



# Administrative Special Use Permit Application

Department of Planning & Zoning  
301 King Street, Room 2100, Alexandria, Virginia 22314  
Phone: 703.746.4666 | [www.alexandriava.gov/planning](http://www.alexandriava.gov/planning)

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## PROPERTY LOCATION:

ZONE:

TAX MAP REFERENCE:

## APPLICANT'S INFORMATION:

Applicant:

Business/Trade Name:

Address:

Phone:

Email:

## PROPOSED USE:

Animal Care with Overnight Accommodations

Auto Trailer Rental or Sales

Catering Operation

Child and Elder Care Homes

Day Care Center

Health and Athletic Club

Light Assembly, Service, and Craft

Light Auto Repair

Live Theater

Massage Establishment

Outdoor Dining (Other than King Street Outdoor Dining Area)

Outdoor Food and Crafts Market

Outdoor Garden Center

Outdoor Display

Public School Trailers

Restaurant

Valet Parking

Vehicle Parking or Storage for More Than 20 Vehicles

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner, I hereby grant the applicant use of (property address), for the purposes of operating a (use) business as described in this application. I also grant permission to the City of Alexandria to visit, inspect, photograph and post placard notice on my property.

Name: Phone:

Address: Email:

Signature: *Thanhao Uyen* Date:

1. The applicant is the (check one):

Owner

Contract Purchaser Lessee or

Other: of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner and the percent of ownership.

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

Yes. Provide proof of current City business license

No. The agent shall obtain a business license prior to filing application, if required by the City Code.

## USE CHARACTERISTICS

2. Please give a brief statement describing the use:

3. Please describe the proposed hours of operation:

Days                      Hours

Daily

Or give hours for each day of the week

Monday

Tuesday

Wednesday

Thursday

Friday

Saturday

Sunday

4. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect? Specify time period (i.e., day, hour, or shift).

B. How many employees, staff and other personnel do you expect? Specify time period (i.e., day, hour, or shift).

5. A. How many parking spaces of each type are provided for the proposed use:

Standard and compact spaces

Handicapped accessible spaces

Other

B. Please give the number of:

Parking spaces on-site

Parking spaces off-site

If the required parking will be located off-site, where will it be located?

6. Please provide information regarding loading and unloading for the use:

A. How many loading spaces are available for the use?

B. Where are off-street loading spaces located?

C. During what hours of the day do you expect loading/unloading operations to occur?

D. How frequently are loading/unloading operations expected to occur per day or per week?

7. If any hazardous materials or organic compounds (for example paint, ink, lacquer thinner, or cleaning or degreasing solvent), as defined by the state or federal government, be handled, stored, or generated on the property, provide the name, monthly quantity, and specific disposal method below:

8. What is the square footage the use will be occupying?

square feet

**APPLICANT'S SIGNATURE**

Please read and initial each statement:

THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff to visit, inspect, and photograph the building premises, land etc., connected with the application.

**Print Name of Applicant or Representative**

**Signature**      *Khank Dao*      **Date**

If this application is being filed by someone other than the business owner (such as an agent or attorney), please provide the information below:

Representative's Address:

Phone:

Email:

Fax:



## **Department of Planning & Zoning**

### **Administrative Special Use Permit New Use Checklist**

**Application form**

**Application fee**

**Supplemental Worksheet for the following uses:**

Catering Operation

Child or Elder Care Home

Day care Center

Light Automobile Repair, Auto & Trailer Rental or Sales, Vehicle Parking or Storage

Live Theater

Outdoor Dining

Outdoor Display

Outdoor Food and Crafts Market

Outdoor Garden Center

Valet Parking

**Interior floor plan**

Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

**Contextual site image**

Show subject site, on-site parking area, surrounding buildings, cross streets

**If applicable**

Outdoor plan for outdoor uses



# OLD TOWN RESTAURANT POLICY

## Changes to Old Town Small Area Plan Chapter of the Master Plan Adopted by City Council on November 13, 1993

On November 13, 1993, the City Council adopted Resolution No. 1672, which outlines new policy and criteria used in applying the revised Old Town Restaurant Policy. Individuals who apply for a special use permit to operate a restaurant in Old Town must address in their entirety five criteria in order to be considered for a special use permit. An application will not be formally accepted for processing until this questionnaire is completed.

### GOALS OF THE OLD TOWN RESTAURANT POLICY

1. To lessen the on-street parking impact of restaurants in Old Town and adjacent areas;
2. To prevent rowdiness and vandalism from patrons leaving restaurants, particularly in the late evening; and
3. To control the spread of litter in Old Town.

### POLICIES TO ATTAIN THE GOALS OF THE OLD TOWN RESTAURANT POLICY

City Council shall not approve a request for special use permit for any new restaurant, carry-out or fast food establishment or an expansion of an existing restaurant, carry-out or fast food establishment, unless it finds that the request does not significantly impact nearby residential neighborhoods. City Council shall consider the cumulative impact of the proposal and the number of already established restaurants, carry-outs, fast food establishments and the number of food service seats, bar seats and standing service areas in the immediate area. In the case of an expansion or other intensification, the entire operation of the establishment may be taken into account in determining its impact upon the nearby residential neighborhoods. In making that determination, City Council shall consider the following factors:

- The availability of off-street parking.
- The predicted impact of the restaurant on parking supply in the adjacent neighborhood.
- The extent to which the restaurant is open in the late night hours.
- The extent to which alcohol (such as spirits, mixed drinks, wine, and beer) consumption will predominate over food consumption, including consideration of the number of bar seats, if any, and the standing areas in the vicinity of bars.
- The predicted extent of litter generated in nearby neighborhoods.

### CRITERIA TO BE USED TO EVALUATE NEW OR EXPANDED RESTAURANTS

Parking Management Plan. The applicant must submit a parking management plan (PMP), which specifically addresses the following issues:

- The parking demand generated by the proposed restaurant.
- The availability of off-street parking for patrons. For the purpose of this policy, availability shall be measured in terms of the number of vacant off-street parking spaces within 500 feet from the entrance to the restaurant.
- How employees who drive will be accommodated off the street at least in the evenings and on weekends.
- The predicted impact of the restaurant on the parking supply at the evening, weekend, and daytime peaks.
- A proposal to reduce the impact of parking created by the restaurant on nearby areas. Acceptable alternatives for reducing parking impacts include, but are not limited to, the following: validated parking or valet parking for patrons, and off-street parking or transit subsidies for employees.



Parking impacts. Please answer the following:

- 1. What percent of patron parking can be accommodated off-street? (check one)
  - 100%
  - 75-99%
  - 50-74%
  - 1-49%
  - No parking can be accommodated off-street
  
- 2. What percentage of employees who drive can be accommodated off the street at least in the evenings and on weekends? (check one)
  - All
  - 75-99%
  - 50-74%
  - 1-49%
  - None
  
- 3. What is the estimated peak evening impact upon neighborhoods? (check one)
  - No parking impact predicted
  - Less than 20 additional cars in neighborhood
  - 20-40 additional cars
  - More than 40 additional cars

Litter plan. The applicant for a restaurant featuring carry-out service for immediate consumption must submit a plan which indicates those steps it will take to eliminate litter generated by sales in that restaurant.

Alcohol Consumption and Late Night Hours. Please fill in the following information.

- 1. Maximum number of patrons shall be determined by adding the following:
  - \_\_\_\_\_ Maximum number of patron dining seats
  - + \_\_\_\_\_ Maximum number of patron bar seats
  - + \_\_\_\_\_ Maximum number of standing patrons
  - = \_\_\_\_\_ Maximum number of patrons
  
- 2. \_\_\_\_\_ Maximum number of employees by hour at any one time
  
- 3. Hours of operation. Closing time means when the restaurant is empty of patrons.(check one)
  - Closing by 8:00 PM
  - Closing after 8:00 PM but by 10:00 PM
  - Closing after 10:00 PM but by Midnight
  - Closing after Midnight
  
- 4. Alcohol Consumption (check one)
  - High ratio of alcohol to food
  - Balance between alcohol and food
  - Low ratio of alcohol to food



# BLOOM TEA

## GENERAL NOTES:

- THE SUB-CONTRACTOR SHALL READ ALL GENERAL AND SPECIFIC NOTES AND BE BOUND TO THEIR REQUIREMENTS. SUB-CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE CONDITIONS PRIOR TO BID.
- THE SUB-CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE BID SHALL BE BASED ON THE USE OF ALL EQUIPMENT, MATERIALS, MANUFACTURERS AND SYSTEMS DESCRIBED IN THIS SET OF CONSTRUCTION CONTRACT DOCUMENTS UNLESS SPECIFICALLY INDICATED IN THE PRICE SUBMISSION. UNLESS AN ITEM IS SPECIFICALLY EXCLUDED OR SUBSTITUTION IS LISTED ON THE SUBMISSION BY THE SUB-CONTRACTOR, HE SHALL BE RESPONSIBLE FOR THE FULL EXTENT OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
- ANY QUESTIONS OR CONFLICTS REGARDING ARCHITECTURAL DRAWINGS OR SPECIFICATIONS ARE TO BE IN WRITING FOR THE ARCHITECT (RFI) AND DIRECTED TO ARCHITECT FOR DIRECTION. NO DIRECTION FROM SHALL HAVE COST IMPACT UNLESS AUTHORIZED BY TENANT AND DIRECTED TO MARKUP.
- IF CONFLICTS ARE DISCOVERED AT ANY TIME BETWEEN ENGINEERING AND ARCHITECTURAL SHALL BE CONTACTED AT ONCE TO RESOLVE THE PROBLEM. IF ARCHITECT IS NOT CONTACTED, SUB-CONTRACTOR SHALL ACCEPT ANY RESPONSIBILITY TO CORRECT ANY WORK INSTALLED THAT IS NOT IN ACCORDANCE WITH THE DRAWING.
- IF CONFLICTS ARE DISCOVERED AT ANY TIME BETWEEN SITE CONDITIONS AND ARCHITECTURAL DRAWINGS, ARCHITECT SHALL EXACT LOCATIONS OF ALL UTILITIES PRIOR TO CUTTING AND DIGGING. ALL SLAB PENETRATION SHALL BE CONTACTED AT ONE TO RESOLVE ANY DISCREPANCIES. OTHERWISE CONTRACTOR TAKES FULL IRRESPONSIBILITY. IF CONTRACTOR IS UNSURE OF IN SLAB OR UNDER SLAB UTILITIES IT IS RECOMMENDED TO SPK THE SLAB AT THE DISCRETION OF THE CONTRACTOR. ANY HIT CONDUITS REPAIR WORK WILL BE AT THE EXPENSE TO TRADE CONTRACTOR RESPONSIBLE.
- IN CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING SPECIFICATIONS OF FINISHES, ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE AND ALL CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES IN THE FIELD.
- WHERE SLAB CUTTING IS REQUIRED, IT SHALL BE THE SUB-CONTRACTORS IRRESPONSIBILITY TO VERIFY EXACT LOCATIONS OF THE UTILITIES PRIOR TO CUTTING AND DIGGING. ALL SLAB PENETRATION SHALL BE DON BY EITHER CORE DRILLING OR SAW CUTTING SLAB. FOR SLABS ON GRADE, SUB-CONTRACTOR SHALL BACKFILL IN LITS NOT TO EXCEED 3" AND TAPER USING A MECHANICAL CONCRETE NEW PATCHING SHALL BE THE SAME THICKNESS AS EXISTING SLAB AND SHALL ALIGN AND MAINTAIN THE LEVEL OF EXISTING SLAB.
- SUB-CONTRACTOR SHALL PERFORM AND WORK IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- ALL PERMITS, INSPECTIONS AND FEES ARE TO BE OBTAINED, SECURED AND PAID FOR BY THE SUB-CONTRACTORS.
- SUB-CONTRACTOR MY SUBSTITUTE MATERIALS AND/OR CONSTRUCTION ITEMS AND METHODS UPON SUBMITTAL OF A SUBSTITUTION IN WRITING OR BY SAMPLE TO ARCHITECT. ANY COST CHANGES MUST ALSO BE SUBMITTED. THE ARCHITECT WILL COMMUNICATE THE DECISION TO THE SUB-CONTRACTOR BY LETTER IF THE SUBSTITUTION IS ACCEPTED. SUBSTITUTION FOR LONG LEAD ITEMS MUST BE PROVIDED EARLY ENOUGH IN THE CONSTRUCTION PROCESS THAT NO DELAY IS CREATED IN COMPLETION OF THE PROJECT DUE TO THE SUBSTITUTION OTHERWISE THE SUB-CONTRACTOR SHALL ASSUME IRRESPONSIBILITY FOR ANY COST TO THE OWNER ARISING OUT OF SUCH WORK.
- WARRANTIES, GUARANTEES AND MANUFACTURERS INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE SUB-CONTRACTOR SHALL BE ASSEMBLED INTO A NOTEBOOK AND GIVEN TO THE OWNER AT THE TIME OF OCCUPANCY.
- AT COMPLETION OF THE WORK, THE SUB-CONTRACTOR SHALL ENSURE ALL SURFACES ARE CLEAN AND UNMARKED, AND THAT ALL SYSTEMS ARE OPERATION PROPERLY.
- SUB-CONTRACTOR SHALL REPAIR ALL DAMAGE CAUSED BY HIM OR HIS PERSONNEL DURING CONSTRUCTION AND FINAL TURNOVER.
- SUB-CONTRACTOR SHALL CLEAN ALL WINDOWS AT THE COMPLETION OF CONSTRUCTION.
- SUB-CONTRACTOR SHALL ENSURE THAT ALL PAINT HAS BEEN REMOVED FROM ALL WINDOW SURFACES PRIOR TO DELIVERY OF THE SPACE.
- ALL MISCELLANEOUS NAILS, HANGERS, STAPLES, WIRES AND WIRE CONDUITS SHALL BE REMOVED FROM WALLS AND CEILINGS WHERE THEY WILL BE EXPOSED IN THE NEW WORK.
- HVAC SUB-CONTRACTOR TO CLEAN AND CHECK HVAC SYSTEM AND REPORT TO ARCHITECT ANY PROBLEMS OR REPAIRS REQUIRED.
- SUB-CONTRACTOR SHALL EXAMINE ALL DRAWINGS RELATED TO HIS AND OTHER TRADES, AND SHALL BE FULLY INFORMED AS TO THEIR EXTENT OF THIS CONTRACT AND ALL INCLUDED WORK ON PLANS IN OTHER TRADES.
- ALL SYSTEMS AND EQUIPMENT TO BE GUARANTEED FOR ON YEAR FREE LABOR AND MATERIALS. DIVISION #6
- ALL MILLWORK WILL BE A.M.I. QUALITY FOR CUSTOM GRADE. APPROPRIATED DETAILS & MATERIALS SHALL BE USED. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL MILLWORK FOR APPROVAL BY ARCHITECT PRIOR FABRICATION. COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT WITHIN SEVEN DAYS OF CONTRACT AWARD.
- ALL DIMENSIONS FOR ALL MILLWORK GOVERNED BY FIELD CONDITIONS SHALL REMAIN THE MILL WORK CONTRACTORS IRRESPONSIBILITY DESPITE ACCEPTANCE OF SHOP DRAWING BY ARCHITECT.
- MILLWORK CONTRACTOR WILL REVIEW ALL MILLWORK FINISHED ON THE DRAWINGS AND FINISH SCHEDULE AND SHALL NOTIFY THE CONTRACTOR IN WRITING AS PART OF BID SUBMISSION OF ANY LONG LEAD ITEMS.
- COVER BOARD SHALL BE USED IN AREAS OF V.C.T. AND CARPET, UNLESS OTHERWISE NOTED.

