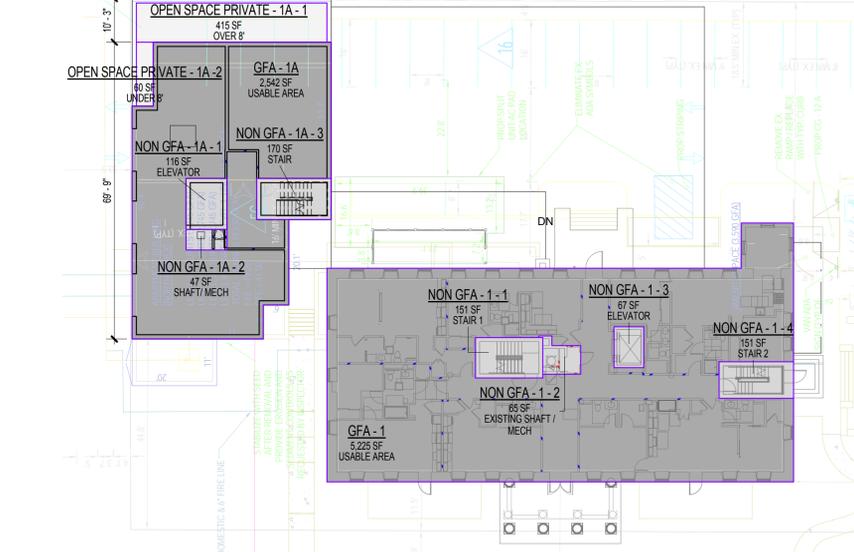
5 LEVEL LOFTA & 4 SCALE: 1" = 20'-0"



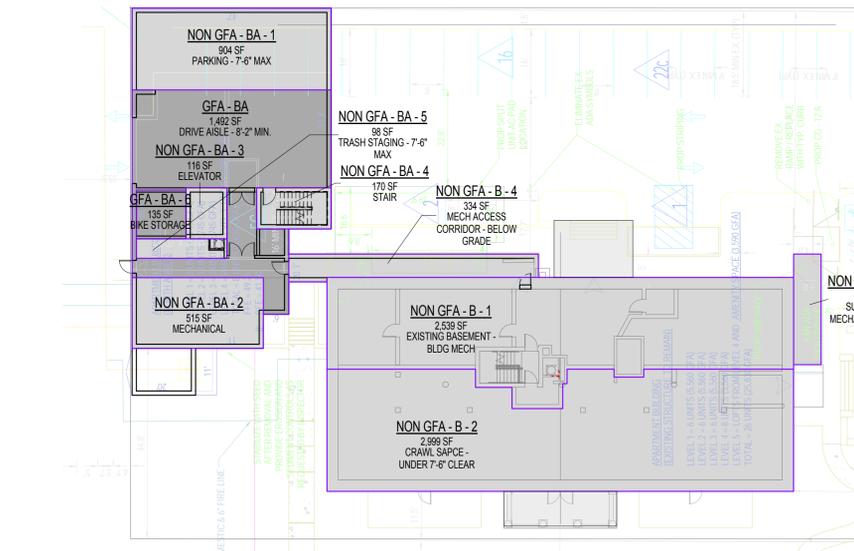
4 LEVEL 3A SCALE: 1" = 20'-0"



3 LEVEL 2A SCALE: 1" = 20'-0"



2 LEVEL 1A SCALE: 1" = 20'-0"



1 LEVEL - BASEMENT SCALE: 1" = 20'-0"

PROJECT NUMBER: 20130161 PROJECT NAME: 515 NORTH WASHINGTON REUSE RESIDENTIAL SHEET NUMBER: A 2.01 - AREA CALCULATIONS - PLANS P:\2013\20130161\7 drawings\7-1 rev\users\20130161\_2013\_lenk.rvt 11/11/2014 4:36:48 PM

GENERAL NOTES: 1. OPEN SPACES LISTED AT RIGHT AS "UNDER 8" ARE NOT COUNTED TOWARD OPEN SPACE TOTALS. TOTAL NORTH ANNEX = 13,484 GSF [10,575 NSF]. TOTAL EXISTING BUILDING = 32,763 GSF [23,895 NSF]. TOTAL PROPOSED PROJECT GFA: 34,470 NSF (66,099 NSF ALLOWABLE) 28,879 SF (SITE SF) X 1.25 (MAX FAR) = 36,099 SF. TOTAL PROPOSED 34 UNITS, 9 ANNEX UNITS & 25 HISTORIC UNITS. \*ROUNDING OF SF'S CAN CAUSE SLIGHT AREA VARIATIONS.