- DIVISION #6
- TOUCH-UP AND REPAIR SURFACE BLENDISHED ON ALL EXISTING DOORS AND FRAMES.
  - SUB-CONTRACTOR SHALL SUPPLY AND UNDERCUT ALL NEW DOORS TO ALLOW PROPER MOVEMENT OVER FINISHED FLOOR SURFACES AS SPECIFIED IN THE FINISH SCHEDULE. IF DIMENSIONAL INFORMATION IS REQUIRED, SUB-CONTRACTOR SHALL NOTIFY ARCHITECT. SUB-CONTRACTOR SHALL ADJUST FRAMED OR MODIFY UNDERCUTS IN LOCATIONS WHERE THE THE FLOOR IS NOT LEVEL.
  - DOOR FRAMES SHALL BE PRIMED AND FINISHED ACCORDING TO THE FINISH SCHEDULE.
- DIVISION #1
- PROVIDE APPROPRIATE METAL TRIM ACCESSORIES FOR GYPSUM WALLBOARD AS RECOMMENDED BY USE, AS NECESSARY TO MATCH EXISTING CONDITIONS. CUT EDGES ARE TO BE TAPERED, SPACKLED, SANDED AND MADE SMOOTH BEFORE FINISHED APPLIED.
  - SUB-CONTRACTOR SHALL PATCH AND REPAIR DRYWALL AT LOCATIONS WHERE WALL OUTLETS OR SWITCHES HAVE BEEN REMOVED.
  - SUB-CONTRACTOR SHALL PROVIDE NEW CEILINGS AS SPECIFIED. SUB-CONTRACTORS SHALL ENSURE THAT ALL TILES ARE SET LEVEL IN THE GRID AND ARE TIGHT AT PARTITIONS.
  - TRANSITION STRIPS SHALL BE PROVIDED AT EACH CHANGE IN FLOOR MATERIAL, WHICH ARE APPROPRIATED TO THE CONDITIONS OF INSTALLATION.
  - FLASH PATCH FLOORS AS REQUIRED TO ENSURE LESS THAN 1/4" DIFFERENCE IN LENGTHS OVER 1'-0" OF RUN UNDER CARPET.

- DIVISIONS #5 MECHANICAL
- SEE MECHANICAL DRAWINGS FOR ADDITIONAL NOTES.
- DIVISION #6 ELECTRICAL
- SEE ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES.
  - SUB-CONTRACTOR SHALL VERIFY LOCATIONS OF ALL TELEPHONES AND ELECTRICAL OUTLETS WITH ARCHITECT BY MEANS OF CHALK LAYOUTS PRIOR TO INSTALLATION. THE ARCHITECT SHALL BE NOTIFIED ONCE THE LAYOUT IS READY FOR VERIFICATION.
  - FURR OUT COLUMNS TO ENSURE FLUSH AND HIDDEN INSTALLATION OF ELECTRIC OR TELEPHONE OUTLETS.
  - ALL WIRING WILL BE RUN CONCEALED UNLESS OTHERWISE NOTED. IF PROBLEMS ARISE AT OUTLET LOCATION ON PERIMETER WALLS, SUB-CONTRACTOR NOTIFY ARCHITECT IMMEDIATELY. ALL WIRING SHALL STRICTLY BE TO LOCAL AND GOVERNING CODE.
  - ALL BREAKERS, FUSES AND SWITCHES SHALL BE MARKED TO DESIGNATE THE EQUIPMENT OR AREAS WHICH THE CIRCUIT SERVICES.
  - ALL RECEPTACLES, SWITCHES AND COVER PLATES TO MATCH UNLESS OTHERWISE NOTED.

- SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRIC CONNECTION OF ANY FURNITURE SYSTEM TO POWER SUPPLIES AS INDICATED IN DRAWINGS.
- ALL SWITCHES ARE TO BE COMMON AND TYPICAL STANDARD DIMENSION OF 6" TO THE CENTER LINE OFF THE BOX FROM THE DOOR JAMB.
- WHERE DESIGNATED PROVIDE AND INSTALL RING AND STRING RULL AND PLASTIC GROMMET AT METAL STUD PUNCH OUTS FOR OWNER TELEPHONE/DATA SUB-CONTRACTOR TO PULL CABLE AS REQUIRED BY THE OWNER.

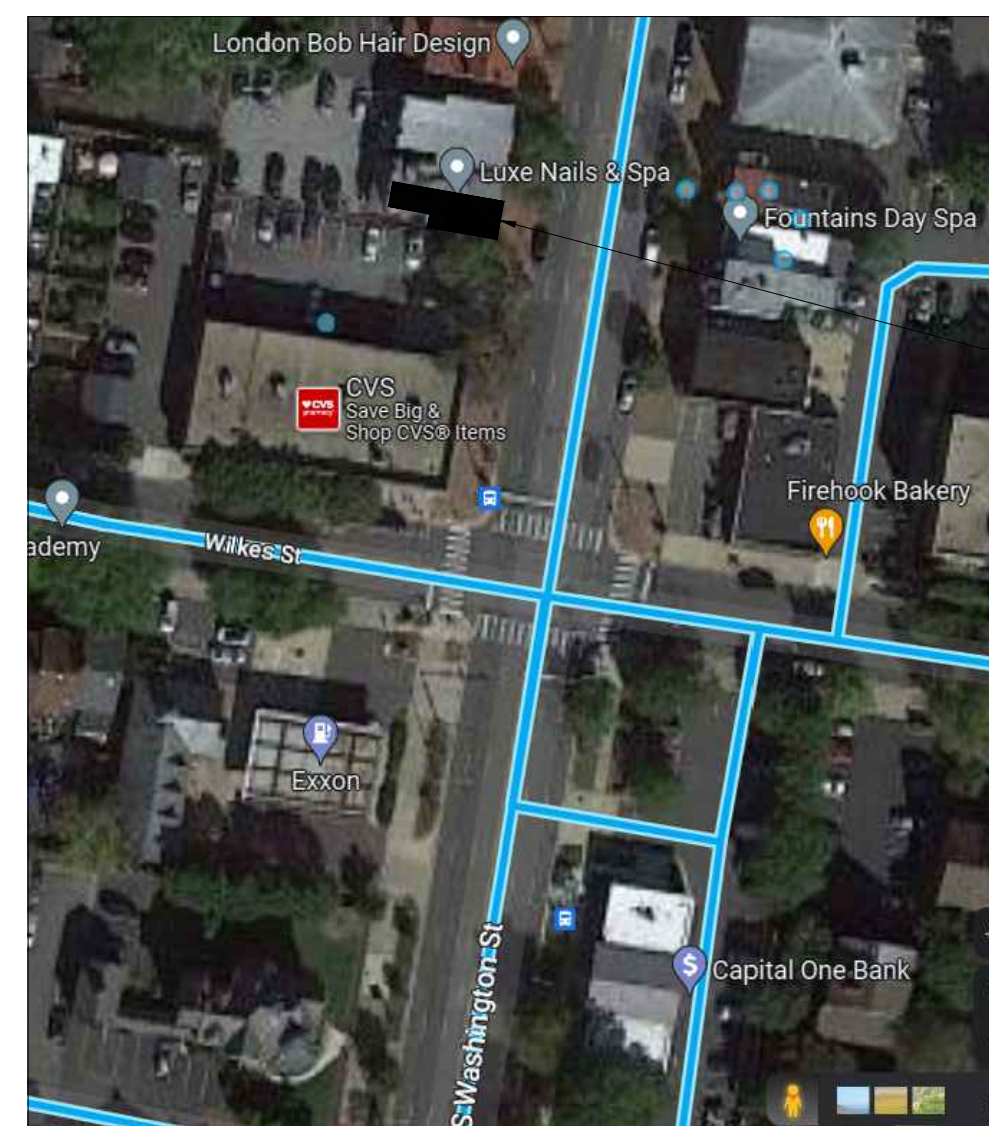
- ELECTRICAL AND TELEPHONE/DATA SUB-CONTRACTOR SHALL BE REQUIRED TO USE CABLE APPROPRIATED FOR USE. UL RATED FOR CEILING ASSEMBLY. SUB-CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LOW VOLTAGE PERMITS REQUIRED BY THE LOCAL JURISDICTION.
- COORDINATE LIGHTING AND NEW INSTALLATIONS WITH MECHANICAL WORK.
- SUB-CONTRACTOR SHALL INSTALL WALL MOUNTED SPEAKERS AS LOCATED BY OWNER.

- DEMOLITION NOTES
- COORDINATE THE REMOVAL AND PROPER DISPOSAL OF ALL CONSTRUCTION DEBRIS AND TAKE NECESSARY PRECAUTIONS TO PROTECT THE BUILDING ELEMENTS TO REMAIN AND OCCUPANTS FROM CONSTRUCTION RELATED DEBRIS, DAMAGE, INJURY OR ACCIDENT.

NOTE:  
ANY CONFLICT BETWEEN DRAWINGS SHALL BE CLARIFIED BY ARCHITECT PRIOR TO INSTALLATION OF TRADE WORK

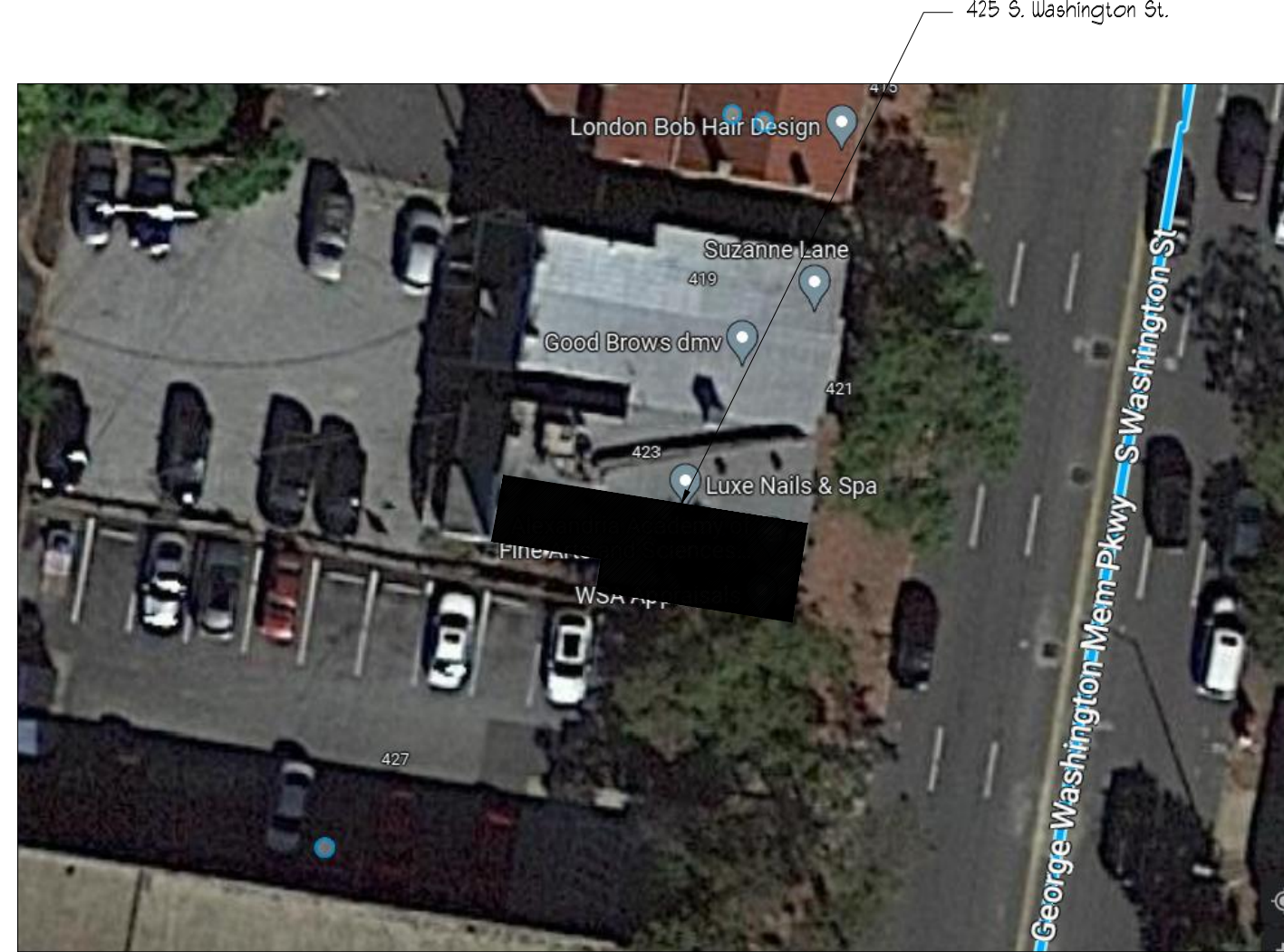
## SITE PLAN

SCALE: NTS



## BUILDING LOCATION

SCALE: NTS



## ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	MECH	MECHANICAL
AA	ALL AROUND	MIN	MINIMUM
ACOUS	ACOUSTICAL	MISC	MISCELLANEOUS
ACT	ACOUSTICAL CEILING TILE	MLDG	MOLDING
ADJ	ADJACENT	MO	MOUNTED OPENING
ALUM	ALUMINUM	MTD	MOUNTED
ANOD	ANODIZED	MTL	METAL
BD	BOARD	OC	ON CENTER
BLKG	BLOCKING	O.H.	OPPOSITE HAND
BS	BOTH SIDES	PLYWD	PLYWOOD
C.L.	CENTERLINE	PL	PLATE
CLG	CEILING	POL	POLISHED
CMU	CONCRETE MASONRY UNIT	PTD	PAINTED
CONC	CONCRETE	ROP	REFLECTED CEILING PLAN
CONT	CONTINUOUS	RND	ROUND
DIA	DIAMETER	RO	ROUGH OPENING
DIM	DIMENSION	SC	SOLID CORE
DN	DOWN	SIM	SIMILAR
DOUG	DOUGLAS	SH	SHEET
DR	DOOR	STND	STAINED
DTL	DETAIL	STL	STEEL
DWG	DRAWING	STOR	STORAGE
ELEC	ELECTRICAL	TEL	TELEPHONE
ELEV.	ELEVATION	TYP	TYPICAL
EQ	EQUAL	TYP	TO MATCH EXISTING
EQUIP	EQUIPMENT	UNO	UNLESS NOTED OTHERWISE
EXST	EXISTING	VCT	VINYL COMPOSITION TILE
FF	FINISH FLOOR	VERT	VERTICAL
FXTR	FIXTURE	VEN	VENER
FLUOR	FLUORESCENT	VIF	VERIFY IN FIELD
GFI	GROUND FAULT INTERRUPTER	VWC	VINYL WALL COVERING
GC	GENERAL CONTRACTOR	WD	WOOD
GL	GLAZING		
GYP	GYPSUM		
GWB	GYPSUM WALL BOARD		
HWDR	HARDWARE		
HM	HOLLOW METAL		
MAT	MATERIAL		
MAX	MAXIMUM		
MC	MILLWORK CONTRACTOR		
MDF	MEDIUM DENSITY FIBERBOARD		
MDO	MEDIUM DENSITY OVERLAY		

## CONSTRUCTION PLAN SYMBOL

(D)	DOOR NUMBER
(RM)	RM NUMBER
(X)	WALL TYPE
(W)	WINDOW TYPE
(A-1)	INTERIOR ELEVATION
(S)	BUILDING SECTION
(P)	DETAIL CALL OUT
(R)	REVISION INDICATION
(-)	EXISTING PARTITION
(+)	NEW PARTITION
(//)	N.I.C.

## SCOPE OF WORK

- EXTERIOR: UNCHANGED
- INTERIOR PARTITIONS: UNCHANGED, PAINTING, REPLACE FLOOR TILES, BASE TRIM
- CEILING: UNCHANGED
- STRUCTURAL: UNCHANGED
- MECHANICAL: UNCHANGED HVAC UNIT, UNCHANGED DUCTWORKS, UNCHANGED EXHAUSTS PER DRAWINGS. (SOME HVAC SUPPLEMENTARY MATERIALS) - FLEXIBLE DUCT, INSULATION, FITTINGS, TAPE - SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPED RATING NOT TO BE EXCEED 50 IN ACCORDANCE WITH SECTION 65 OF NFPA STANDARD NO.101
- PLUMBING: INSTALL ICE MACHINE, RELOCATE HAND SINK AT COFFEE TABLE
- ELECTRICAL: EXISTING ELECTRICAL PANEL TO REMAIN, ONLY RELOCATE AND ADD NEW OUTLETS FOR NEW FIXTURES PER DWGS
- SPRINKLER: NO, UNCHANGED
- ALARM: NO, UNCHANGED

## BUILDING SUMMARY / CODE ANALYSIS

EXISTING SPACE:	VACANT	EXIT LIGHT:	NO
PROPOSED SPACE:	COFFEE SHOP	SPRINKLER:	NO
USE GROUP:	B	NUMBER OF EXIT:	2
TENANT OCCUPANCY:	BUSINESS		
CONSTRUCTION TYPE:	III B	CODE ANALYSIS:	
BUILDING STORIES:	2		2018 VIRGINIA CONSTRUCTION CODE
HIGH RISE:	NO		2018 IBC, 2018 NEC, 2018 IPC, 2018 IMC
FLOOR AREA:	590 SQ.FT.		2018 IECC, ICC/ANSI A 117.1-2018
			HANDICAP ACCESSIBLE

## OCCUPANCY LOAD

OCCUPANCY LOAD (MAX. ALLOWED OCCUPANT WITH SINGLE TOILET IS 25 OCCUPANTS)

2018 IBC (TABLE 1004.1.2)

590 SF / 15	= 10 PERSON (DINING AREA)
10 SF / 300	= 1 PERSON (STORAGE)
100 SF / 200	= 1 PERSON (KITCHEN SERVING AREA)
50 SF / 55F	= 10 PERSON (STANDING AREA)
161 SF	= (N/A) (CORRIDOR/CIRCULATION AREA)
50 SF	= (N/A) MEN/WOMEN REST ROOM
590 SF	
OCCUPANCY LOAD	= 22 PERSON

## DOOR SCHEDULE

DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	MATL	FRAME	HARDWARE	REMARKS
X1	2'-8"	6'-8"	METAL	WD	HINGES, LOCKSET, CLOSER	EXISTING DOOR 4 FRAME TO REMAIN
X2	2'-8"	6'-8"	WD	WD	HINGES, LOCKSET, CLOSER	EXISTING DOOR 4 FRAME TO REMAIN
A	3'-0"	6'-8"	WD	WD	HINGES, LOCKSET, CLOSER	EXISTING DOOR 4 FRAME TO REMAIN

## FINISH SCHEDULE

COMPLIANCE WITH VCC 803 AND 804

NO.	SPACE	FLOOR	WALL	CEILING	HEIGHT
	SERVING	2	3	3	9'-0"
	SALE AREA	2	3	3	9'-0"
	STORAGE	2	3	3	8'-0"
	MEN/WOMEN RESTROOM	2	3	3	8'-0"

- VINYL 1/4" VINYL BASE
- CERAMIC TILES FLOOR 1/4" WOOD BASE
- 1 / 2" GYPSUM WALL BOARD, 1 COAT PRIMER SEALER, TWO COATS PREMIUM QUALITY SEMI-GLOSS LATEX FINISH COAT

OWNER ADDRESS  
Kharh Dao  
425 S. Washington St.  
Alexandria VA 22314

JOB LOCATION  
425 S. Washington St.  
Alexandria VA 22314

REVISION	5/24/23
1 PERMIT	

SCALE: 1/4" = 1'-0"