# URBAN DESIGN ADVISORY COMMITTEE

---

Marie Tavernini  
Roger Waud  
Bruce Machanic, Co-Chair  
Daniel Straub, Co-Chair & Secretary

Applicant: Cas Riegler

Re: **Old Cotton Building**  
515 North Washington Street  
Conceptual Urban Design Submission

The Urban Design Advisory Committee (UDAC) serves in an appointed advisory committee capacity to the Planning Commission and to City Council on the planning and design of projects within the Old Town North (OTN) small area plan boundaries. In that role, UDAC met on January 8 to review the your initial presentation for the above referenced project, and on November 5 to review your presentation on updated concept design for the proposed Annex Building and for the proposed 'garden space' and streetscape along Washington Street.

Although the committee is strongly supportive of your administratively approved plans to renovate and re-use the existing Old Cotton Building for residential use and is generally supportive of the proposed footprint for a proposed annex building and the conceptual design for the proposed 'garden space', we have many concerns with the conceptual design of the annex building as it is currently submitted. We also have concerns with how the final conceptual design of the overall project is crafted.

As a result, UDAC offers the following support for your project:

- UDAC strongly supports the historical preservation and renovation work on this project that is being completed;
- UDAC generally supports the proposed footprint for a new annex building; and
- UDAC generally supports the proposed conceptual design for the 'garden space' on the south side of the property.

The Urban Design Advisory Committee encourages you to return to the committee when you have Resolved the conceptual design of the annex building and how the overall project works in harmony, scale and character to enhance the character of Washington Street and the adjacent community.

Respectfully submitted:

**Urban Design Advisory Committee**

Daniel Straub  
co-chair and professional representative

Bruce Machanic  
co-chair and business representative

# URBAN DESIGN ADVISORY COMMITTEE

---

TO: **Old Town North Urban Design Advisory Committee**

SUBJECT: Minutes of January Meeting

DATE: 21 January 2015

FINAL

---

The Urban Design Advisory Committee met on Wednesday, January 21 at 9:00am at City Hall. The following members were in attendance at the meeting:

Steve Kulinski, non-voting guest  
Marie McKenney Tavernini  
Roger Waud  
Bruce Machanic, co-chair  
Daniel Straub, co-chair

The following Staff, representatives for the Applicants, and citizen representatives were also in attendance:

Maya Contreras	P&Z
Al Cox	P&Z
Dirk Geratz	P&Z
David Kitchens	Cooper Carry Architects
Brandon Lenk	Cooper Carry Architects
Rory Byrnes	CAS Riegler
Adam Stifil	CAS Riegler
Duncan Blair	Attorney at Law

## **INTRODUCTION**

- The meeting was called to order at 9:00am as an extended quarterly meeting of UDAC. The purpose of the meeting was to review the approved conceptual design by BAR for the proposed annex building for the 515 North Washington (The Old Cotton Building) project.

## **OLD BUSINESS: PROJECT PRESENTATION & DISCUSSION**

- **515 North Washington Street (The Old Cotton Factory Building).**

This project is being proposed as a renovation and re-use of the original Cotton Factory Building for residential purposes along with the development of a proposed adjacent Annex Building, which will require a Development Special Use Plan (DSUP). The overall project will require a Master Plan Amendment, a rezoning with proffers, the DSUP including special use requests to reduce the number of parking spaces and provide off-site parking within 300 feet of the project, a Transportation Management Plan, and modification requests for the secondary front yard and the side yard for the Annex Building. The project was originally presented to UDAC in January, 2014 with a follow-up presentation in November (see minutes). The committee prepared a letter of support for the preservation and re-use of the existing building, the general footprint for a proposed Annex Building, and the proposed concept design for the 'garden space' along Washington Street. The recent January 7, 2015 presentation was focused on explaining the evolution of the concept design for the Annex Building prior to that evening's BAR meeting and work session. The committee complimented the Applicant on the obvious improvement of the design of the project but also registered the following questions:

  - a) how the proposed Annex Building, and overall project, is compatible with the Washington Street Design Guidelines and the Urban Design Guidelines since the submitted narrative does not adequately meet the requirement of explaining and describing the concept design for this project;
  - b) whether the proposed roof, roof monitor and masonry detailing of the Annex Building is compatible with the guidelines, the adjacent neighborhood, and the historic character of Washington Street.

This presentation focused on an explanation of the results of the recent BAR meeting and an explanation of how the conceptual design of the Annex Building has evolved.

**Discussion and Vote:**

The committee continued to question how this conceptual design for the Annex Building has evolved and what particular Washington Street historical building precedents have been used for inspiration. The committee also complimented the Applicant on the significant work they have accomplished in working with Staff on the conceptual layout and design of the window fenestration for the Annex Building to reflect an historical and architectural connection to the existing building. However, the committee continued to raise the following questions about the conceptual design of the building:

- a) whether the design of the proposed building, including the flat roof and roof monitor, are compatible with the adjacent neighborhood/community and with the historic character of Washington Street (it was suggested that the Annex Building appears to be a perfect fit for the waterfront, but not for Washington Street);
- b) whether the articulated masonry detail on the building elevations reflects and reinforces the intended “simple industrial building” style as noted in the earlier narratives; and
- c) whether the height of the stone base on the building may need some relief to make the north building elevation more pedestrian friendly.

In addition, questions were raised about the potential safety and security of the proposed pocket park on the south side of the site.

The following motion was offered (presented by BM; seconded by RW):

- UDAC endorses the conceptual design of this overall project and the conceptual design of the proposed Annex Building subject to the submission of an updated Narrative that will adequately explain a) the conceptual design of the overall project, and b) the conceptual architectural design of the Annex Building including its historical precedents along Washington Street.

**Yes: BM, RW**

**No : MT, DS**

**Motion Failed.**

Staff led a discussion of whether the project responds to the Urban Design Guidelines. The co-chair (DS) explained that the process used by Staff to guide this project has been flawed from the start especially for a project of such significance on Washington Street (the Staff BAR report includes noteworthy comments by adjacent property owners and by the previous Chair of the BAR). Moreover, the convoluted process makes the determination of whether this project merits the other urban design special use requests a false forgone conclusion. Nevertheless, the committee does not want to make the problems associated with the City’s current “planning process” an undue burden on this Applicant. As a result, the following motion was offered (presented by BM; seconded by RW):

- UDAC endorses the conceptual design of this overall project and the conceptual design of the proposed Annex Building subject to the submission of an updated Narrative that will adequately explain a) the conceptual design of the overall project, and b) the conceptual architectural design of the Annex Building including its historical precedents along Washington Street.

**Yes: BM, RW**

**No : MT**

**Abstain: DS**

**Motion Approved.**

**NEW BUSINESS**

- No New Business.

**ADJOURNMENT**

- The Committee adjourned at approximately 11:00am.

Ladies & Gentlemen:

I can't think of any reason of why anyone other than a real estate developer would think that this proposal is a good idea.

Sam Ellsworth  
Real Estate Developer

Calebs Limited Partnership  
416 S Saint Asaph St  
Alexandria, VA 22314



# BARTLETT TREE EXPERTS

7823 LL LOISDALE RD., SPRINGFIELD, VA 22150 • (703) 550-6900 • FAX (703) 550-2656

February 3, 2015

Rory Byrnes  
CAS Riegler  
1010 Wisconsin Ave NW, Suite 600  
Washington, DC 20001

Per your request, a basic visual assessment was performed on the sycamore located near the parking lot entrance of 514 N. Washington St. The tree is approximate 55' tall and is 36.5" in diameter measured at 4.5' above grade.

The tree was damaged by a storm in the past. There is an area of decay near the storm damage wound that is causing the upper canopy to decline. There are also fungal fruiting bodies present near the wound. Several large dead limbs are located in the upper canopy of the tree. There is a seam, possibly from a lightning strike, running down the north side of the upper trunk. There is most likely decay associated with this seam.

Due to the condition of the upper canopy and trunk I do not recommend this tree for preservation during the construction process.

Respectfully,

Joshua Darkow  
Bartlett Tree Experts  
Certified Arborist MA-5043A

THE F.A. BARTLETT TREE EXPERT COMPANY  
SCIENTIFIC TREE CARE SINCE 1907

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