SHEET NUMBER  
**001**  
22014-001

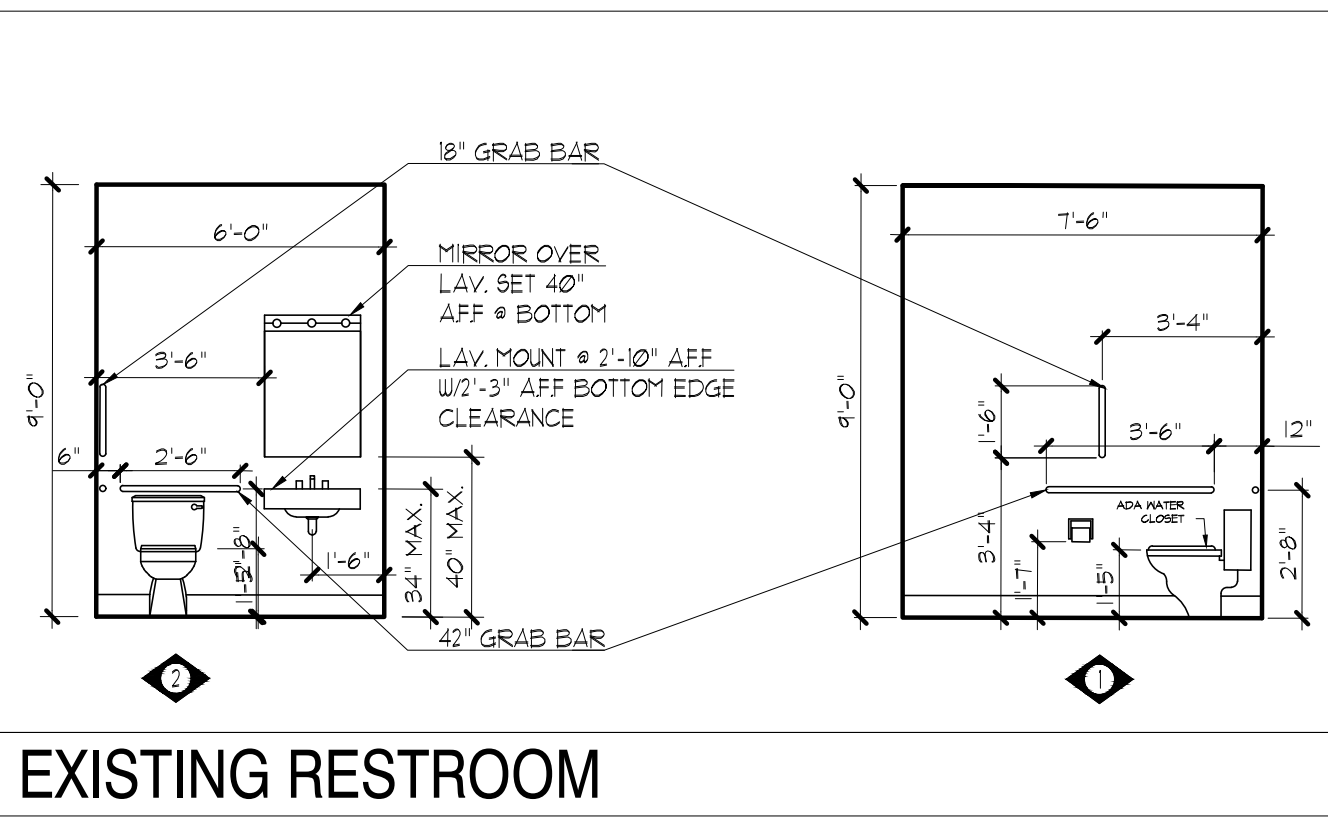


EQUIPMENT SCHEDULE

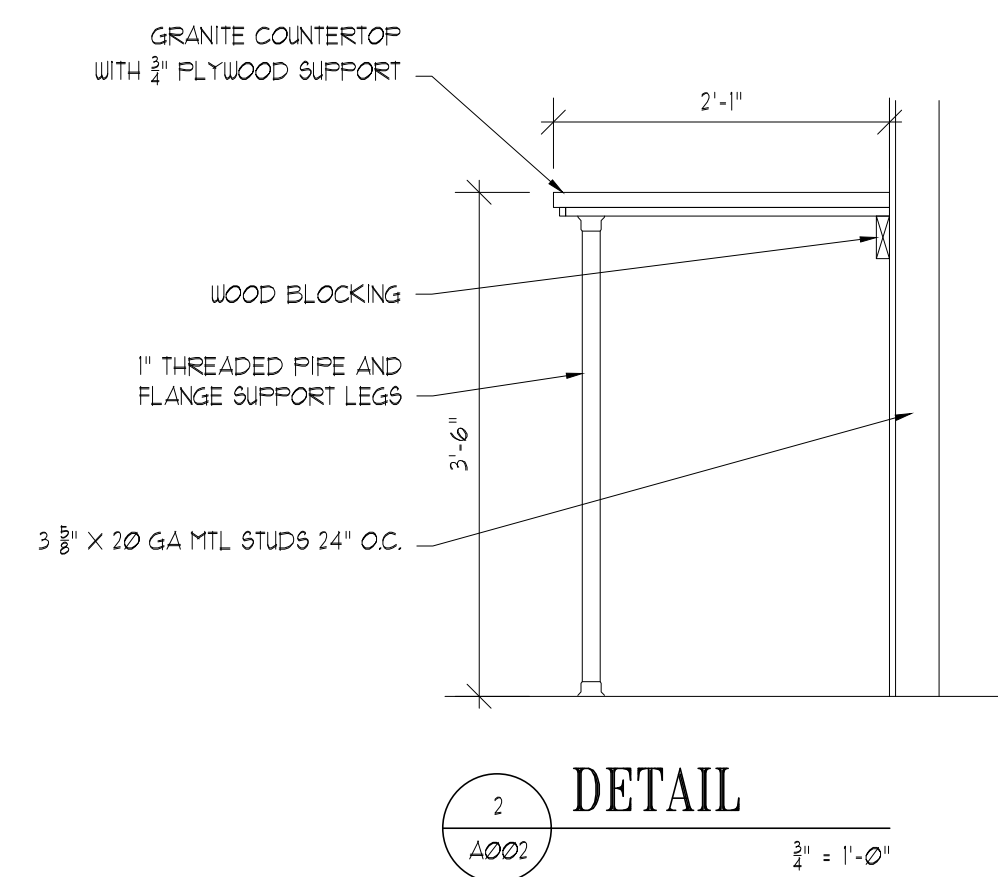
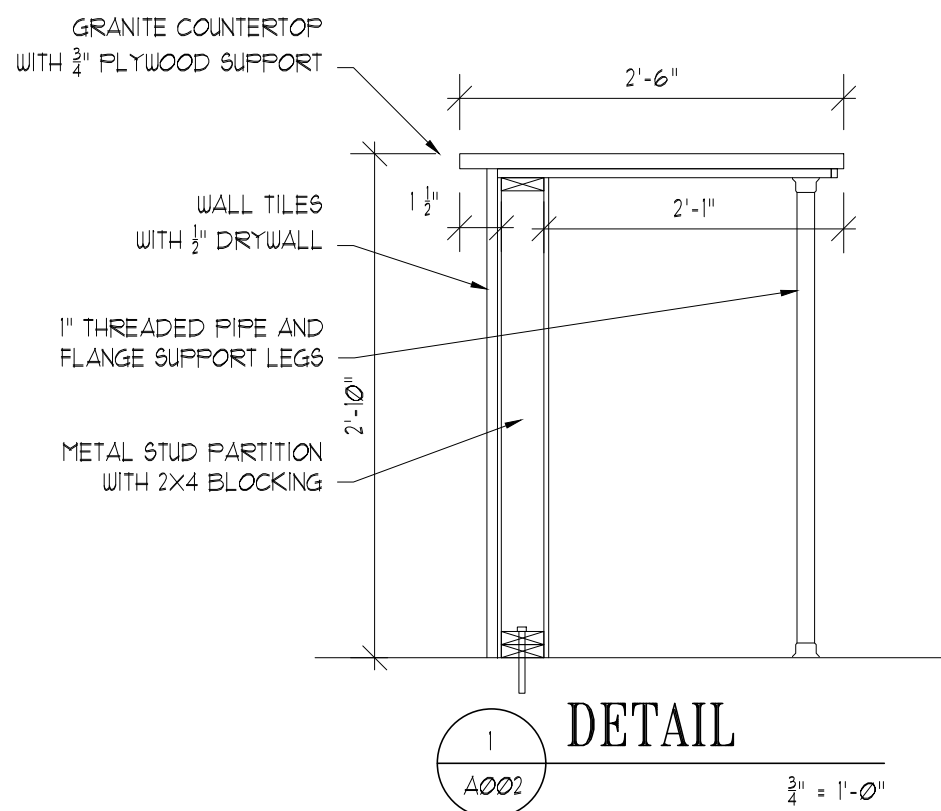
NO.	QTY.	EQUIPMENT	PROVIDED
1	1	EMPLOYEE TABLE HAND SINKS	OWNER
2	1	GLASS CASE	OWNER
3	1	COFFEE GRINDER	OWNER
4	1	COUNTER ESPRESSO	OWNER
5	1	REGISTER CASHIER	OWNER
6	1	20" UNDER COUNTER REFRIGERATOR	OWNER
7	1	UNDER COUNTER ICE MAKER	OWNER
8	1	MOP SINK	OWNER
9	2	ADA TOILET	GC
10	2	ADA WALL MOUNT HAND SINK	GC

DOOR SCHEDULE

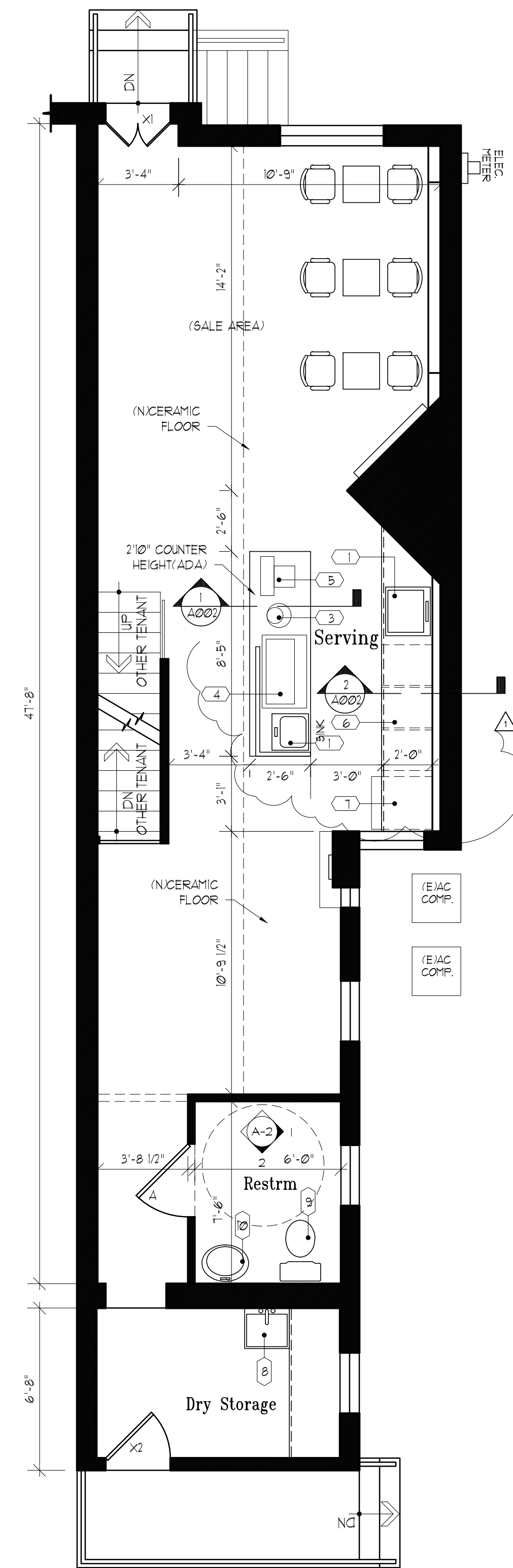
MARK	WIDTH	HEIGHT	MAT'L	FRAME	HARDWARE	REMARKS
X1	2'-8"	6'-8"	METAL	UD	HINGES, LOCKSET, CLOSER	EXISTING DOOR & FRAME TO REMAIN
X2	2'-8"	6'-8"	UD	UD	HINGES, LOCKSET, CLOSER	EXISTING DOOR & FRAME TO REMAIN
A	3'-0"	6'-8"	UD	UD	HINGES, LOCKSET, CLOSER	EXISTING DOOR & FRAME TO REMAIN



EXISTING RESTROOM

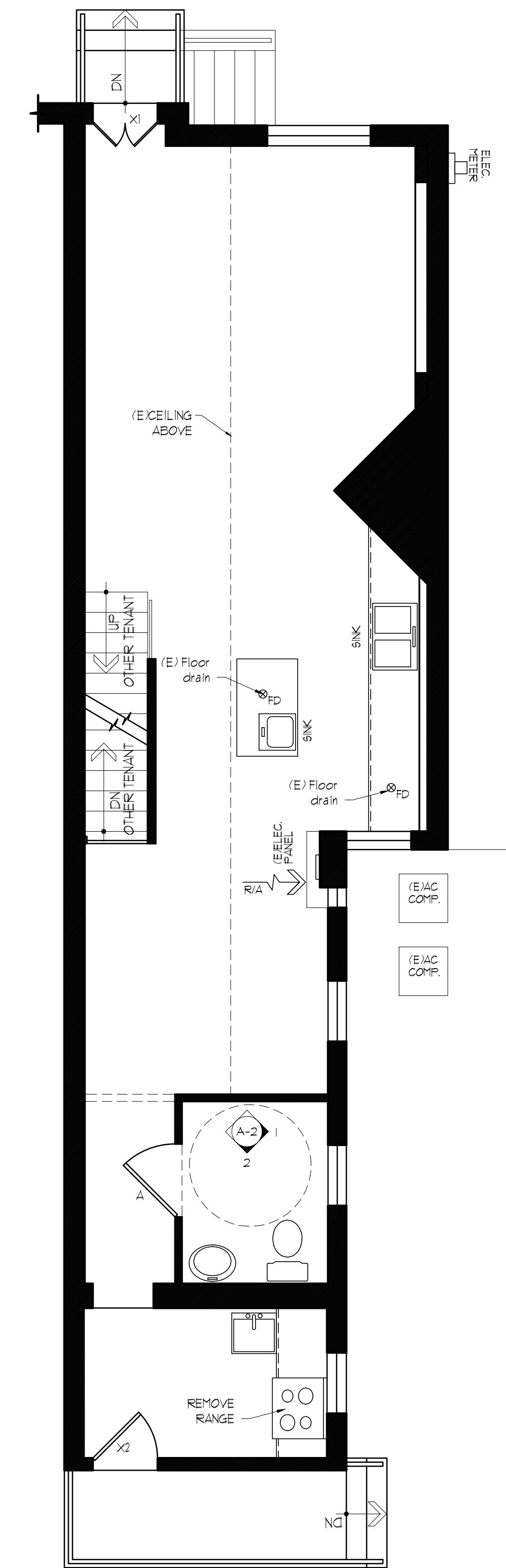


S. WASHINGTON STREET



PROPOSE FLOOR PLAN

1/4" = 1'-0"



EXISTING FLOOR PLAN

1/4" = 1'-0"

LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL OR PARTITION
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	NEW DOOR SEE SCHEDULE

Khath Dao  
425 S. Washington St.  
Alexandria VA 22314

OWNER ADDRESS

425 S. Washington St.  
Alexandria VA 22314

JOB LOCATION

REVISION

1. PERMIT	5/24/23
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SEAL

SCALE: 1/4" = 1'-0"

A002

SHEET NUMBER  
22014-A002

**ELECTRICAL SYMBOLS**

Track Light, see schedule	A	Amp
Wall Sconce, see schedule	J	Junction Box
Chandelier Light, see schedule	D	Disconnect
Surface Mounted Fluorescent Strip Light, see schedule	F	Fan
Night Light Surface Mounted Fluorescent Strip Light, see schedule	MS	Manual Starter or Concealed Plug Disconnect
Recessed Fluorescent Light, 2U -120V, see schedule	M	Motor
Recessed Fluorescent Light, see schedule	HVAC	HVAC unit, label, see mechanical schedule
Recessed Fluorescent Light, provide emergency ballast operational at a minimum level 1 ft, candle average 30 Tm, and correct ahead of any switch	EM	Electric Meter
Surface Mounted Fluorescent Strip Light, see schedule	BC	Branch circuit wiring Concealed UON
Exit Sign, filled section indicates face, arrow show direction	BCN	Branch circuit to panel, Numbers indicate assigned panel circuit number
Exit Sign and Battery Pack combination, see schedule	PC	Point of connection to existing
Emergency/Egress Light with battery back up to be 30 mins. duration minimum	ETR OR (E)	Existing to remain
Emergency/Egress Light with battery back up to be 30 mins. duration minimum	REL OR (R)	Relocated Equipment
Exterior/Egress Light with battery back up to be 30 mins. duration minimum	EC	Electrical Contractor
Manual Fire Alarm Pull Station Mounted at 48" AFF to the top	MC	Mechanical Contractor
ADA compliant Xenon Strobe Light and Horn, 5 Candela UON, Bottom of the device mounted at the lower of 80" AFF or 6" below the ceiling	GC	General Contractor
ADA compliant Xenon Strobe Light, 15 Candela UON, Bottom of the device mounted at the lower of 80" AFF or 6" below the ceiling	PC	Plumbing Contractor
Single pole switch, 48" UON	NF55	Non fused safety switch
3 way single pole switch, 48" UON	F55	Fused safety switch
Occupancy sensor switch, dual technology type 48" UON, Contractor shall adjust the default setting after installation to provide proper operation of the device	CB	Circuit breaker
Dimmer switch, 48" AFF UON	UON	Unless otherwise noted
Duplex outlet, 120V, 10 amps, 1 phase, 48" AFF, UON	AF	Above finished floor
Quadplex Outlet	CLG	Ceiling
Ground Fault Circuit Interrupting Duplex Outlet	MD	Motorized Damper
Duplex outlet mounted flush with the floor	WH	Water Heater
Duplex outlet mounted flush with the ceiling	BMS	Building Management System
Electric Panel	N	Numbered Note
Phase	(ITE)	Relocate and extend existing item and reconnect associated wiring
Pole	(N)	Circuit is continued elsewhere
Pendant Light, see schedule	PL	New
RECESSED DOWN LIGHT 120 - 120V (LED)	PL	Phone line and internet
RECESSED NIGHT LIGHT 120 - 120V (LED)	PL	LED Strip Light

**ELECTRIC NOTES**

- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE ELECTRICAL SUB-CONTRACTOR.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO ACCOMPLISH THE WORK SHOWN AND INTENDED BY THE PLANS FOR COMPLETE OPERATING ELECTRICAL SYSTEM.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY THE LICENSED ELECTRICAL UNDER THE WORK COORDINATION OF THE CONTRACTOR/SUBCONTRACTOR.
- THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE STATES AND LOCAL CODES AND COMPANY REGULATIONS.
- THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORKS HE PERFORMED. ALL MATERIALS INSTALLED SHALL BE IN CONFORMITY WITH STANDARDS AND FREE FROM DEFECTS. HE SHALL REPAIR OR REPLACE DEFECTIVE MATERIALS FOR A PERIOD OF ONE YEAR WARRANTY FROM THE DATE OF COMPLETION OF THE PROJECT AT NO COST TO THE OWNER.
- ALL FINAL CONNECTIONS TO EQUIPMENT SHALL BE COMPLETED BY ELECTRICIAN INCLUDING BUT NOT BE LIMITED TO ALL UNIONS, GROUNDING DEVICES, FITTINGS, SWITCHES, OUTLETS, CONDUIT AND WIRING.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INTERCONNECTING ALL EQUIPMENT TO ELECTRICAL PANEL.
- ELECTRICAL CONTRACTOR MUST WIRE EXHAUST FAN CONFORMING WITH LOCAL CODES SO THAT IN THE EVENT OF A FIRE THE FAN WILL AUTOMATICALLY TURN ON OR OFF.
- CONTRACTOR SHALL SUBMIT ELECTRICAL RISER DIAGRAM SHOP DRAWINGS ISSUED BY QUALIFIED ELECTRICAL TECHNICIAN IN THE VIRGINIA STATE FOR ELECTRICAL PERMIT AND SHALL BE RESPONSIBLE FOR ELECTRICAL SYSTEM PERFORMANCES.

**WIRE SIZE SCHEDULE**

AMPERITY	WIRE SIZE COPPER	1 PHASE	2 PHASE	3 PHASE	CONDUIT SIZE
20 AMP	#12 AWG	#12 AWG	#12 AWG	#12 AWG	3/4"
25A-30A	#10 AWG	#10 AWG	#10 AWG	#10 AWG	3/4"
35A-40A	#8 AWG	#8 AWG	#8 AWG	#8 AWG	1"
45A-50A	#6 AWG	#6 AWG	#6 AWG	#6 AWG	1"
60A-70A	#4 AWG	#4 AWG	#4 AWG	#4 AWG	1 1/2"
75A-85A	#3 AWG	#3 AWG	#3 AWG	#3 AWG	1 1/2"
90A-95A	#2 AWG	#2 AWG	#2 AWG	#2 AWG	2"
100A-10A	#1 AWG	#1 AWG	#1 AWG	#1 AWG	2"

**PANEL TO REMAIN (E) MAIN PANEL SCHEDULE (P1)**

PANEL DESIGNATION	VOLTAGE: 120-240V	PHASE: 1	WIRES: 3	MAIN: 150 AMP	MOUNTING: SURFACE
FED FROM EXISTING ELECTRICAL SERVICE BY LOCAL UTILITY					
REMARKS:					
BRANCH CIRCUIT LOAD DESCRIPTION	LOAD WATTS	CIRCUIT BREAKER	CIRCUIT BREAKER	LOAD WATTS	BRANCH CIRCUIT LOAD DESCRIPTION
SPARE	1 20 1	2 30 1	2 30 1	4620 +3636x125	AC UNIT BASEMENT, FIRST FL.
SPARE	1 20 3	4 30 1	4 30 1		
DEMAND AMPS: 46 AMPS PROTECTED AMPS: 60 AMPS	SEE SUB-PANEL P2	1 100 3	6 30 1	2250 +1800x125	BASEMENT DRYER
AC UNIT LEVEL 2	3636 x 125 = 4620	1 20 3	10		MAIN
BUILDING FAN	275	1 20 13	14 20 1	563 +450x125	BASEMENT WASHER
BASEMENT DISPOSAL	540 x 125 = 675	1 20 15	16 20 1	500	KITCHEN FAN
KITCHEN GFC	400	1 20 11	18 20 1	200	DISH WASHER
MAIN RECEP/ICE MACHINE	850	1 20 13	20	SPARE	
MAIN BATH UTILITY/CEILING LIGHTS	1500	15 21	22	SPARE	
BASEMENT LIVING/LIVING LIGHT	300	15 23	24 20 1	930 +150x125	FURNACE BASEMENT
TOTAL DEMAND WATTS	7561 WATTS			7396 WATTS	+ 63 AMP
TOTAL PROTECTED WATTS	8620 WATTS			9071 WATTS	+ 74 AMPS
DEMAND LOAD AMPS:	63 AMPS + 45 AMPS (SUB-PANEL P2) =			108 AMPS / 150 AMPS PROVIDED	
PROTECTED LOAD AMPS:	74 AMPS + 54 AMPS (SUB-PANEL P2) =			128 AMPS / 150 AMPS PROVIDED	

**PANEL TO REMAIN (E) SUB PANEL SCHEDULE (P2)**

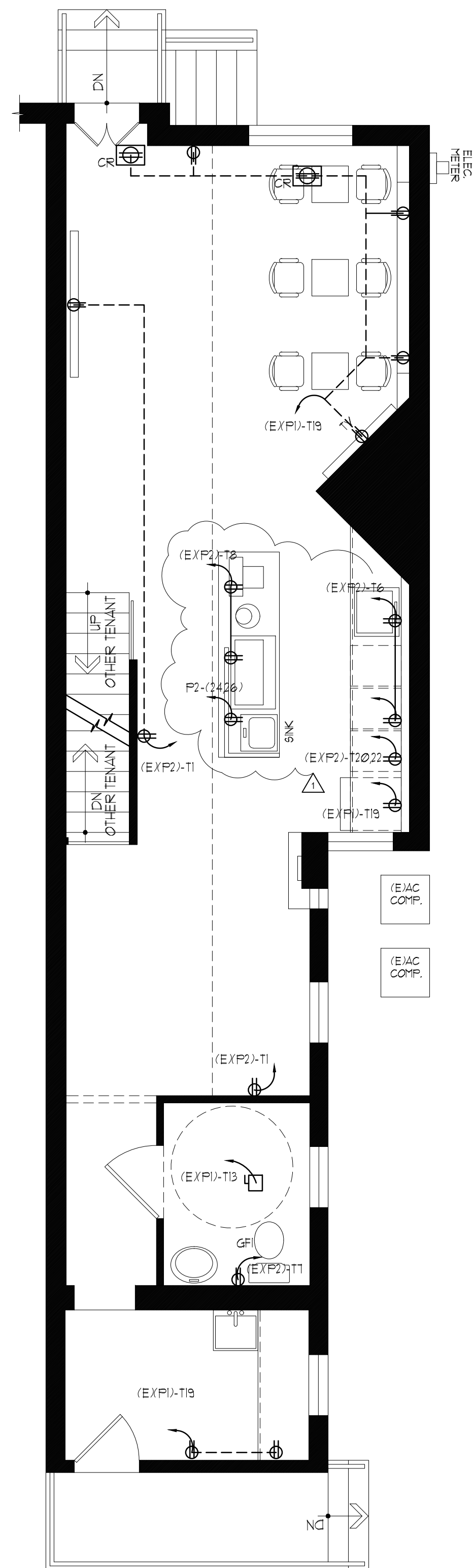
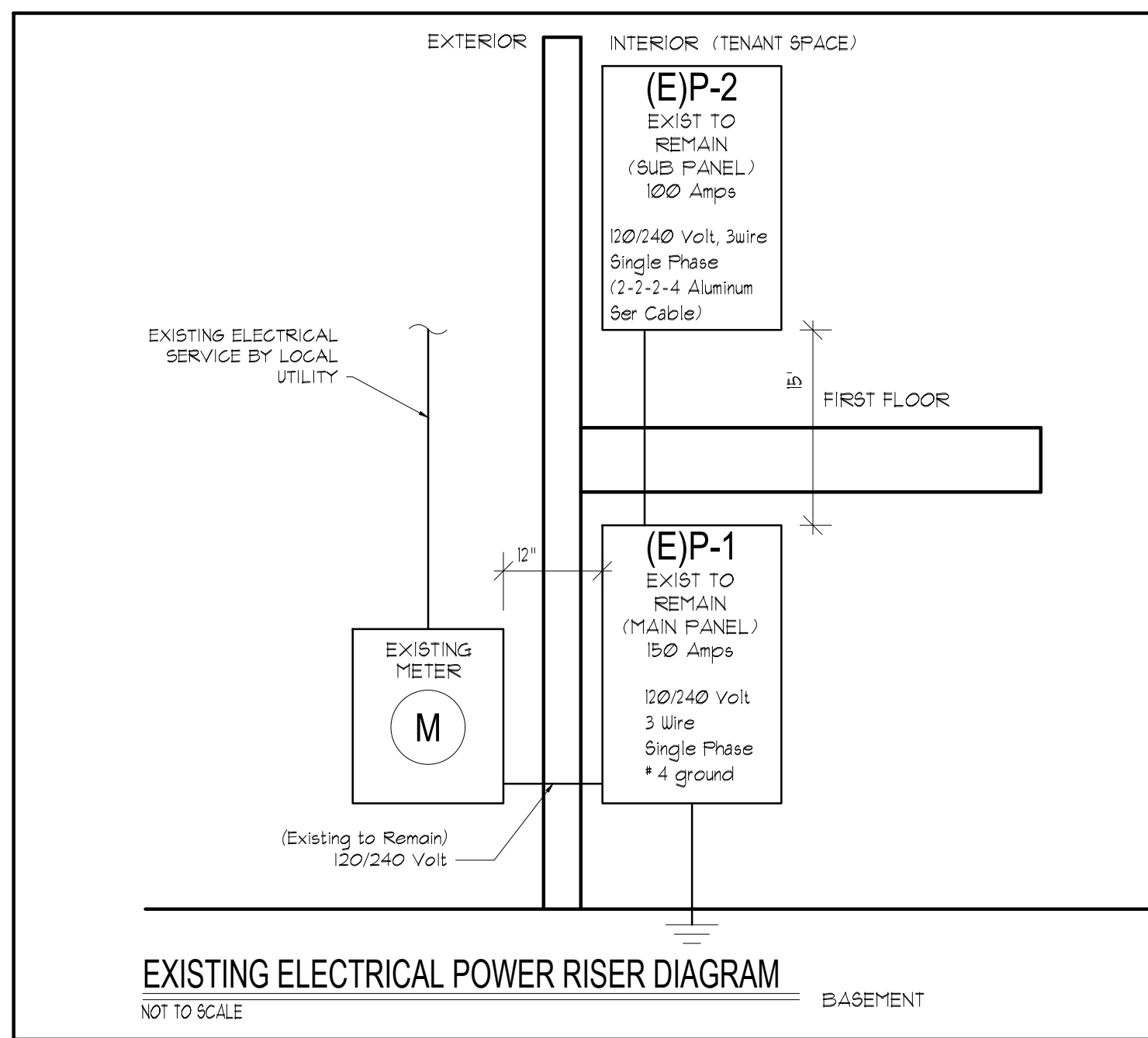
PANEL DESIGNATION	VOLTAGE: 120-240V	PHASE: 1	WIRES: 3	SUB PANEL: 100 AMP	MOUNTING: SURFACE
FED FROM EXISTING ELECTRICAL SERVICE BY LOCAL UTILITY					
REMARKS:					
BRANCH CIRCUIT LOAD DESCRIPTION	LOAD WATTS	CIRCUIT BREAKER	CIRCUIT BREAKER	LOAD WATTS	BRANCH CIRCUIT LOAD DESCRIPTION
MAIN DISCONNECT	1 1200	1 1200	1 1200		
MAIN REAR RECEPTACLE	400	1 15 1	2 15 1	380	ROOM LIGHTS RECEPT. LEVEL 2
ROOM LIGHTS RECEPT. LEVEL 2	150	1 15 3	4 20 1	480	WASHER
FURNACE LEVEL 2	150 x 125 = 930	1 20 5	6 20 1	800	COFFEE COUNTER RECEP/TS
BATHRM RECEP/TS (GFCI) LEVEL 1	300	1 20 7	8 20 1	380	CASHIER RECEP/TS
SPARE	1 20 9	10 20 1	813 +125x650	DISPOSAL	
SPARE	1 15 11	12 20 1			
SPARE	1 15 13	14 20 1			
SPARE	1 15 15	16 15 1			
SPARE	1 17 18	20 1			
SPARE	1 19 20	15 1	SPARE		
SPARE	21 22	15 1	SPARE		
SPARE	23 24	20 1	5875 +125x4100	(N) ESPRESSO MACHINE	
SPARE	25 26	20 1			
SPARE	27 28	30 1	2250 +125x1800	DRYER	
SPARE	29 30	30 1			
TOTAL DEMAND WATTS	1600 WATTS			930 WATTS	+ 45 AMP
TOTAL PROTECTED WATTS	1788 WATTS			10978 WATTS	+ 54 AMPS
DEMAND LOAD AMPS:	45 AMPS / 100 AMPS PROVIDED				
PROTECTED LOAD AMPS:	54 AMPS / 100 AMPS PROVIDED				

**IECC 2018 CALCULATION & NOTES:**

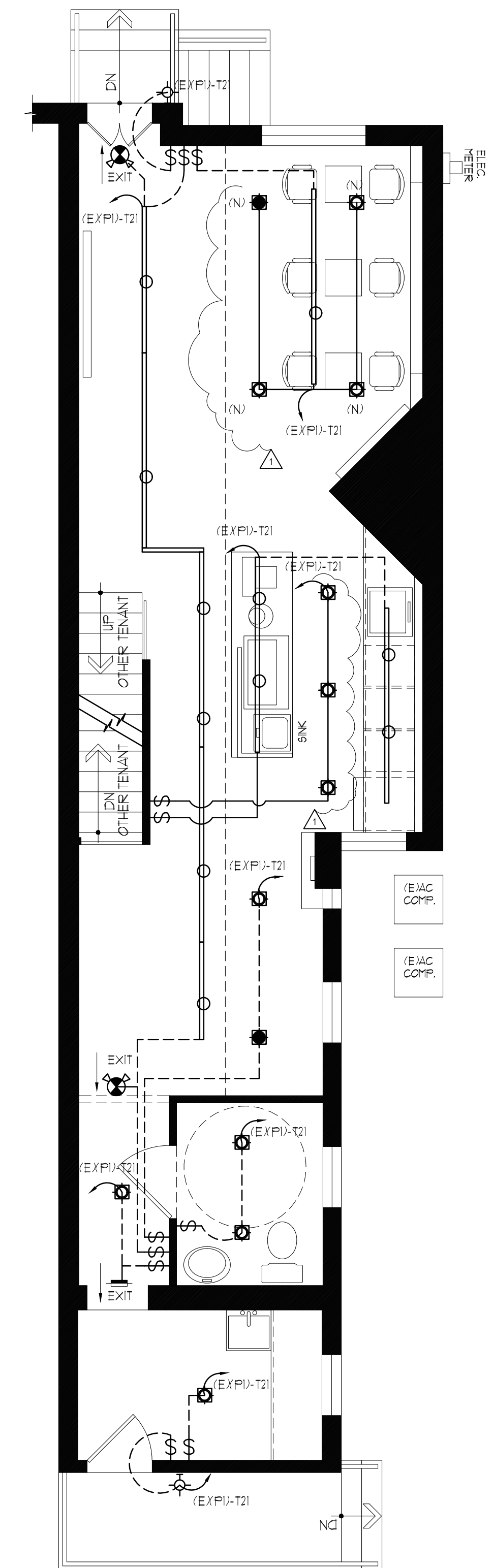
- ELECTRICAL LIGHTING POWER SHALL BE COMPLIED WITH 2018 SECTION 505.2.1, 505.3.3, 505.2.4
- TENANT SPACE IS 590 SQFT. REFERRED IECC 2018 FOR INTERIOR LIGHTING CONTROLS.
  - PROVIDE AT LEAST ON SWITCH FOR EACH AREA ENCLOSED BY WALL OR FLOOR TO CEILING PARTITIONS IECC 2018
  - PROVIDE DUAL SWITCHING OF ALTERNATE ROUS OF LUMINARIES FOR LIGHT REDUCTION CONTROLS.
  - PROVIDE AUTOMATIC WALL SWITCH FOR EACH ROOM TO TURN LIGHT OFF WITHIN 30 MINUTES OF AN OCCUPANT LEAVING SPACE.
- INTERIOR LIGHTING LOAD POWER CALCULATION AS IECC 2018:
  - TENANT GROSS AREA = 590 SQFT
  - INTERIOR LIGHTING POWER PROVIDED = 30 WATTS
  - (SEE PANEL-P2)
  - INTERIOR LIGHTING POWER ALLOWANCES = 101 W/SQFT
  - FOR COFFEE SHOP LOUNGE
  - TENANT INTERIOR LIGHT POWER ALLOWANCES = 101 W/SQFT x 590 SQFT = 5959 WATTS
  - TOTAL CONNECTED INTERIOR LIGHTING POWER IS 360 WATTS IS NOT GREATER THAN INTERIOR LIGHTING POWER ALLOWANCES 5959 WATTS FOR COFFEE SHOP LOUNGE

**LIGHTING FIXTURE SCHEDULE**

TYPE	DESCRIPTION/LOCATION	LAMPS	MANUF.	REMARKS
☉	6" DIA RECESSED LIGHT	12Wx13 156W	LITHONIA OR EQUAL	APPROVED EQUAL
⊖	8" TRACK LIGHT	12Wx15 180W	LITHONIA OR EQUAL	APPROVED EQUAL
⊕	6" WALL MOUNT LIGHT	12Wx2 24W	LITHONIA OR EQUAL	APPROVED EQUAL



**EXISTING/PROPOSE POWER PLAN**  
1/4" = 1'-0"



**EXISTING/PROPOSE LIGHTING PLAN**  
1/4" = 1'-0"

OWNER ADDRESS  
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JOB LOCATION  
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Alexandria VA 22314

REVISION

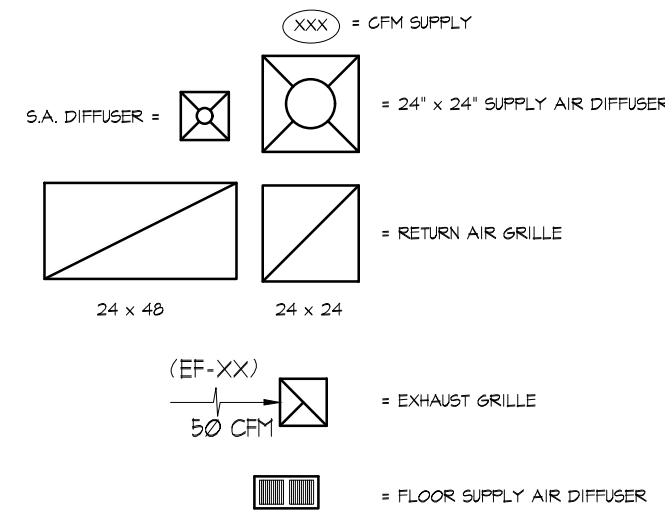
1. PERMIT	5/24/23
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SCALE: 1/4" = 1'-0"

E001  
SHEET NUMBER  
19027-E1

## MECHANICAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH NFPA 90A STANDARD FOR THE INSTALLATION OF AIR CONDITIONING AND VENTILATING SYSTEMS, AND ALL STATE AND LOCAL BUILDING CODES.
- THE INSTALLATION, MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- DUCTWORK FOR HEATING AND AIR CONDITIONING SHALL BE GALVANIZED SHEET STEEL ASTM A825 EXCEPT WHERE NOTED ON DRAWINGS AS FLEXIBLE DUCT. DUCTWORK SHALL CONFORM TO SMACNA 88-HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE. EACH SUPPLY BRANCH SHALL BE PROVIDED WITH AN ADJUSTABLE SCOOP OR EXTRACTOR TO PERMIT AIR BALANCING. FABRICATE ELBOWS WITH CENTERLINE RADIUS EQUAL TO ASSOCIATED DUCT WIDTH. INCLUDE TURNING VANES IN ELBOWS WHERE SHORTER RADIUS IS NECESSARY. LIMIT CONTRACTING ANGULAR TAPER TO 30 DEGREES AND EXPANDING ANGULAR TAPER TO 20 DEGREES. SUPPLY DUCTS SHALL BE INSULATED WITH R-6 FIBERGLASS DUCT WRAP AND VAPER BARRIER. FLEXIBLE DUCTWORK SHALL BE FACTORY FIRE-INSULATED, CONSISTING OF A GALVANIZED SPRING BONDED TO THE INTERIOR LINER ONE IN THICK 15MCF. FIBERGLASS INSULATION AND A LAMINATED VAPOR BARRIER JACKET CONSISTING OF FIBERGLASS REINFORCED METAL FILM OR VINYL SYNTHETIC FILM. FASTEN FLEXIBLE DUCT TO SUPPLY DUCT WITH BANDS AND TAPE. PROVIDE BEADED COLLARS IN SUPPLY DUCT FOR ATTACHMENT. MAXIMUM LENGTH OF FLEXIBLE DUCTWORK SHALL BE 6 FEET. ALL DUCT TO BE SEALED AT JOINTS AND SEAMS WITH SEALANT TO LIMIT LEAKAGE TO 5% OR LESS.
- DUCT SMOKE DETECTORS SHALL BE INSTALLED IN DUCTS IN ACCORDANCE WITH NFPA-90A TO SHUT DOWN THE UNIT SERVING THE ASSOCIATED DUCT. WHERE A BUILDING FIRE ALARM IS PROVIDED, PROVIDE A DRY SET OF CONTACTS TO ALLOW CONNECTION TO THE FIRE ALARM SYSTEM. IN JURISDICTIONS WHERE THE INTERNATIONAL MECHANICAL CODE IS ADOPTED, SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH I.M.C. SEC. 606.
- LOCATION OF EQUIPMENT AND DUCTWORK ARE INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. DIMENSIONS FOR FABRICATING THE DUCTWORK SHALL BE DETERMINED ON THE JOBSITE. ALL OFFSETS ARE NOT SHOWN. PROVIDE ADDITIONAL OFFSETS REQUIRED TO INSTALL DUCTWORK AS HIGH AS POSSIBLE BY AVOIDING BEAMS, CONDUITS AND PIPES. SEE ARCH. DWGS FOR MIN. CEILING HEIGHTS.
- THE FIRST 12 FEET OF THE RETURN AIR DUCT SHALL BE SOUND-LINED.
- PLANS AND SPECIFICATIONS MAY INCLUDE SPECIAL ORDER ITEMS WHICH REQUIRE GREATER LEAD TIME AND ARE MORE COSTLY THAN NON-SPECIAL ORDER ITEMS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY SUCH ITEMS BEFORE THE FINAL BID AND INCLUDING TIME AND COSTS INCURRED IN HIS/HER PROPOSAL. NO EXTRA TIME WILL BE ALLOWED OR PAYMENTS BE MADE FOR SPECIAL ORDER ITEMS WHICH ARE NOT IDENTIFIED PRIOR TO THE FINAL BID. DUCT DETECTORS TO BE ANALOG/ADDRESSABLE TYPE APPROVED FOR USE WITH & POWERED BY THE EXISTING FIRE ALARM SYSTEM.



## MECHANICAL EQUIPMENT SPECIFICATIONS:

- EXISTING AIR TEMP. VGTSA-012C-T24BP 2 TONS NOMINAL, 800 CFM NOMINAL ELECTRICAL COOL, GAS HEAT 208 / 230 1PH 30A MOCP, 180 MBH GAS HT. INPUT. INSPECT UNIT REPLACE FILTERS, LUBRICATE, REPLACE BELTS. MAKE REPAIRS AS REQUIRED TO BRING UNIT INTO FULLY OPERATIONAL CONDITION. SET OUTDOOR AIR INTAKE TO 5/6 CFM.
- SA DIFFUSERS: CLEAN & RE-USE EXISTING DIFFUSERS, REPLACE DAMAGED OR DEFECTIVE DIFFUSERS.
- NEW 2 x 4 LAY IN R.A. GRILLE: WHITE OR TITUS OR EQUAL.
- NEW 2 x 4 LAY IN R.A. GRILLE: WHITE OR TITUS OR EQUAL.
- NEW TOILET EXHAUST FAN PENN ZEPHYR Z-1 OR EQUAL, 100 CFM, 4 x 4 EXH DUCT. CONNECT TO EXISTING TOILET DUCT THROUGH ROOF AND EXIST GOOSENECK.
- EXISTING SMOKE DETECTOR TO REMAIN IN PLACE. REPLACE DEFECTIVE OR MISSING.
- CUT & CAP. CAP EXIST EXHAUST DUCT ABV. CLG. EXISTING EXHAUST FAN TO BE ABANDONED IN PLACE.
- REMOVE EXIST CAPTIVE AIRE CONTROL BOX.
- EXIST T-STAT.
- REMOVE EXISTING SA/RA DIFFUSER/GRILLE.
- NEW 2x2 LAY IN SA. DIFFUSER W/10" NECK & VOLUME DAMPER TITUS OR EQUAL, WHITE 10" DIA. FLEX TO SA DUCT.
- NEW 2x2 LAY IN R.A. GRILLE - WHITE, TITUS OR EQUAL, 12" FLEX TO EXIST RA DUCT BELOW ROOF.

### EXHAUST FAN SCHEDULE

FAN NO.	LOCATION	SERVES	CFM	TOTAL SP (IN WG)	MANUF.	DRIVE TYPE	ELECTRICAL DATA					MODEL/EQUAL	NOTES
							MOTOR		CONNECTION				
							HP/WATTS	RPM	VOLTS	PHASE	CYCLE		
(E)EF-1	AS SHOWN	RESTROOMS, SERVICE, SEATING	550	350	DAYTON	DIRECT DRIVE	1/2	1050	120	1	60	DAYTON 6WZPO	INTERLOCK WITH (E)AHU-1

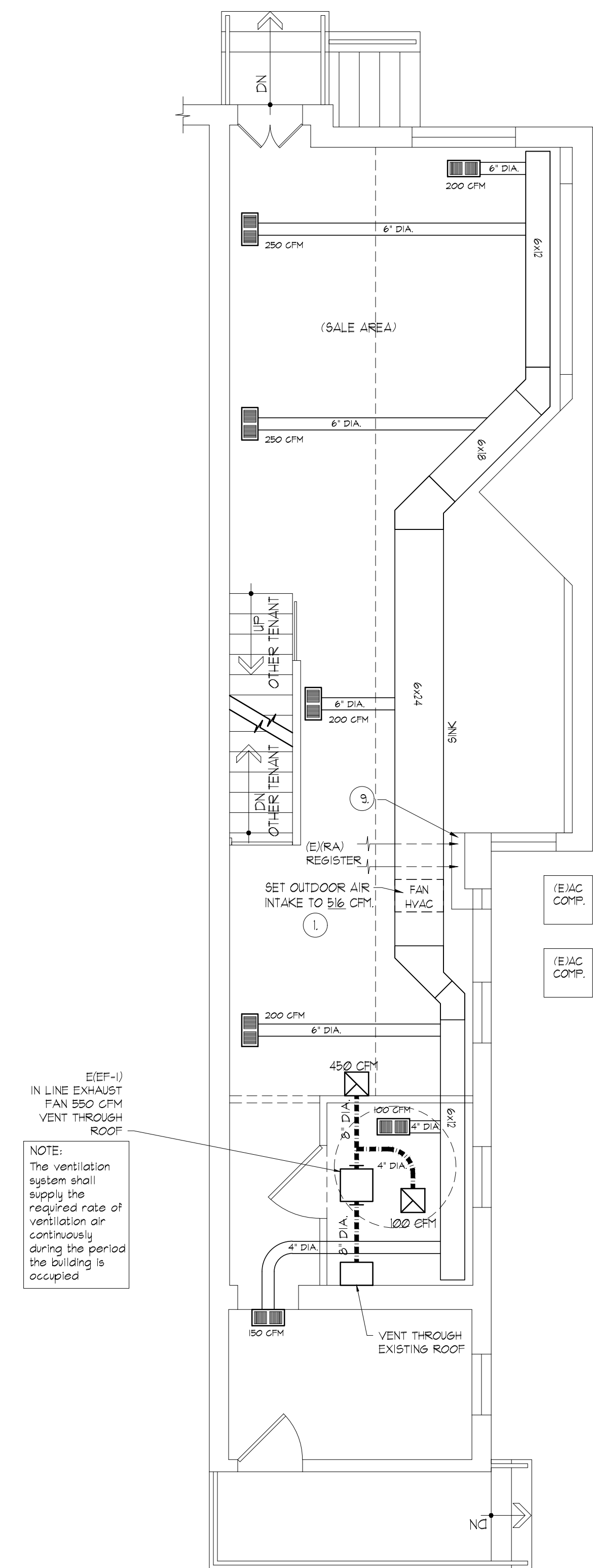
### OUTDOOR AIR COMPLIANCE SCHEDULE

MARK	Area (ft²)	OCCUPANCY CATEGORY	Occupant Load Rate per VMC Table 403.3.1 (People/1000 ft²)	Occupant Outdoor Air Rate per VMC Table 403.3.1 (Rp)	Area Outdoor Air Rate per VMC Table 403.3.1 (Ra)	ZONE POPULATION (Pz)	Breathing Zone Outdoor Air (Vbz + RpPz + RaAz)	Zone Air Distribution Effectiveness (Ez)	Zone Outdoor Air (Voz + Vbz / Ez)
(E)TR) AHU-1	930	CAFE	10	15	18	41	413	8	516

### AIR BALANCE

NAME	OUTSIDE AIR (CFM)	EXHAUST AIR (CFM)	REMARKS
(N)EF-1 EXHAUST		550	
AHU-1	516		
TOTAL	516	550	NEGATIVE PRESSURE BY 34 CFM

AIR BALANCE NOTES:  
 A. THE DIFFERENCE BETWEEN OUTSIDE (CFM) AND EXHAUST (CFM) SHOULD BE ALWAYS NEGATIVE.  
 ENTIRE STORE IS UNDER NEGATIVE PRESSURE BY 34 CFM



EXISTING TO REMAIN MECHANICAL PLAN

1/4" = 1'-0"

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OWNER ADDRESS

425 S. Washington St.  
Alexandria VA 22314

JOB LOCATION

REVISION	DATE	BY	CHKD
1. PERMIT	5/24/23		

SEAL

SCALE: 1/4" = 1'-0"

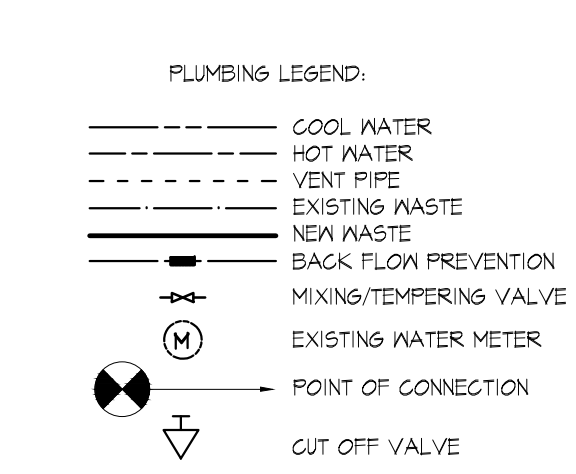
M001

SHEET NUMBER  
22014-M001

**PLUMBING SPECIFICATIONS NOTES:**

- ALL PLUMBING COMPLY WITH THE LOCAL PLUMBING & HEALTH DEPARTMENT REQUIREMENT.
- INSULATE HOT & COLD WATER LINES ABOVE GRADE WITH 1/2" FIBERGLASS PIPE INSULATION WITH VAPOR BARRIER.
- MATERIAL SHALL BE AS FOLLOWS:
  - WATER PIPING TO BE TYPE 'K' COPPER BELOW GROUND, TYPE 'L' COPPER ABOVE GROUND, OR CPVC
  - WASTE PIPING TO BE CAST IRON OR PVC PLASTIC
  - VENTS TO BE CAST IRON OR PVC PLASTIC
- PROVIDE CLEANOUTS REQUIRED & AT THE BASE OF ALL STACKS.

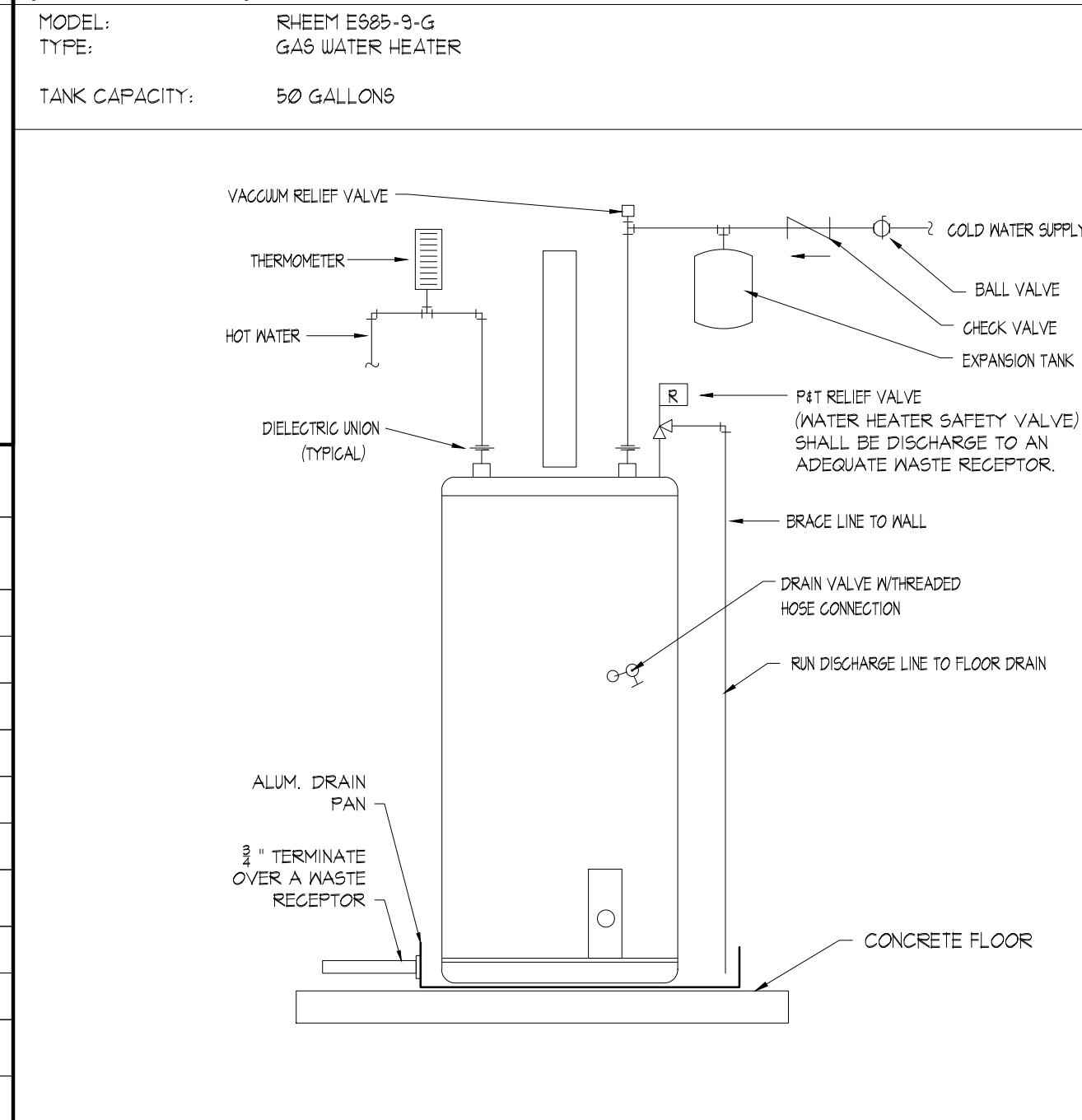
**PLUMBING LEGEND**



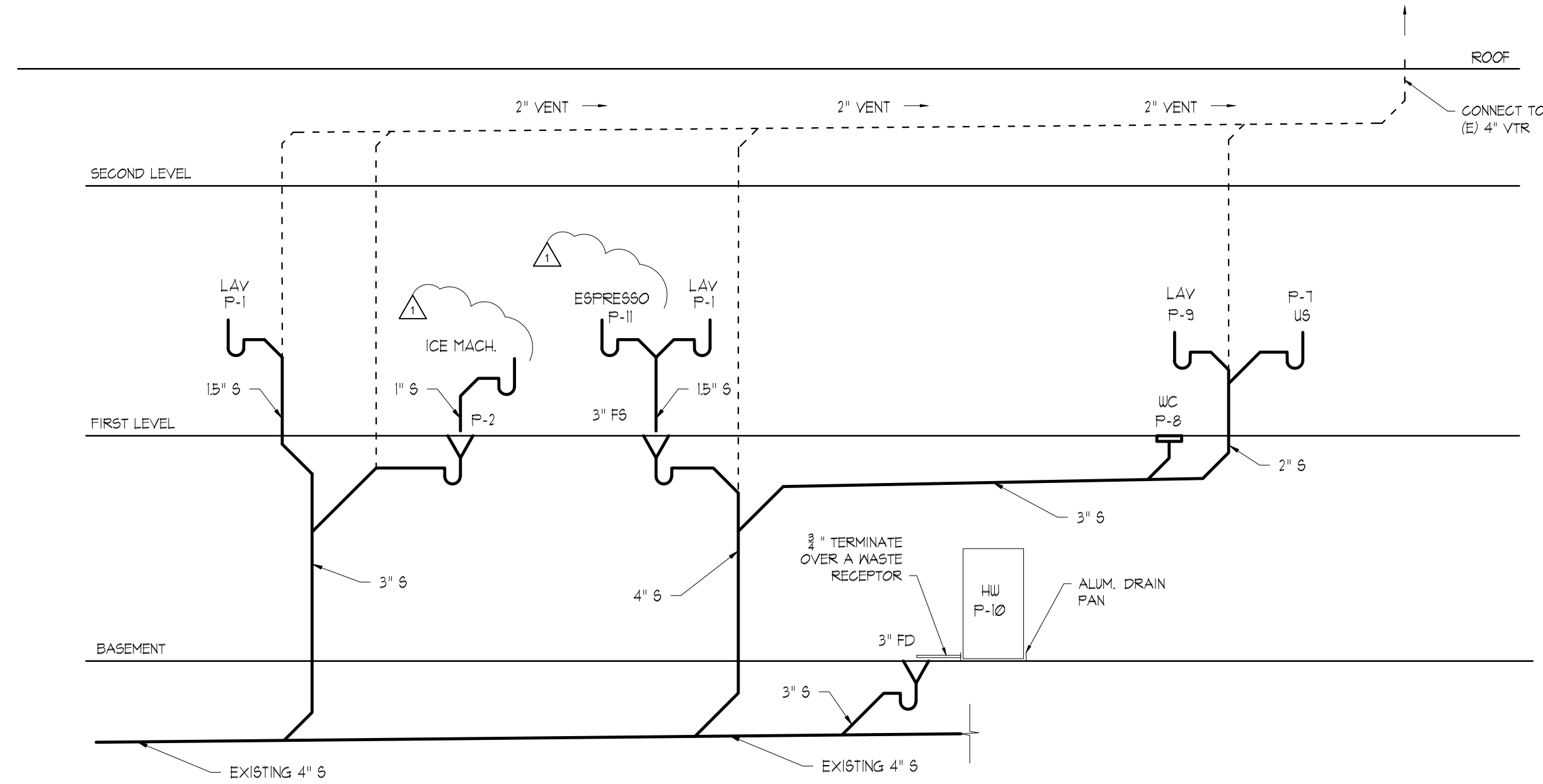
**DENOTES**

- |                 |                       |                 |                               |                            |
|-----------------|-----------------------|-----------------|-------------------------------|----------------------------|
| (E) EXISTING    | (R) RELOCATE EXISTING | (N) NEW         | (ER) EXISTING TO BE RELOCATED | (X) EXISTING TO BE REMOVED |
| WH WATER HEATER | FD FLOOR DRAIN        | H5 HAND SINK    | CS COMPARTMENT SINK           | ETR EXISTING TO REMAIN     |
| SH SHOWER       | LA LAVATORY           | WC WATER CLOSET | VTR VENT THRU ROOF            | HU HOT WATER               |
|                 |                       |                 | CW COLD WATER                 | FD FLOOR DRAIN             |
|                 |                       |                 | DF DRINK FOUNTAIN             | MS MOP SINK                |
|                 |                       |                 | CO CLEAN OUT                  | SC SHOWER CHAIR            |
|                 |                       |                 | FC FAUCET                     | WD WASHER DRYER            |

**(EXISTING) GAS WATER HEATER**

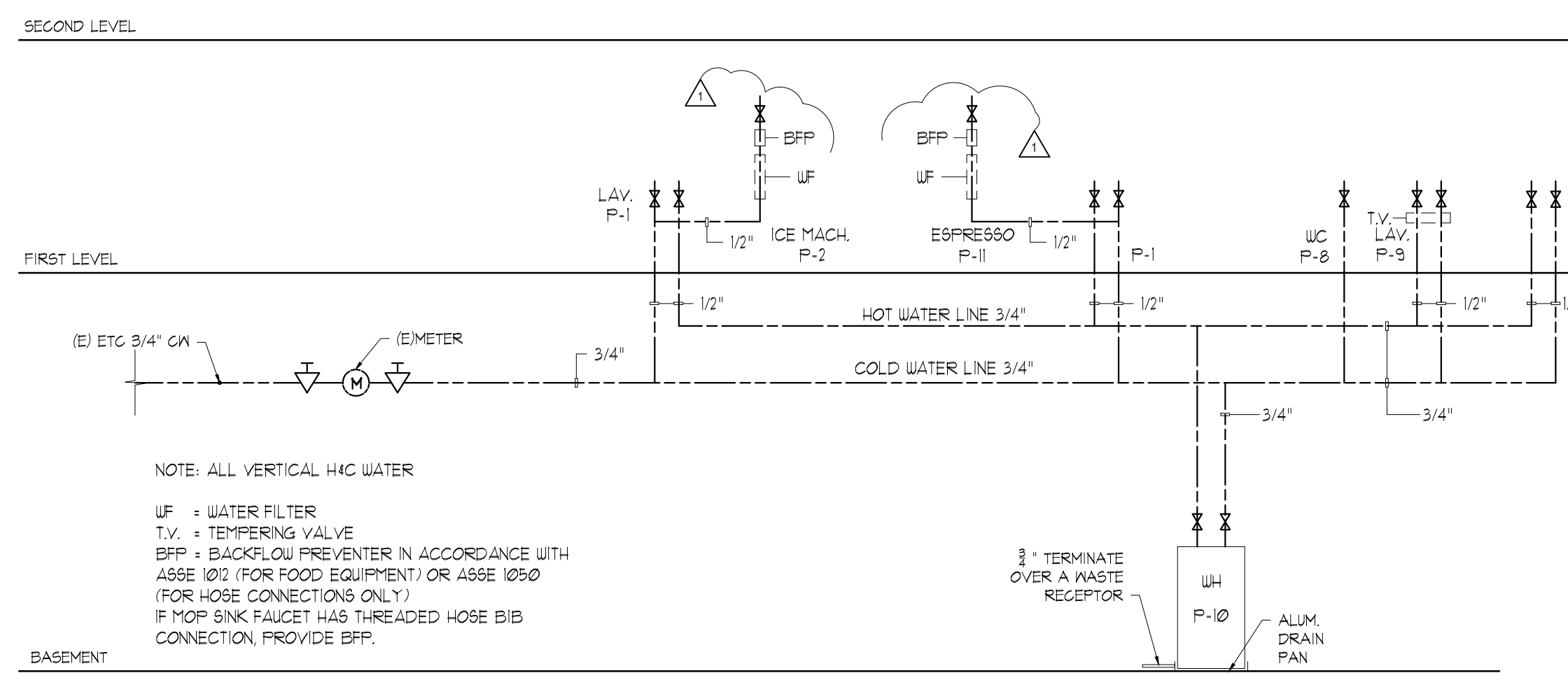


DESIG.	FIXTURE TYPE	HW	CW	SAN.	SPECIFICATION	REMARKS
P-1	LAV. COUNTER MOUNTED	1/2"	1/2"	1-1/2"	Regency 20"x16"x12" 1/2" 16-Gauge Stainless Steel Drop-in Sink with 8" Faucet	OR EQUAL
P-2	ICE MACHINE		1/2"	1"	Avanco Ice KMC-H-530-A 30" Air Cooled Modular Half Cube with Bin	OR EQUAL
P-3	LAV. WALL MOUNTED	1/2"	1/2"	1-1/2"	Regency 11"x15" Wall Mounted Hand Sink w/Gooseneck Faucet & Slide Splash	OR EQUAL
P-4	UNDER COUNTER DISHWASHER	1/2"	1/2"	2"	NOBLE WAREWASHING UH30-RND	OR EQUAL
P-5	GREASE INTERCEPTOR			3'	50 GPM DRAIN-NET TECHNOLOGIES D3950A03 (3')	OR EQUAL
P-6	THREE COMPARTMENT SINK	1/2"	1/2"	(3/1-1/2")	Regency 34" 1/2" 16-Gauge Stainless Three Compartment Sink w/2 drainboards	OR EQUAL
P-7	UTILITY SINK	1/2"	1/2"	1-1/2"	EXISTING MOP SINK	OR EQUAL
P-8	WATER CLOSET		1/2"	3'	GLACIER BAY U GPF/16 High Efficiency Dual Flush (ADA)	OR EQUAL
P-9	LAV. WALL MOUNTED	1/2"	1/2"	1-1/2"	American Standard Lucerne Wall-Mount Bathroom Vessel Sink in White	OR EQUAL
P-10	WATER HEATER	3/4"	3/4"		RHEEM E585-9-G ELECTRIC WATER HEATER 50 GALLONS	OR EQUAL
P-11	ESPRESSO MACHINE	1/2"	1/2"	3/4"	2 GROUP + STEAM	OR EQUAL



**EXISTING DWV RISER DIAGRAM**

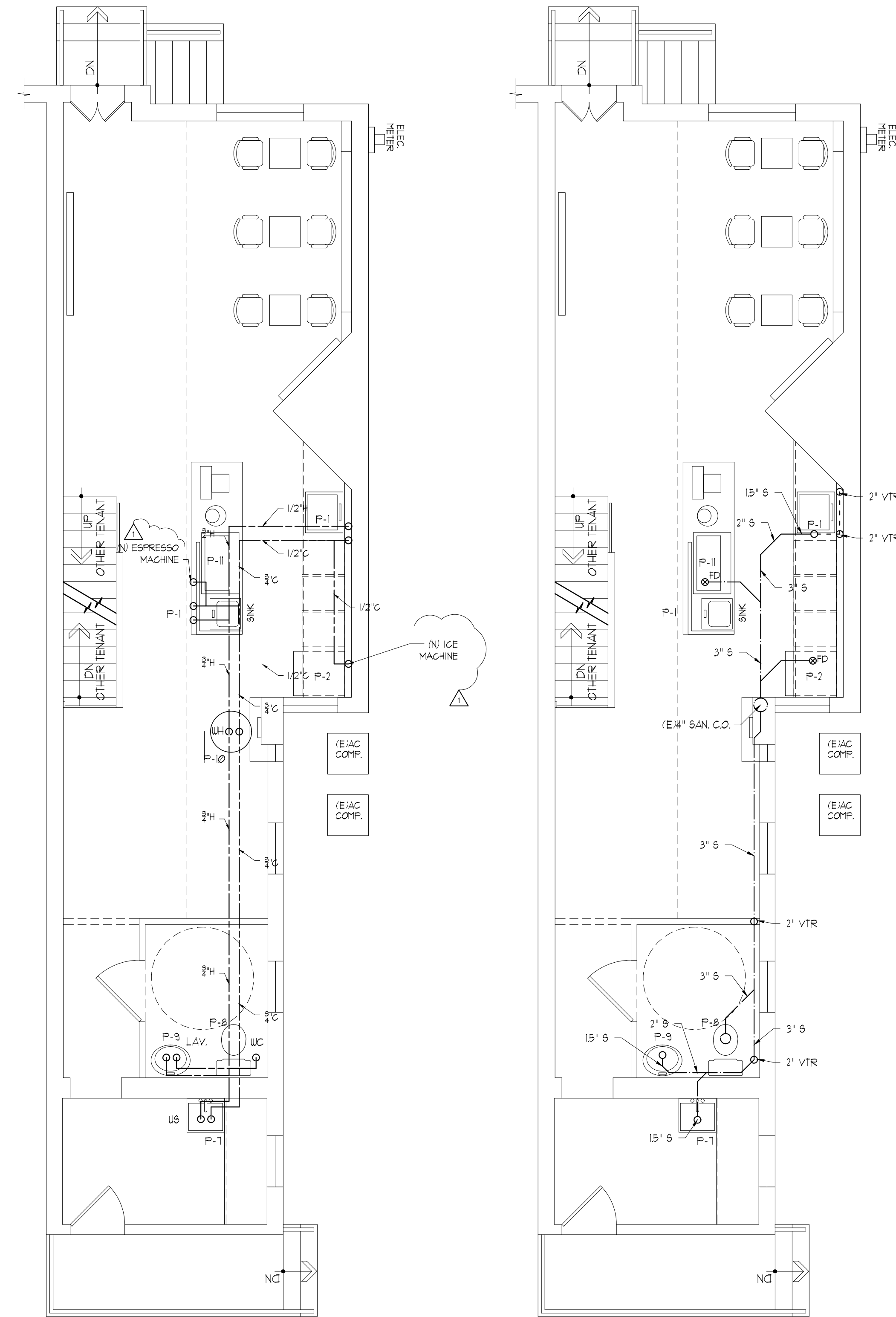
1/4" = 1'-0"



NOTE: ALL VERTICAL H/C WATER  
 WF = WATER FILTER  
 T.V. = TEMPERING VALVE  
 BFP = BACKFLOW PREVENTER IN ACCORDANCE WITH ASSE 1012 (FOR FOOD EQUIPMENT) OR ASSE 1050 (FOR HOSE CONNECTIONS ONLY)  
 IF MOP SINK FAUCET HAS THREADED HOSE BIB CONNECTION, PROVIDE BFP.

**EXISTING SUPPLY RISER DIAGRAM**

1/4" = 1'-0"



**EXISTING SUPPLY PLAN**

1/4" = 1'-0"

**EXISTING DWV PLAN**

1/4" = 1'-0"

OWNER ADDRESS  
 Khath Dao  
 425 S. Washington St.  
 Alexandria VA 22314

JOB LOCATION  
 425 S. Washington St.  
 Alexandria VA 22314

REVISION	DATE	DESCRIPTION
1. PERMIT	05/24/23	

SCALE: 1/4" = 1'-0"

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**P001**

SHEET NUMBER  
 22003-P1



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